

POMFRET CENTER

**72 Ragged Hill Road
Pomfret, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
20 Alexander Drive
Wallingford, CT 06492

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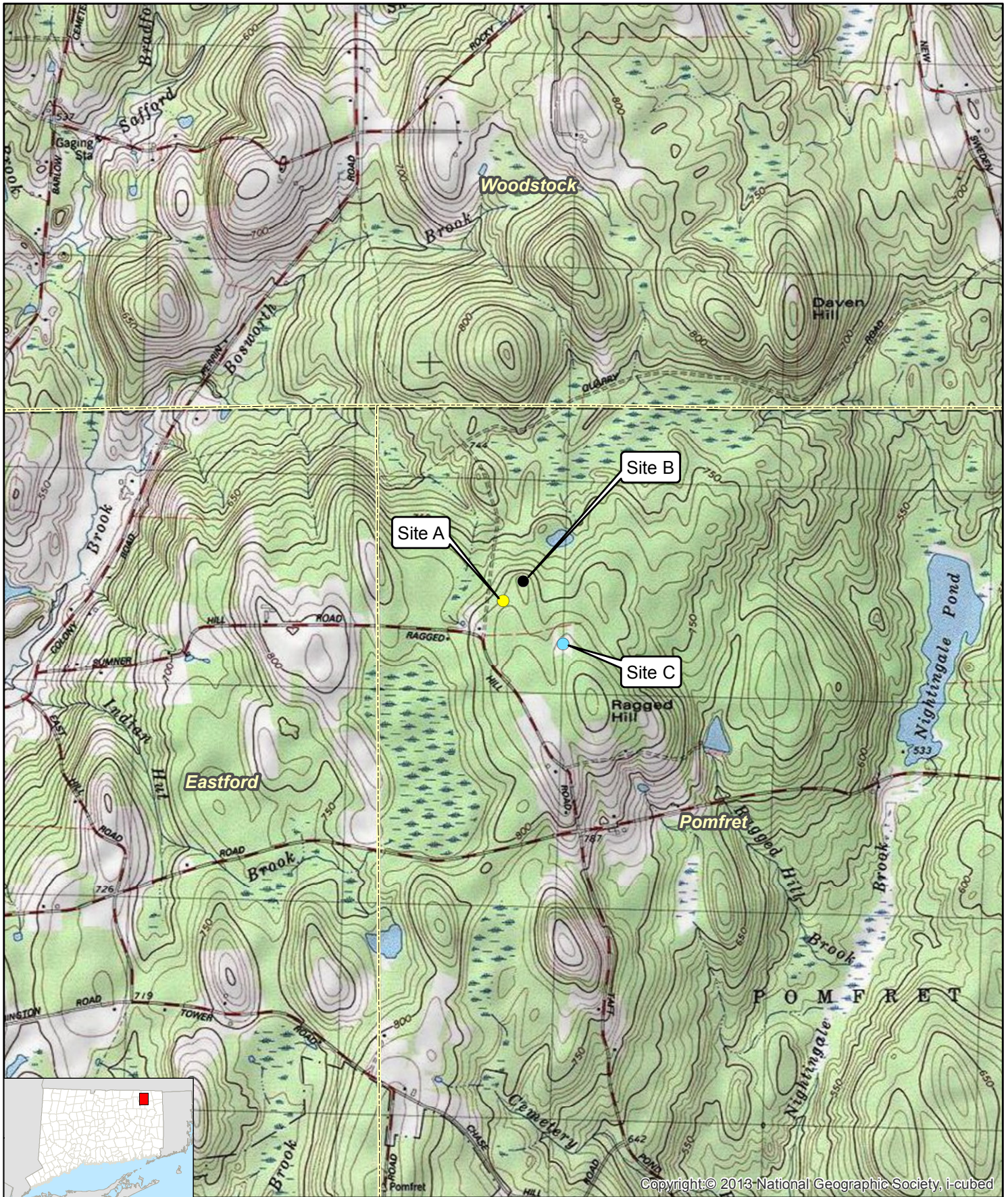
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SITE NAME: POMFRET CENTER – 72 RAGGED HILL ROAD, POMFRET, CT

GENERAL CELL SITE DESCRIPTION

The proposed Pomfret Center cell site would be located at one of three alternative site locations (designated Site A, Site B and Site C) in the westerly portion of an approximately 627 acre parcel at 72 Ragged Hill Road in Pomfret (the “Property”). The Property is owned by Raynham Incorporated. Cellco would construct a 150-foot telecommunications tower at Site A and Site B and a 130-foot tower at Site C. Equipment cabinets and a back-up generator would be installed on a concrete pad within a fenced facility compound.

Cellco would attach six (6) antennas and six (6) remote radio heads to an antenna platform at the top of the approved tower. The top of Cellco’s antennas would extend approximately four (4) feet above the top of the tower. Vehicular access to each alternative cell site location would extend from Swedetown Road over a portion of an existing logging road on the Property, then over a new gravel driveway extension, a total distance of approximately 260 feet to Site A, approximately 675 feet to Site B and approximately 2,020 feet to Site C. Utilities would extend from existing overhead service along Swedetown Road.



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Legend

- Proposed Site Locations
- Site A
 - Site B
 - Site C
- Municipal Boundary

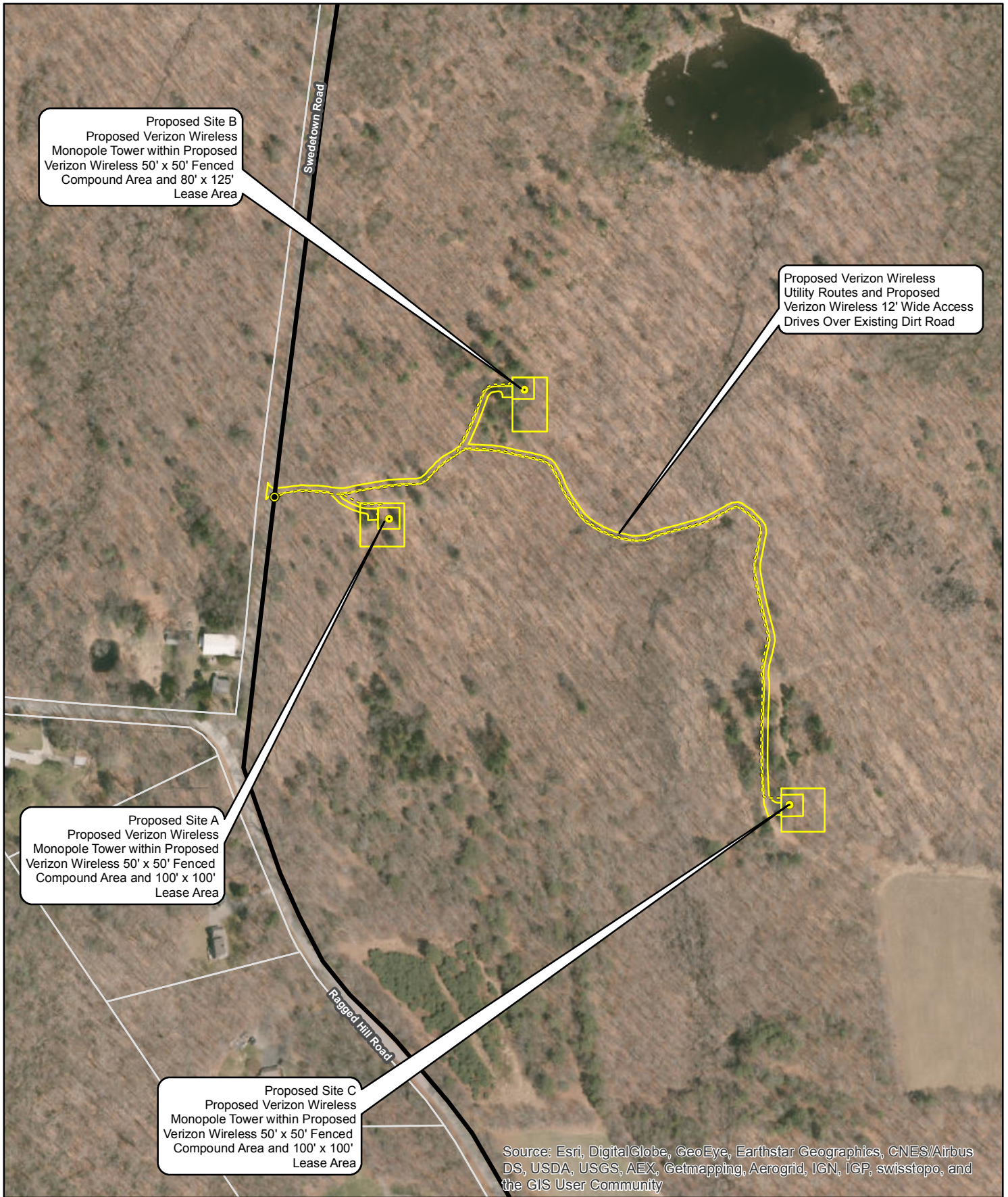
Map Notes:
 Base Map Source: USGS 7.5 Minute Topographic
 Quadrangle Map, Eastford, CT (1983)
 Map Scale: 1:24,000
 Map Date: May 2018



Site Location Map

Proposed Wireless
 Telecommunications Facility
 Pomfret Center CT
 72 Ragged Hill Road
 Pomfret Center, Connecticut

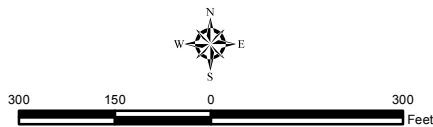




Legend

- Proposed Verizon Wireless Monopole
- Proposed Verizon Wireless Facility Layout
- Proposed Verizon Wireless Power and Telco Service
- Proposed Verizon Wireless Utility Pole
- Subject Property
- Approximate Parcel Boundary (CTDEEP)

Map Notes:
Base Map Source: ESRI World Imagery
Map Scale: 1 inch = 300 feet
Map Date: April 2018



Site Schematic

Proposed Wireless Telecommunications Facility
Pomfret Center CT
72 Ragged Hill Road
Pomfret Center, Connecticut



SITE EVALUATION REPORT

SITE NAME: POMFRET CENTER – 72 RAGGED HILL ROAD, POMFRET, CT

I. TOWER LOCATION

- A. COORDINATES: Site A – 41°-54’-23.62” N 72°-02’-13.39” W
Site B – 41°-54’-26.55” N 72°-02’-9.22” W
Site C – 41°-54’-17.02” N 72°-02’-1.22” W
- B. GROUND ELEVATION: Site A – Approximately 820± feet AMSL
Site B – Approximately 816± feet AMSL
Site C – Approximately 833± feet AMSL
- C. U.S.G.S. QUADRANGLE MAP: Eastford, CT
- D. PROPERTY ADDRESS: 72 Ragged Hill Road, Pomfret, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within ¼ mile of the cell site is in Pomfret’s Rural Residential zoning district.

II. DESCRIPTION

- A. SITE SIZE: 50’ x 50’ Fenced Compound Area
- B. LESSOR’S PARCEL: Approximately 627 acres
- C. TOWER TYPE/HEIGHT: Site A – 150’ Monopole Tower
Site B – 150’ Monopole Tower
Site C – 130’ Monopole Tower
- D. SITE TOPOGRAPHY AND SURFACE: Topography in the westerly portion of the Property slopes up, gently, from west to east. This portion of the Property is generally wooded and maintains a series of dirt and gravel logging roads. Minimal grading would be required for the installation of the access driveway and facility compounds for any of the alternate cell sites.

- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The three (3) alternative tower locations are located in the westerly portion of the Property. The closest wetland areas are located approximately 160 feet to the southeast of Site A; approximately 140 feet southeast of Site B; and approximately 90 feet east of Site C. The access drive to the Site C compound will require improvements to an existing woods road and wetlands crossing. (See Wetlands & Vernal Pool Analysis – Tab 11).
- F. LAND USE WITHIN 1/4 MILE OF SITE: The Property is surrounded by residential and agricultural uses and other undeveloped wooded land. (See Aerial Photograph and U.S.G.S. Topographic Map at pp. 2 and 3).

III. FACILITIES

- A. POWER COMPANY: Eversource
- B. POWER PROXIMITY TO SITE: Power would extend from existing service along Swedetown Road to each of the proposed alternate tower sites.
- C. TELEPHONE COMPANY: Frontier Communications
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Swedetown Road over a gravel driveway a distance of approximately 260 feet to Site A; 675 feet to Site B; and 2,020 feet to Site C.
- F. CLEARING AND FILL REQUIRED: Tree clearing and grading would be required for construction of each of the three site compounds and access driveways. Detailed construction plans would be developed when a location is approved by the Siting Council.

IV. LEGAL

- A. PURCHASE LEASE
- B. OWNER: Raynham Incorporated
- C. ADDRESS: 72 Ragged Hill Road, Pomfret, CT
- D. DEED ON FILE AT:
Town of Pomfret, CT Land Records

FACILITIES AND EQUIPMENT SPECIFICATION
(NEW TOWER & EQUIPMENT)

SITE NAME: POMFRET CENTER – 72 RAGGED HILL ROAD, POMFRET, CT

I. TOWER SPECIFICATIONS:

A. MANUFACTURER: To be determined

B. TYPE: Self-supporting monopole

C. TOWER HEIGHT: 150' (Site A)
150' (Site B)
130' (Site C)

TOWER DIMENSIONS: Approx. 50" diameter base
Approx. 24" diameter top

II. TOWER LOADING:

A. CELLCO EQUIPMENT:

1. Panel Antennas: Six (6) Model JAAH-65C-R38
2. Remote Radio Heads (RRH): Three (3) Model RRH 4 x 45 and three (3) Model RRH 14 x 30
3. GPS Antenna: Attached to steel canopy structure
4. Transmission Lines:
 - a. Two (2) Model: HB158-1-08U8-S8J18 HYBRIFLEX™ fiber optic antenna cables inside the monopole

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The tower will be designed in accordance with Electronic Industries Association Standard EIA/TIA-222-G "Structural Standards for Steel Antenna Towers and Antenna Support Structures." The foundation designs would be based on soil conditions at the site. Details for the towers and foundation designs will be provided as a part of the final D&M Plan.

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: POMFRET CENTER – 72 RAGGED HILL ROAD, POMFRET, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the access drive, tower or facility compound at either Site A or Site B. Improvements to the existing logging road and wetlands crossing would be necessary to access Site C. The equipment used at the Cellco facility will not discharge any pollutants to area surface or groundwater systems.

B. AIR QUALITY

Under ordinary operating conditions, Cellco's equipment at the Pomfret Center Facility would generate no air emissions. During power outages and periodically for maintenance purposes, Cellco would utilize a diesel-fueled generator to provide emergency back-up power. Cellco's back-up generator will be managed to comply with the "permit by rule" criteria established by the Connecticut Department of Energy and Environmental Protection ("DEEP") Bureau of Air Management, pursuant to R.C.S.A. § 22a-174-3b.

C. LAND

The Property is mostly wooded. Portions of the Property are used for agricultural purposes. The number of trees (6" diameter at breast height) that would need to be removed will vary for each of the three (3) alternative sites currently under consideration. For Site A, Cellco estimates that 4 trees within the facility compound would need to be removed; for Site B, Cellco estimates that 2 trees within the facility compound would need to be removed; and for Site C, Cellco estimates that 1 tree within the facility compound would need to be removed. The remaining land of the Lessor would remain unchanged by the construction and operation of the cell site.

D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for the occasional operation of the back-up generator which would only run when power to the facility is interrupted and periodically for maintenance purposes. Some noise is anticipated during cell site construction.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's 700 MHz, 850 MHz, 1900 MHz and 2100 MHz antennas at the Pomfret Center Facility would be 21.85% of the FCC Safety Standard for the 150-foot towers proposed at Site A and Site B; and 29.09% of the FCC Safety Standard for the 130-foot tower at Site C. (See Attachment 13).

F. VISIBILITY

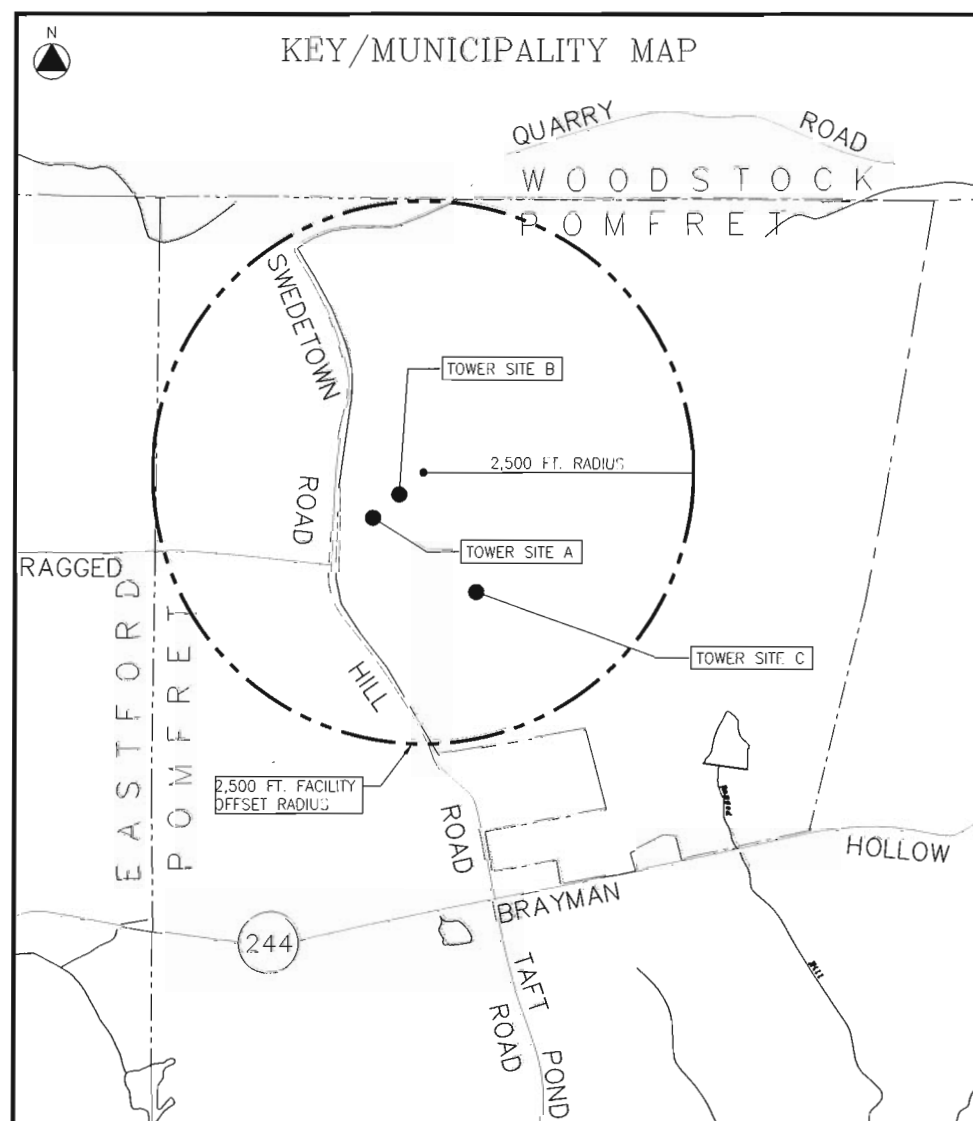
See Visibility Report included as Attachment 9.



WIRELESS COMMUNICATIONS FACILITY

SITE NAME: POMFRET CENTER CT

72 RAGGED HILL RD.
POMFRET CENTER, CT 06259



PROJECT DESCRIPTION
- INSTALLATION OF A MONOPOLE/TOWER WITHIN A SECURE CHAIN LINK FENCED COMPOUND -- REFER TO DRAWINGS FOR (3) POSSIBLE TOWER LOCATIONS ON THE UNDERLYING PARCEL AND ASSOCIATED TOWER HEIGHTS FOR EACH
- INSTALLATION OF OUTDOOR CABINETS AND A DIESEL FUELED BACK-UP EMERGENCY GENERATOR ON A 16'-0"x9'-4" EQUIPMENT PLATFORM WITHIN THE COMPOUND
- INSTALLATION OF (9) PANEL ANTENNAS AND ASSOCIATED DEVICES ON THE MONOPOLE
- INSTALLATION OF CABLING FROM EQUIP. CABINETS TO ANTENNAS
- ELECTRICAL & TELEPHONE CONNECTIONS TO EXISTING UTILITY DEMARCATION POINTS

PROJECT SUMMARY	
SITE NAME:	POMFRET CENTER CT
SITE ADDRESS:	72 RAGGED HILL RD. POMFRET CENTER, CT 06259
PROPERTY OWNER & MAILING ADDRESS:	RAYNHAM INC 783 LAWRENCE RD. POWNAH, ME 04069
PARCEL/GIS ID:	CT-112-06-B-001.00
TOWER COORDINATES:	
LOCATION A:	41° 54' 23.62" N 72° 02' 13.39" W
LOCATION B:	41° 54' 26.55" N 72° 02' 9.22" W
LOCATION C:	41° 54' 17.02" N 72° 02' 1.22" W
APPLICANT:	CELLCO PARTNERSHIP d.b.a. VERIZON WIRELESS 20 ALEXANDER DR. WALLINGFORD, CT 06492
VERIZON WIRELESS CONTACTS:	MIKE HUMPHREYS - CONSTR. (860) 560-6410 ERIC CAMPBELL- SITE ACQ. (617) 543-0003
LEGAL/REGULATORY COUNSEL:	KENNETH C. BALDWIN, ESQ. ROBINSON & COLE, LLP (860) 275-8345

DRAWING SCHEDULE	
SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
C-0	ABUTTERS MAP & PROPERTY OWNERS LIST
C-1	KEY MAP & OVERALL SITE PLAN
C-2	SITE PLAN LOCATION A
C-3	SITE PLAN LOCATION B
C-4	ACCESS ROAD PLAN LOCATION C
C-5	SITE PLAN LOCATION C
C-6	CONSTRUCTION DETAILS
C-7	COMPOUND PLAN, WEST ELEVATION & ANTENNA PLAN
C-8	EQUIPMENT PLAN, CANOPY PLAN & DETAILS
C-9	EQUIPMENT SUPPORT & MISC. DETAILS
C-10	EQUIPMENT SECTION & SITE DETAILS

verizon
WIRELESS COMMUNICATIONS FACILITY
20 ALEXANDER DRIVE
WALLINGFORD, CT 06492

On Air Engineering, LLC
88 Foundry Pond Rd.
Cold Spring, NY 10516
onair@optonline.net
201-456-4624



DAVID WEDEPOHL, P.E.
CT LIC. NO. 22144

NO.	DATE	SUBMISSIONS
0	03.06.18	REVIEW
1	06.10.18	SITING COUNCIL FILING

DRAWN BY:	CHECKED BY:
AS	DW

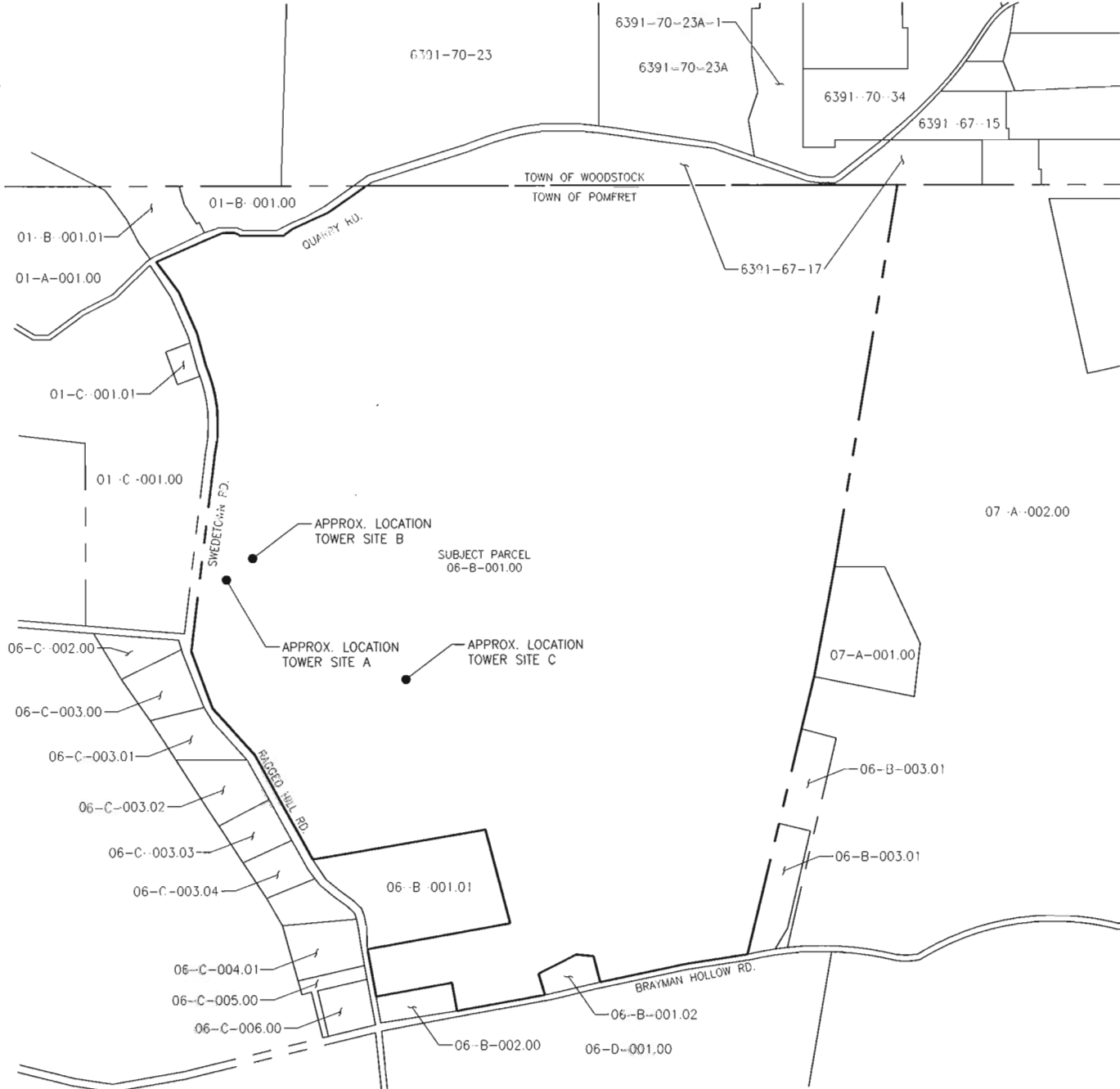
SITE NAME:
POMFRET CENTER CT

PROJECT DESCRIPTION:
NEW BUILD MACRO

PROJECT INFORMATION:
72 RAGGED HILL RD.
POMFRET CENTER, CT 06259

DRAWING TITLE:
TITLE SHEET

SHEET NUMBER:
T-1



1
C-0 ABUTTERS MAP
Scale: 1"=800'

ABUTTERS LIST FROM PARCEL 06-B-001.00			
PARCEL #	OWNER NAME	OWNER MAILING ADDRESS	PROPERTY ADDRESS
POMFRET CENTER ABUTTER LIST			
07-A-002.00	ABBOTT CLAUDIA S ET ALS	439 BRAYMAN HOLLOW RD, POMFRET CTR, CT 06259	439 BRAYMAN HOLLOW RD.
07-A-001.00	ABBOTT CLAUDIA S ET ALS	439 BRAYMAN HOLLOW RD, POMFRET CTR, CT 06259	521 BRAYMAN HOLLOW RD.
06-B-003.01	EDWARD GRAFF & ASHLYN BROCKETT	517 BRAYMAN HOLLOW RD, POMFRET CTR, CT 06259	517 BRAYMAN HOLLOW RD.
06-B-003.00	CYR CHRISTOPHER C	525 BRAYMAN HOLLOW RD, POMFRET CTR, CT 06259	525 BRAYMAN HOLLOW RD.
06-D-001.00	RAYNHAM INC C/O SHARON TOWNSHEND	783 LAWRENCE RD, POWNAL, ME 04069	634 BRAYMAN HOLLOW RD.
06-B-001.02	COLIN CUMMINGS & LINDSEY PHILLIPS	589 BRAYMAN HOLLOW RD, POMFRET CTR, CT 06259	589 BRAYMAN HOLLOW RD.
06-B-002.00	TOWNSHEND POMFRET TRUST C/O TIMOTHY TOWNSHEND, SHARON TOWNSHEND, TRUSTEE CYNTHIA TOWNSHEND-LACOCHE	709 TOWNSHEND AVE, NEW HAVEN, CT 06512	633 BRAYMAN HOLLOW RD.
06-C-006.00	AMBER DARIGAN	16 WINDSOR AVE, PLAINFIELD, CT 06374	13 RAGGED HILL RD.
06-C-005.00	AMBER DARIGAN	16 WINDSOR AVE, PLAINFIELD, CT 06374	17 RAGGED HILL RD.
06-C-004.01	HEROUX DAVID M & JEAN MARIE	25 RAGGED HILL RD, POMFRET CTR, CT 06259	25 RAGGED HILL RD.
06-B-001.01	TOWNSHEND TIMOTHY K & SUSAN M	36 RAGGED HILL RD, POMFRET CTR, CT 06259	36 RAGGED HILL RD.
06-C-003.04	CERRONE MARC B & KATHLEEN	52 RAGGED HILL RD, POMFRET CTR, CT 06259	53 RAGGED HILL RD.
06-C-003.03	PETER & MARY ANNE SCHULTZ	69 RAGGED HILL RD, POMFRET CTR, CT 06259	69 RAGGED HILL RD.
06-C-003.02	SCHNEIDER JOHN E & JILL M	87 RAGGED HILL RD, POMFRET CTR, CT 06259	87 RAGGED HILL RD.
06-C-003.01	HEARN JAMES E & KARYN G	105 RAGGED HILL RD, POMFRET CTR, CT 06259	105 RAGGED HILL RD.
06-C-003.00	POLAND MICHAEL J & BETH A	123 RAGGED HILL RD, POMFRET CTR, CT 06259	123 RAGGED HILL RD.
06-C-002.00	JONES DONALD SCOTT	151 RAGGED HILL RD, POMFRET CTR, CT 06259	151 RAGGED HILL RD.
01-C-001.00	POTRZEBA JAMES W & JOANN	50 SWEDETOWN RD, POMFRET CTR, CT 06259	140 RAGGED HILL RD.
01-C-001.01	POTRZEBA JAMES W & JOANN	50 SWEDETOWN RD, POMFRET CTR, CT 06259	50 SWEDETOWN RD.
01-A-001.00	POTRZEBA JAMES W & JOANN	50 SWEDETOWN RD, POMFRET CTR, CT 06259	62 SWEDETOWN RD.
01-B-001.01	QUIET CORNER PROPERTY ACQUISITIONS, LLC	65 HAMLET HILL RD, POMFRET CTR, CT 06259	66 SWEDETOWN RD.
01-B-001.00	DIORIO SARA I, TRUSTEE SARA I DIORIO LIVING TRUST	78 SWEDETOWN RD, POMFRET CTR, CT 06259	78 SWEDETOWN RD.
WOODSTOCK ABUTTER LIST			
6391-70-23	JACQUES, GEORGE J & NANCY L	116 MARYANNE DR, COVENTRY, CT 06238	QUARRY RD, WOODSTOCK, CT
6391-70-23A	CARTIER, JOHN C	PO BOX 657, WOODSTOCK, CT 06281	QUARRY RD, WOODSTOCK, CT
6391-70-23A-1	CARTIER, JEFFREY A	35 MARLIN RD, HARWICH, MA 02645	QUARRY RD, WOODSTOCK, CT
6391-70-34	TOWN OF WOODSTOCK	415 RT 169, WOODSTOCK, CT 06281	QUARRY RD, WOODSTOCK, CT
6391-67-15	TOWN OF WOODSTOCK	415 RT 169, WOODSTOCK, CT 06281	QUARRY RD, WOODSTOCK, CT
6391-67-17	RAYNHAM INC C/O SHARON TOWNSHEND	783 LAWRENCE RD, POWNAL, ME 04069	QUARRY RD, WOODSTOCK, CT

NOTES TO ABUTTERS MAP & OWNERS LIST:
1. ALL INFORMATION TAKEN FROM THE "NECCOG" GIS WEBSITE FOR POMFRET CENTER, DECEMBER 2016 AND UPDATED JUNE 2018 PER ATTORNEY COMMENTS.

verizon
WIRELESS COMMUNICATIONS FACILITY
20 ALEXANDER DRIVE
WALLINGFORD, CT 06492

On Air Engineering, LLC
88 Foundry Pond Rd.
Cold Spring, NY 10516
onair@optonline.net
201-456-4624

LICENSURE

DAVID WEINPAHL, P.E.
CT LIC. NO. 22144

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CHECKED BY: DW

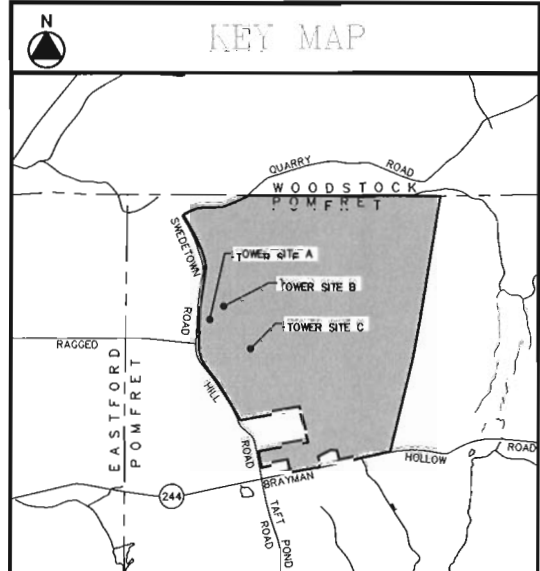
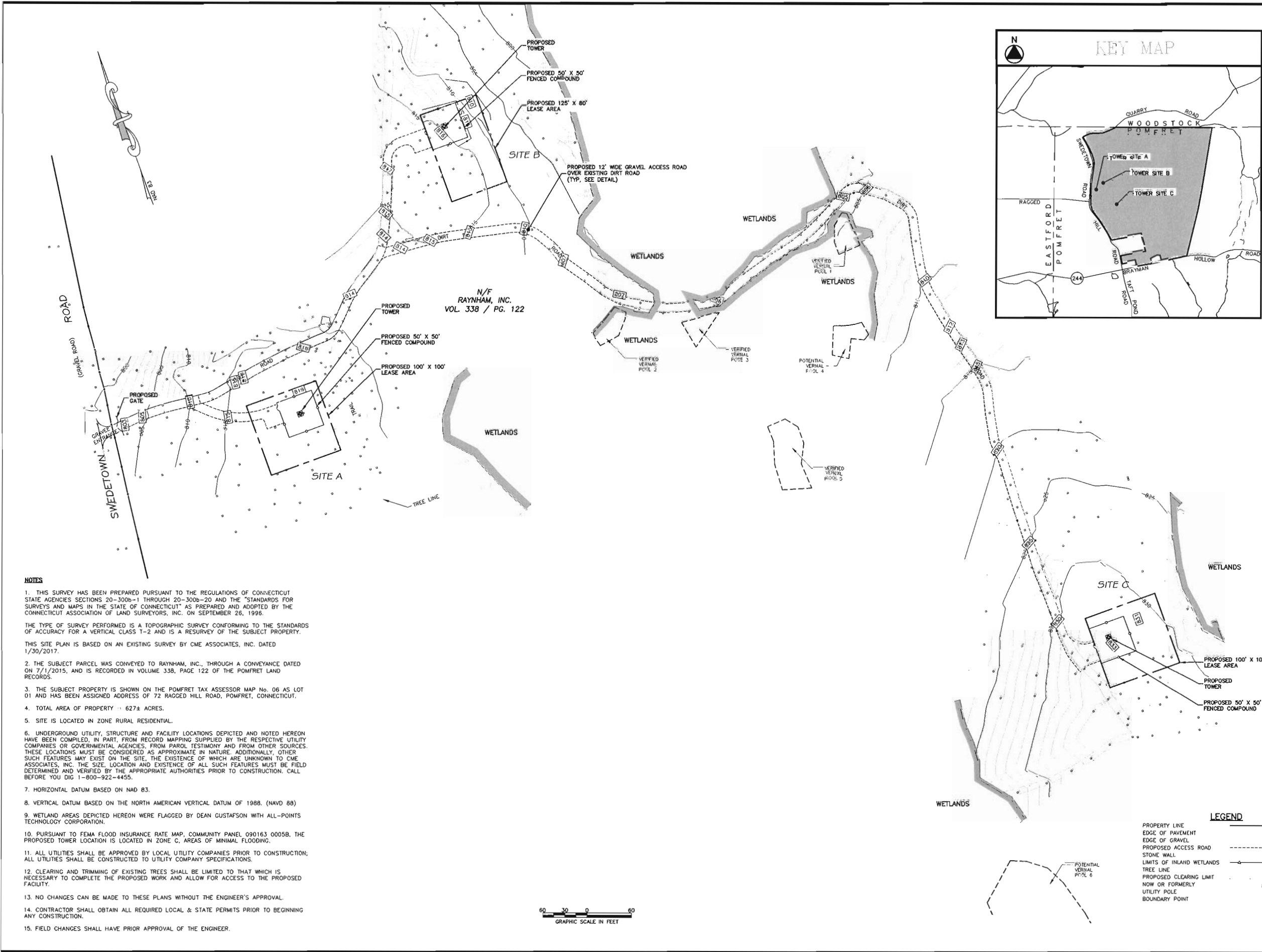
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PROJECT DESCRIPTION:
NEW BUILD MACRO

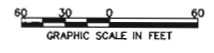
PROJECT INFORMATION:
**72 RAGGED HILL RD.
POMFRET CENTER, CT 06259**

DRAWING TITLE:
**ABUTTERS MAP &
PROPERTY OWNER LIST**

SHEET NUMBER:
C-0



- NOTES**
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 2. THE TYPE OF SURVEY PERFORMED IS A TOPOGRAPHIC SURVEY CONFORMING TO THE STANDARDS OF ACCURACY FOR A VERTICAL CLASS 1-2 AND IS A RESURVEY OF THE SUBJECT PROPERTY.
 3. THIS SITE PLAN IS BASED ON AN EXISTING SURVEY BY CME ASSOCIATES, INC. DATED 1/30/2017.
 4. THE SUBJECT PARCEL WAS CONVEYED TO RAYNHAM, INC., THROUGH A CONVEYANCE DATED ON 7/1/2015, AND IS RECORDED IN VOLUME 338, PAGE 122 OF THE POMFRET LAND RECORDS.
 5. THE SUBJECT PROPERTY IS SHOWN ON THE POMFRET TAX ASSESSOR MAP No. 06 AS LOT 01 AND HAS BEEN ASSIGNED ADDRESS OF 72 RAGGED HILL ROAD, POMFRET, CONNECTICUT.
 6. TOTAL AREA OF PROPERTY : 627± ACRES.
 7. SITE IS LOCATED IN ZONE RURAL RESIDENTIAL.
 8. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES; FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CME ASSOCIATES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 9. HORIZONTAL DATUM BASED ON NAD 83.
 10. VERTICAL DATUM BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD 88)
 11. WETLAND AREAS DEPICTED HEREON WERE FLAGGED BY DEAN GUSTAFSON WITH ALL-POINTS TECHNOLOGY CORPORATION.
 12. PURSUANT TO FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 090163 0005B, THE PROPOSED TOWER LOCATION IS LOCATED IN ZONE C, AREAS OF MINIMAL FLOODING.
 13. ALL UTILITIES SHALL BE APPROVED BY LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE CONSTRUCTED TO UTILITY COMPANY SPECIFICATIONS.
 14. CLEARING AND TRIMMING OF EXISTING TREES SHALL BE LIMITED TO THAT WHICH IS NECESSARY TO COMPLETE THE PROPOSED WORK AND ALLOW FOR ACCESS TO THE PROPOSED FACILITY.
 15. NO CHANGES CAN BE MADE TO THESE PLANS WITHOUT THE ENGINEER'S APPROVAL.
 16. CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL & STATE PERMITS PRIOR TO BEGINNING ANY CONSTRUCTION.
 17. FIELD CHANGES SHALL HAVE PRIOR APPROVAL OF THE ENGINEER.



LEGEND

PROPERTY LINE	---
EDGE OF PAVEMENT	----
EDGE OF GRAVEL	-----
PROPOSED ACCESS ROAD	-----
STONE WALL	-----
LIMITS OF INLAND WETLANDS	-----
TREE LINE	-----
PROPOSED CLEARING LIMIT	-----
NOW OR FORMERLY UTILITY POLE	o
BOUNDARY POINT	o

verizon
WIRELESS COMMUNICATIONS FACILITY
20 ALEXANDER DRIVE
WALLINGFORD, CT 06492

On Air Engineering, LLC
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Cold Spring, NY 10516
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CME
CME ASSOCIATES, INC.
33 Wilbur Cross Way, Mansfield, CT 06268
101 East River Drive, 1st Floor, East Hartford, CT 06108
90 Elm Street, Southridge, MA 01550
1 Tara Blvd., Nashua, NH 03062
888-291-3227 | www.cmeengineering.com

LICENSURE

DAVID WEINPAHL, P.E.
CT LIC. NO. 22144

NO.	DATE	SUBMISSIONS
0	03.06.18	REVIEW
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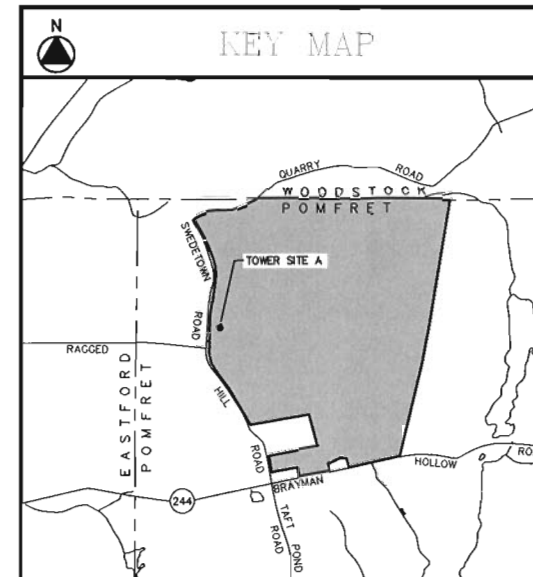
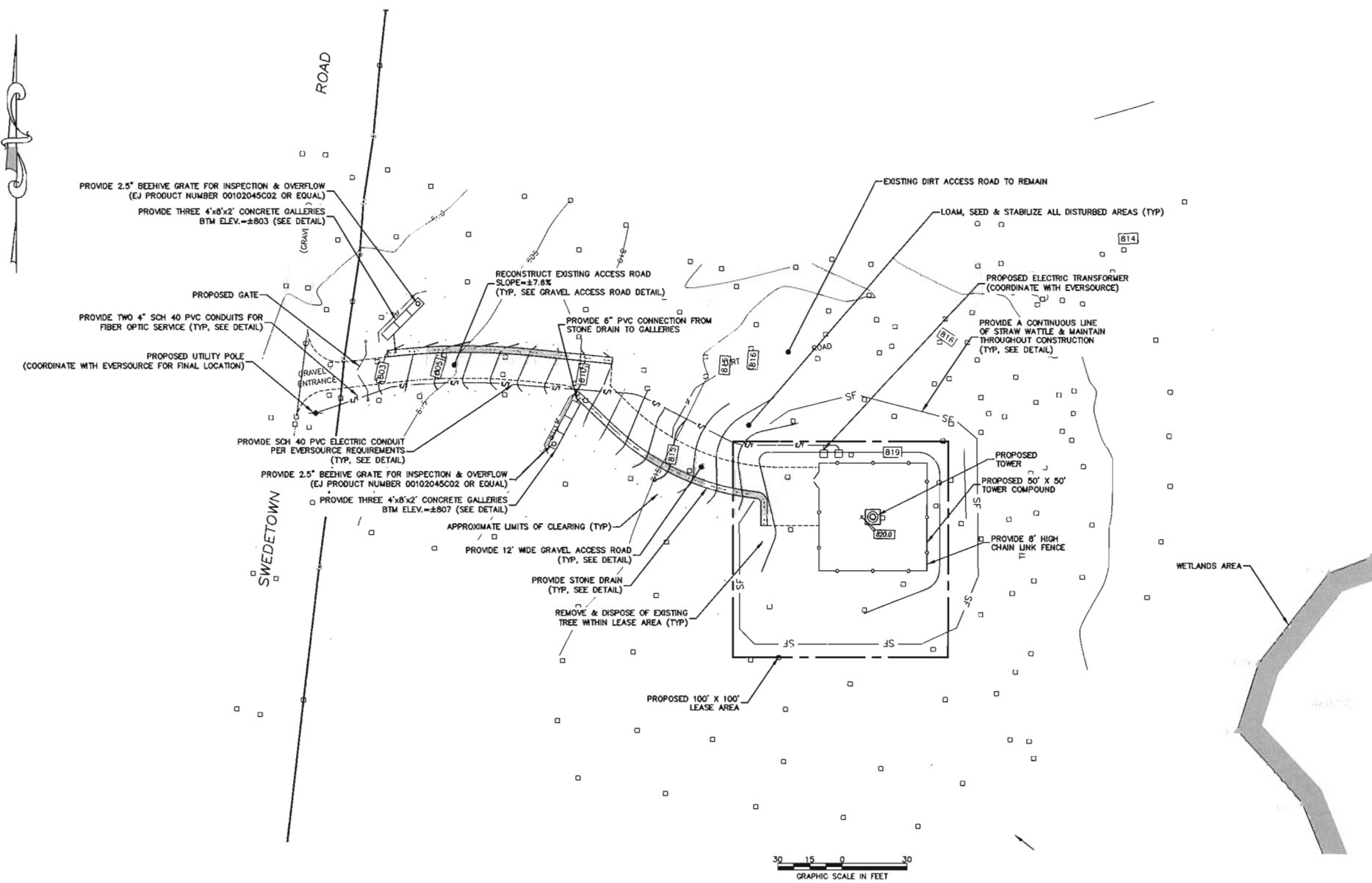
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POMFRET CENTER CT

PROJECT DESCRIPTION:
NEW BUILD MACRO

PROJECT INFORMATION:
72 RAGGED HILL RD.
POMFRET CENTER, CT 06259

DRAWING TITLE:
KEY MAP & OVERALL SITE PLAN

SHEET NUMBER:
C-1



PROVIDE 2.5" BEEHIVE GRATE FOR INSPECTION & OVERFLOW (EJ PRODUCT NUMBER 00102045C02 OR EQUAL)
 PROVIDE THREE 4"x8"x2" CONCRETE GALLERIES BTM ELEV. = ±893 (SEE DETAIL)

PROVIDE TWO 4" SCH 40 PVC CONDUITS FOR FIBER OPTIC SERVICE (TYP. SEE DETAIL)

PROPOSED UTILITY POLE (COORDINATE WITH EVERSOURCE FOR FINAL LOCATION)

PROVIDE SCH 40 PVC ELECTRIC CONDUIT PER EVERSOURCE REQUIREMENTS (TYP. SEE DETAIL)

PROVIDE 2.5" BEEHIVE GRATE FOR INSPECTION & OVERFLOW (EJ PRODUCT NUMBER 00102045C02 OR EQUAL)
 PROVIDE THREE 4"x8"x2" CONCRETE GALLERIES BTM ELEV. = ±897 (SEE DETAIL)

APPROXIMATE LIMITS OF CLEARING (TYP.)

PROVIDE 12' WDE GRAVEL ACCESS ROAD (TYP. SEE DETAIL)

PROVIDE STONE DRAIN (TYP. SEE DETAIL)

REMOVE & DISPOSE OF EXISTING TREE WITHIN LEASE AREA (TYP.)

PROPOSED 100' X 100' LEASE AREA

EXISTING DIRT ACCESS ROAD TO REMAIN

LOAM, SEED & STABILIZE ALL DISTURBED AREAS (TYP.)

PROPOSED ELECTRIC TRANSFORMER (COORDINATE WITH EVERSOURCE)

PROVIDE A CONTINUOUS LINE OF STRAW WATTLE & MAINTAIN THROUGHOUT CONSTRUCTION (TYP. SEE DETAIL)

PROVIDE 6" PVC CONNECTION FROM STONE DRAIN TO GALLERIES

PROPOSED 50' X 50' TOWER COMPOUND

PROVIDE 8" HIGH CHAIN LINK FENCE



LEGEND

PROPERTY LINE	---
EDGE OF PAVEMENT	----
EDGE OF GRAVEL	- - - -
PROPOSED ACCESS ROAD	-----
EXISTING CONTOUR
PROPOSED CONTOUR
STONE WALL	—●—
LIMITS OF INLAND WETLANDS	—W—
TREE LINE	—T—
PROPOSED CLEARING LIMIT	—SF—
SILT FENCE	—S/F—
PROPOSED ELECTRIC LINE	—E/F—
NOW OR FORMERLY UTILITY POLE	—N/F—
BOUNDARY POINT	○

PROJECT SUMMARY TABLE

DESCRIPTION	DISTANCE	NUMBER
EXISTING GRAVEL ACCESS DRIVEWAY	140'±	
PROPOSED GRAVEL ACCESS DRIVEWAY	120'±	
TOTAL LENGTH ACCESS DRIVEWAY	260'±	
HOMES WITHIN 1,000 FT. OF TOWER		2
TREES TO BE REMOVED AT COMPOUND		4

TOWER SETBACK

DESCRIPTION	DISTANCE
DISTANCE TO NEAREST OFFSITE RESIDENCE (TO SOUTHWEST)	420'±
DISTANCE TO WEST PROPERTY LINE	250'±
DISTANCE TO ALL OTHER PROPERTY LINES	>2,000'

- NOTES**
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - THE TYPE OF SURVEY PERFORMED IS A TOPOGRAPHIC SURVEY CONFORMING TO THE STANDARDS OF ACCURACY FOR A VERTICAL CLASS T-2 AND IS A RESURVEY OF THE SUBJECT PROPERTY. THIS SITE PLAN IS BASED ON AN EXISTING SURVEY BY CME ASSOCIATES, INC. DATED 1/30/2017.
 - THE SUBJECT PARCEL WAS CONVEYED TO RAYNHAM, INC., THROUGH A CONVEYANCE DATED ON 7/1/2015, AND IS RECORDED IN VOLUME 338, PAGE 122 OF THE POMFRET LAND RECORDS.
 - THE SUBJECT PROPERTY IS SHOWN ON THE POMFRET TAX ASSESSOR MAP No. 06 AS LOT 01 AND HAS BEEN ASSIGNED ADDRESS OF 72 RAGGED HILL ROAD, POMFRET, CONNECTICUT.
 - TOTAL AREA OF PROPERTY = 627± ACRES.
 - SITE IS LOCATED IN ZONE RURAL RESIDENTIAL.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CME ASSOCIATES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 - HORIZONTAL DATUM BASED ON NAD 83.
 - VERTICAL DATUM BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD 88)
 - WETLAND AREAS DEPICTED HEREON WERE FLAGGED BY DEAN GUSTAFSON WITH ALL-POINTS TECHNOLOGY CORPORATION.
 - PURSUANT TO FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 090163 0005B, THE PROPOSED TOWER LOCATION IS LOCATED IN ZONE C, AREAS OF MINIMAL FLOODING.
 - ALL UTILITIES SHALL BE APPROVED BY LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION; ALL UTILITIES SHALL BE CONSTRUCTED TO UTILITY COMPANY SPECIFICATIONS.
 - CLEARING AND TRIMMING OF EXISTING TREES SHALL BE LIMITED TO THAT WHICH IS NECESSARY TO COMPLETE THE PROPOSED WORK AND ALLOW FOR ACCESS TO THE PROPOSED FACILITY.
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 - CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL & STATE PERMITS PRIOR TO BEGINNING ANY CONSTRUCTION.
 - FIELD CHANGES SHALL HAVE PRIOR APPROVAL OF THE ENGINEER.

verizon
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 Cold Spring, NY 10516
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LICENSURE

DAVID WEINPAHL, P.E.
 CT LIC. NO. 22144

NO.: DATE: SUBMISSIONS

NO.	DATE	SUBMISSIONS
0	03.06.18	REVIEW
1	06.10.18	SITING COUNCIL FILING

DRAWN BY: AS
 CHECKED BY: DW

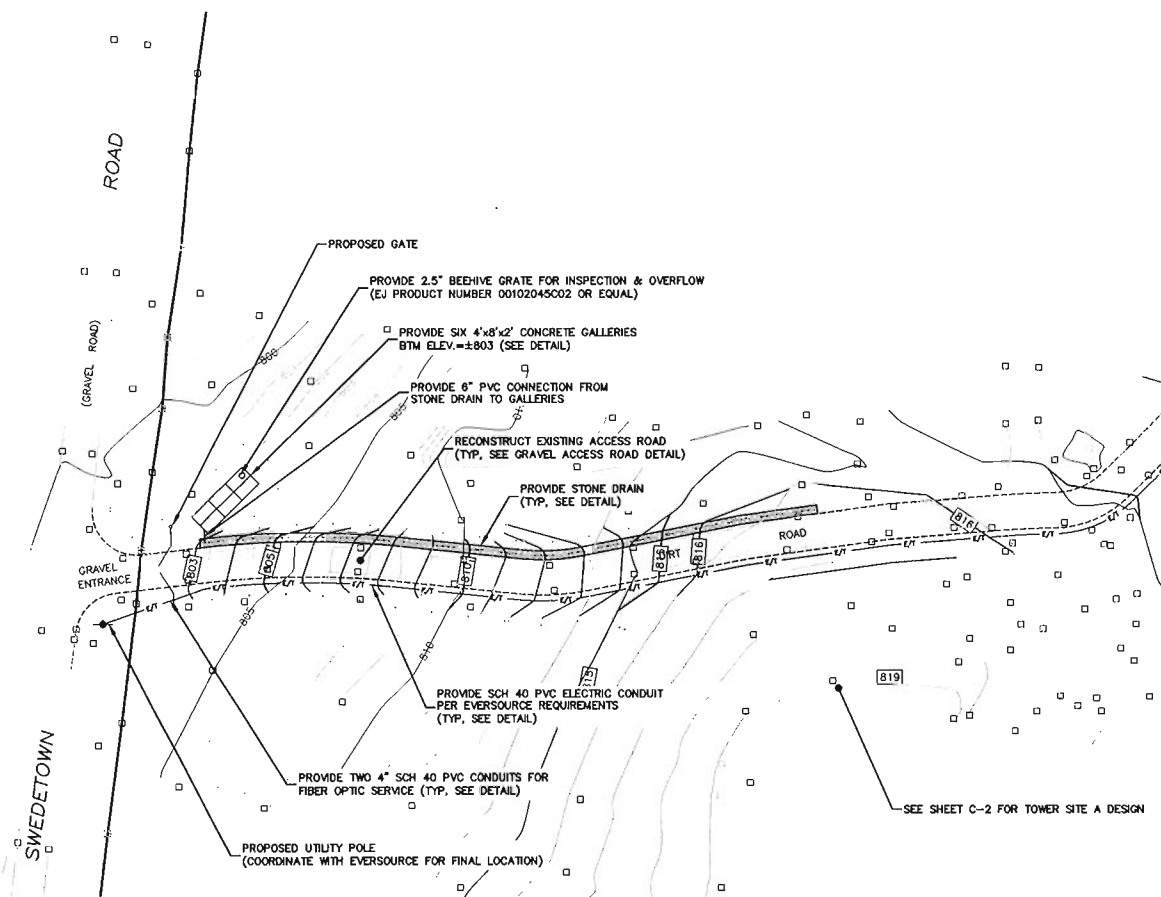
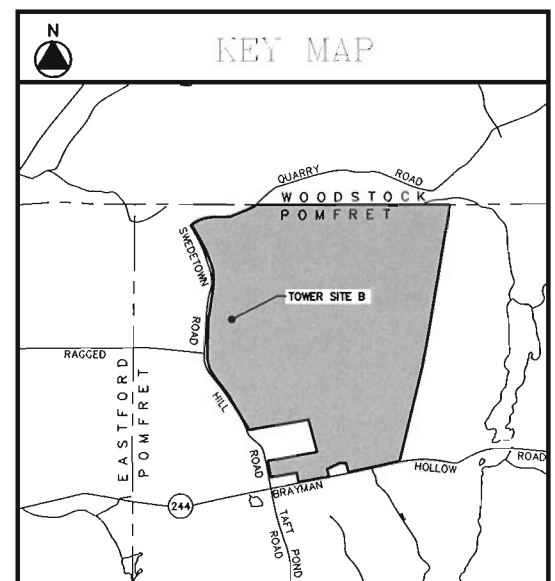
SITE NAME:
POMFRET CENTER CT

PROJECT DESCRIPTION:
NEW BUILD MACRO

PROJECT INFORMATION:
 72 RAGGED HILL RD.
 POMFRET CENTER, CT 06259

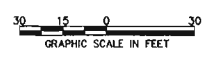
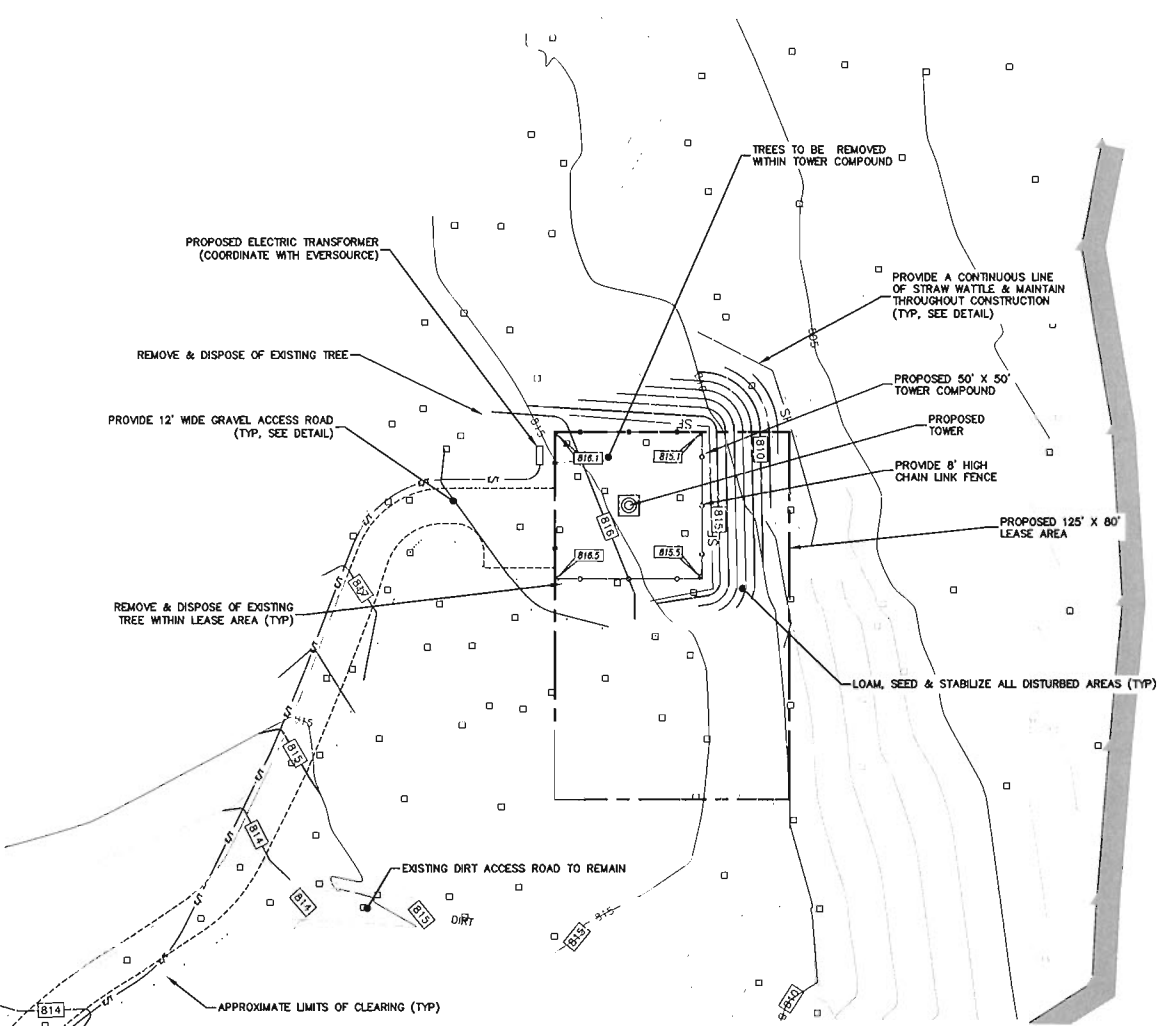
DRAWING TITLE:
SITE PLAN LOCATION A

SHEET NUMBER:
C-2



LEGEND

PROPERTY LINE	---
EDGE OF PAVEMENT	---
EDGE OF GRAVEL	---
PROPOSED ACCESS ROAD	---
EXISTING CONTOUR	804
PROPOSED CONTOUR	819
STONE WALL	---
LIMITS OF INLAND WETLANDS	---
TREE LINE	---
PROPOSED CLEARING LIMIT	SF
SILT FENCE	E/T
PROPOSED ELECTRIC LINE	N/F
NOW OR FORMERLY UTILITY POLE	○
BOUNDARY POINT	○



PROJECT SUMMARY TABLE

DESCRIPTION	DISTANCE	NUMBER
EXISTING GRAVEL ACCESS DRIVEWAY	625'±	
PROPOSED GRAVEL ACCESS DRIVEWAY	50'±	
TOTAL LENGTH ACCESS DRIVEWAY	675'±	
HOMES WITHIN 1,000 FT. OF TOWER		1
TREES TO BE REMOVED AT COMPOUND		2

TOWER SETBACK

DESCRIPTION	DISTANCE
DISTANCE TO NEAREST OFFSITE RESIDENCE (TO SOUTHWEST)	850'±
DISTANCE TO WEST PROPERTY LINE	530'±
DISTANCE TO ALL OTHER PROPERTY LINES	>2,000'

- NOTES**
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 - THE SUBJECT PROPERTY IS SHOWN ON THE POMFRET TAX ASSESSOR MAP No. 06 AS LOT 01 AND HAS BEEN ASSIGNED ADDRESS OF 72 RAGGED HILL ROAD, POMFRET, CONNECTICUT.
 - TOTAL AREA OF PROPERTY : 627± ACRES.
 - SITE IS LOCATED IN ZONE RURAL RESIDENTIAL.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CME ASSOCIATES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
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LICENSURE

DAVID WEINHART, P.E.
CT LIC. NO. 22144

NO. DATE SUBMISSIONS

0	03.06.18	REVIEW
1	05.10.18	SITING COUNCIL FILING

DRAWN BY: AS CHECKED BY: DW

SITE NAME:
POMFRET CENTER CT

PROJECT DESCRIPTION:
NEW BUILD MACRO

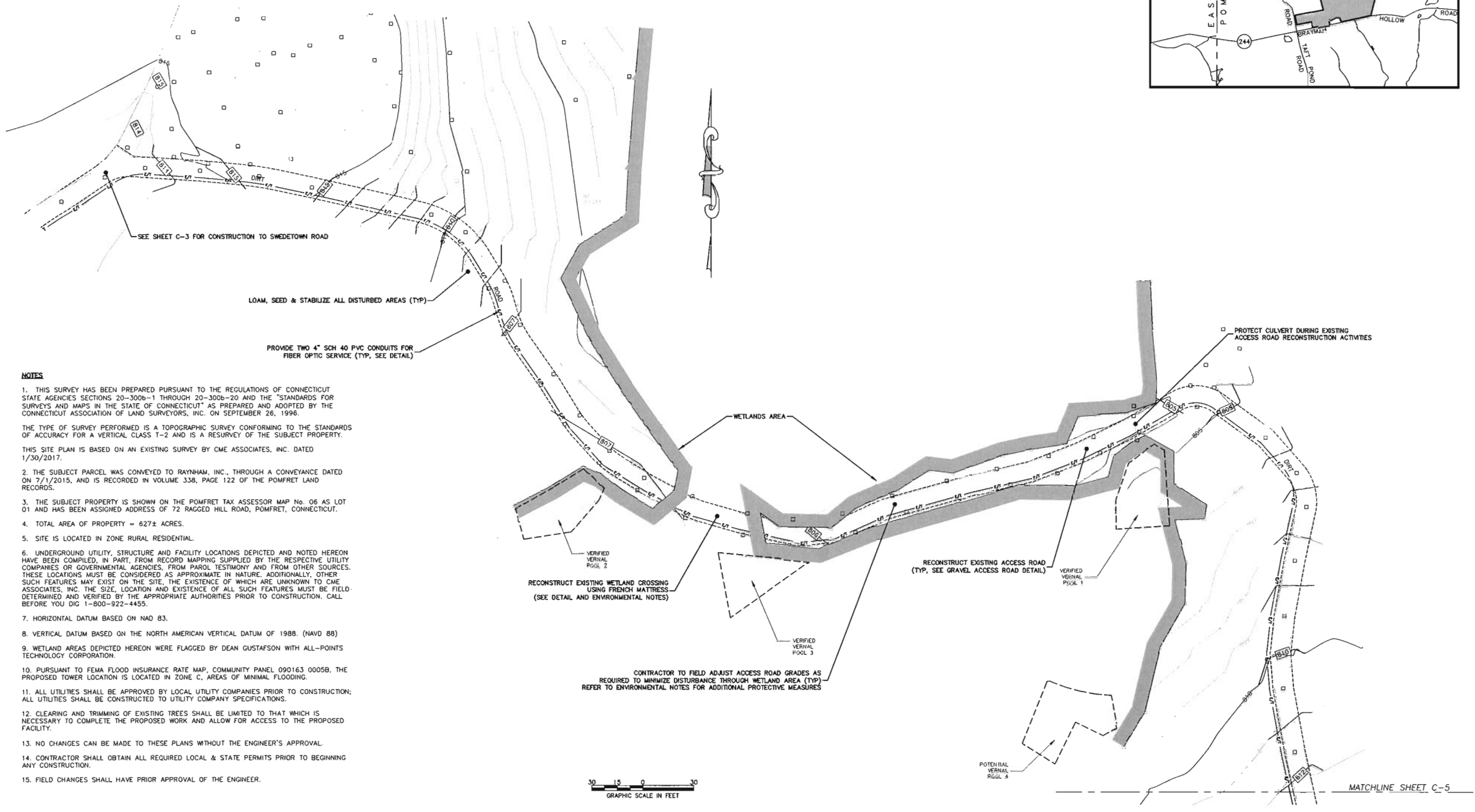
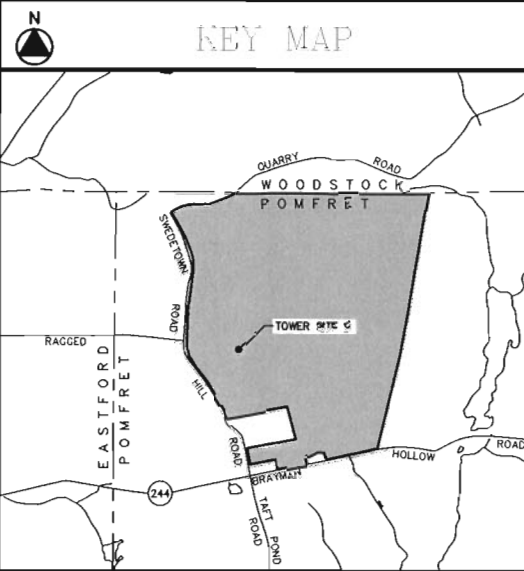
PROJECT INFORMATION:
72 RAGGED HILL RD.
POMFRET CENTER, CT 06259

DRAWING TITLE:
SITE PLAN LOCATION B

SHEET NUMBER:
C-3

LEGEND

PROPERTY LINE	---
EDGE OF PAVEMENT	---
EDGE OF GRAVEL	---
PROPOSED ACCESS ROAD	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
STONE WALL	---
LIMITS OF INLAND WETLANDS	---
TREE LINE	---
PROPOSED CLEARING LIMIT	---
SILT FENCE	---
PROPOSED ELECTRIC LINE	---
NOW OR FORMERLY UTILITY POLE	---
BOUNDARY POINT	○



- NOTES**
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 2. THE TYPE OF SURVEY PERFORMED IS A TOPOGRAPHIC SURVEY CONFORMING TO THE STANDARDS OF ACCURACY FOR A VERTICAL CLASS 1-2 AND IS A RESURVEY OF THE SUBJECT PROPERTY.
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 4. THE SUBJECT PARCEL WAS CONVEYED TO RAYNHAM, INC., THROUGH A CONVEYANCE DATED ON 7/1/2015, AND IS RECORDED IN VOLUME 338, PAGE 122 OF THE POMFRET LAND RECORDS.
 5. THE SUBJECT PROPERTY IS SHOWN ON THE POMFRET TAX ASSESSOR MAP No. 06 AS LOT 01 AND HAS BEEN ASSIGNED ADDRESS OF 72 RAGGED HILL ROAD, POMFRET, CONNECTICUT.
 6. TOTAL AREA OF PROPERTY = 627± ACRES.
 7. SITE IS LOCATED IN ZONE RURAL RESIDENTIAL.
 8. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CME ASSOCIATES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
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LICENSURE

DAVID WEINPAHL, P.E.
CT LIC. NO. 22144

NO.	DATE	SUBMISSIONS
0	03.06.18	REVIEW
1	06.10.18	SITING COUNCIL FILING

DRAWN BY: AS
CHECKED BY: DW

SITE NAME:
POMFRET CENTER CT

PROJECT DESCRIPTION:
NEW BUILD MACRO

PROJECT INFORMATION:
72 RAGGED HILL RD.
POMFRET CENTER, CT 06259

DRAWING TITLE:
**ACCESS ROAD PLAN
LOCATION C**

SHEET NUMBER:
C-4

LEGEND

PROPERTY LINE	---
EDGE OF PAVEMENT	---
EDGE OF GRAVEL	---
PROPOSED ACCESS ROAD	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
STONE WALL	---
LIMITS OF INLAND WETLANDS	---
TREE LINE	---
PROPOSED CLEARING LIMIT	---
SILT FENCE	---
PROPOSED ELECTRIC LINE	---
HOW OR FORMERLY	---
UTILITY POLE	---
BOUNDARY POINT	---

PROJECT SUMMARY TABLE

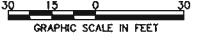
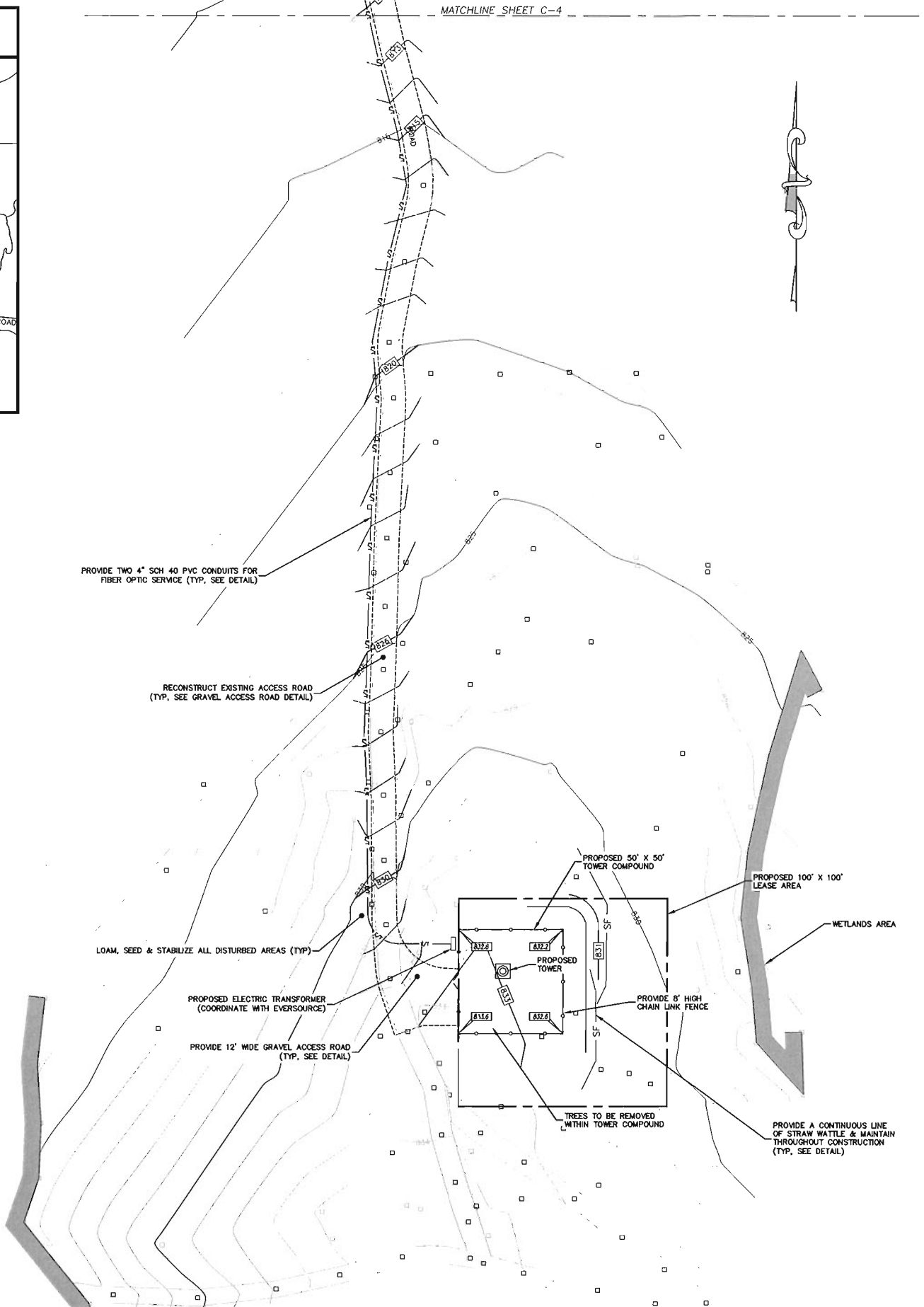
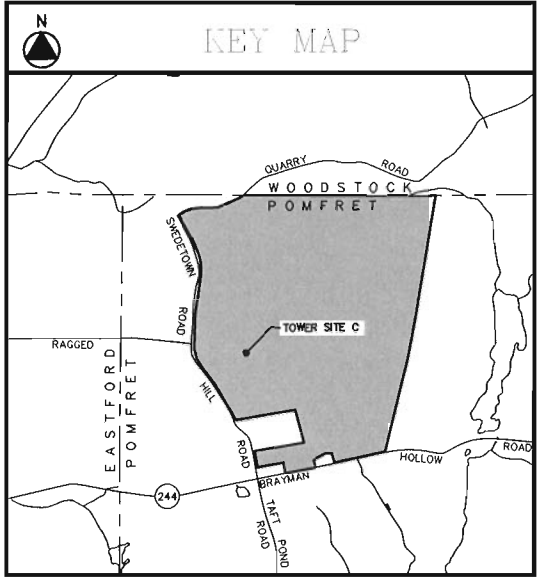
DESCRIPTION	DISTANCE	NUMBER
EXISTING GRAVEL ACCESS DRIVEWAY	2,000'±	
PROPOSED GRAVEL ACCESS DRIVEWAY	20'±	
TOTAL LENGTH ACCESS DRIVEWAY	2,020'±	
HOMES WITHIN 1,000 FT. OF TOWER		0
TREES TO BE REMOVED AT COMPOUND		1

TOWER SETBACK

DESCRIPTION	DISTANCE
DISTANCE TO NEAREST OFFSITE RESIDENCE (TO SOUTHWEST)	1,500'±
DISTANCE TO WEST PROPERTY LINE	1,000'±
DISTANCE TO ALL OTHER PROPERTY LINES	>1,500'

NOTES

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
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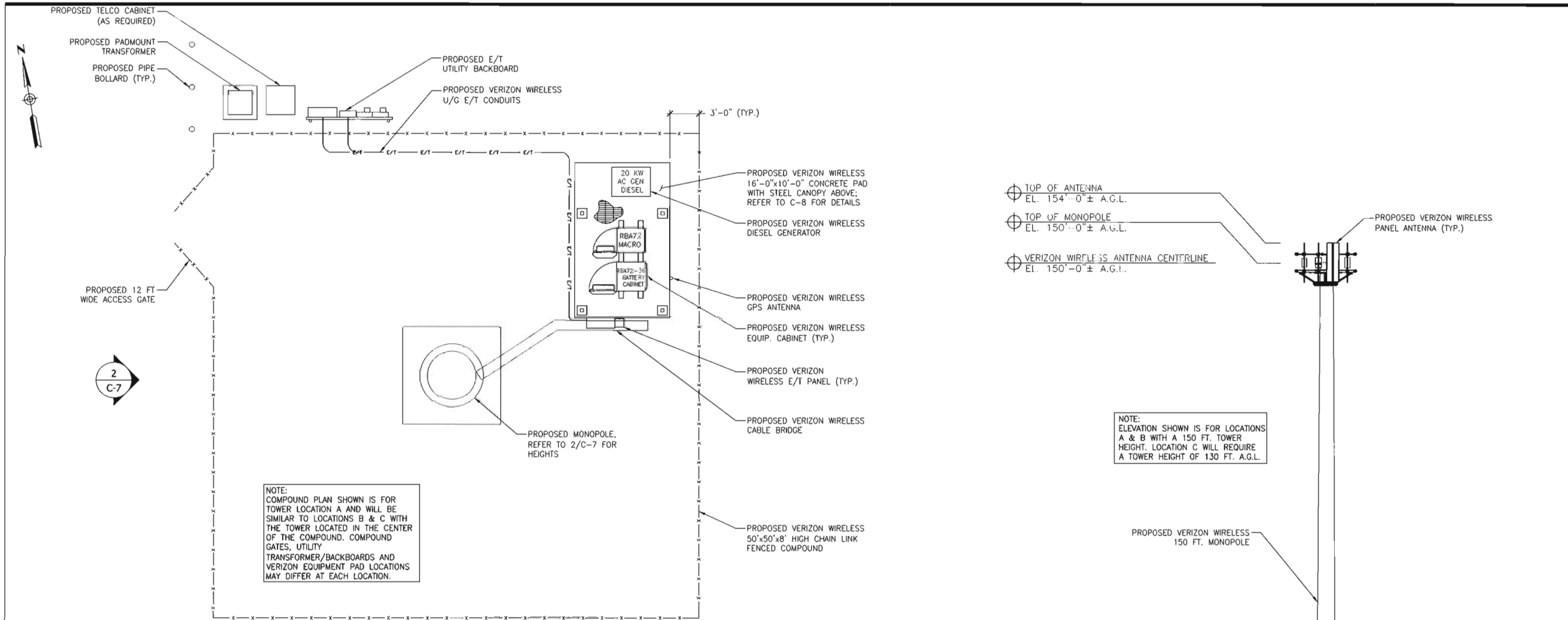
SITE NAME:
POMFRET CENTER CT

PROJECT DESCRIPTION:
NEW BUILD MACRO

PROJECT INFORMATION:
72 RAGGED HILL RD.
POMFRET CENTER, CT 06259

DRAWING TITLE:
**SITE PLAN
LOCATION C**

SHEET NUMBER:
C-5

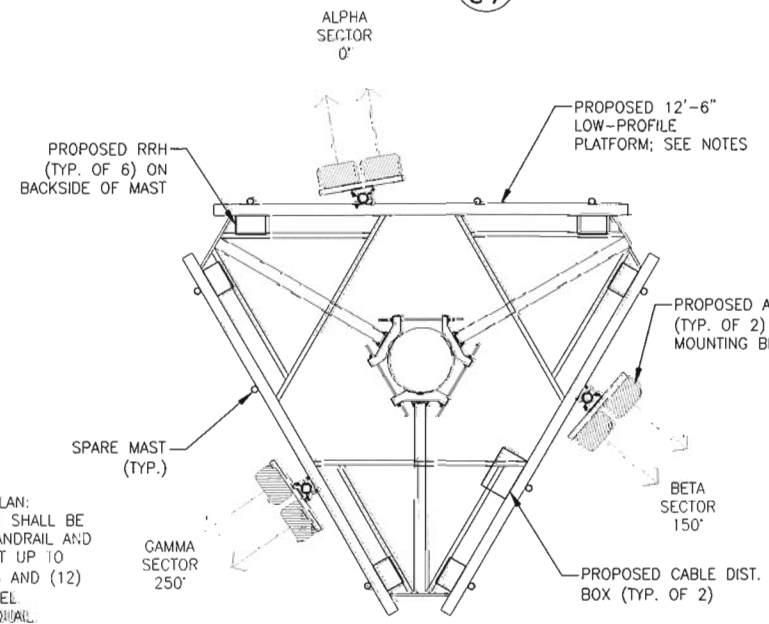


NOTE: COMPOUND PLAN SHOWN IS FOR TOWER LOCATION A AND WILL BE SIMILAR TO LOCATIONS B & C WITH THE TOWER LOCATED IN THE CENTER OF THE COMPOUND. COMPOUND GATES, UTILITY TRANSFORMER/BACKBOARDS AND VERIZON EQUIPMENT PAD LOCATIONS MAY DIFFER AT EACH LOCATION.

NOTE: ELEVATION SHOWN IS FOR LOCATIONS A & B WITH A 150 FT. TOWER HEIGHT. LOCATION C WILL REQUIRE A TOWER HEIGHT OF 130 FT. A.G.L.

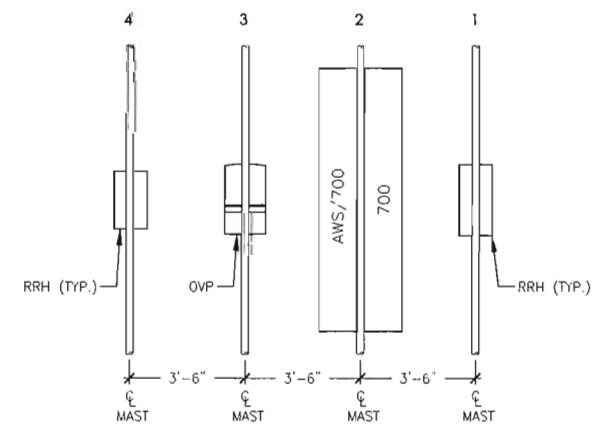
1 COMPOUND PLAN
C-7
Scale: 3/16" = 1'-0"

ANTENNA SPECIFICATIONS (TYP. AT 3 SECTOR'S)				
POS.	BAND	ANTENNA MODEL #	ACCESSORY EQUIPMENT	SPECIFICATIONS
1	AWS	--	ALU B66A RRH4x45	25.8"Hx12"Wx7.3"D; 67 LBS.
2	AWS/700	(2) JAHH-65C-R3B	--	96.6"Hx11.9"Wx7.1"D; 80.2 LBS.
3	--	--	RAYCAP RVZDC-6627-PF-48	29.5"Hx16.5"Wx12.6"D; 32 LBS.
4	700	--	ALU B13 RRH4x30	20.9"Hx11.8"Wx7.5"D; 55.6 LBS.

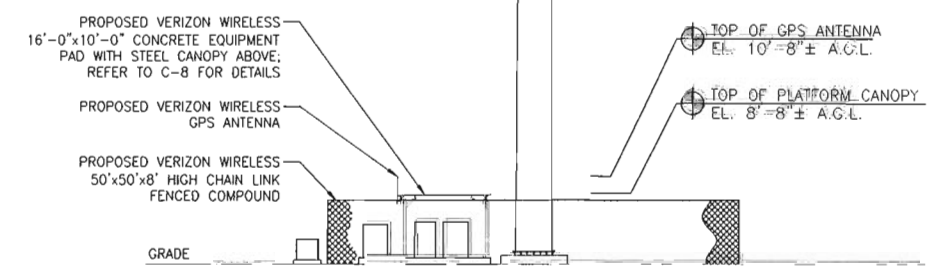


NOTES TO ANTENNA PLAN:
1. ANTENNA PLATFORM SHALL BE LOW-PROFILE WITH HANDRAIL AND DESIGNED TO SUPPORT UP TO (12) PANEL ANTENNAS AND (12) RRH'S; SITE PRO MODEL RMQP-496-HK OR EQUAL.
2. CONTRACTOR SHALL SET ALPHA PLATFORM FACE AT 15° AZIMUTH.

3 ANTENNA PLAN
C-7
Scale: 3/8" = 1'-0"



4 TYPICAL ANTENNA ELEVATION
C-7
Scale: N.T.S.



2 WEST ELEVATION
C-7
Scale: 3/32" = 1'-0"

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DRAWN BY: AS
CHECKED BY: DW

SITE NAME:
POMFRET CENTER CT

PROJECT DESCRIPTION:
NEW BUILD MACRO

PROJECT INFORMATION:
72 RAGGED HILL RD.
POMFRET CENTER, CT 06259

DRAWING TITLE:
**COMPOUND PLAN,
WEST ELEVATION &
ANTENNA PLAN**

SHEET NUMBER:
C-7

GENERAL STRUCTURAL NOTES:

1. ALL EQUIPMENT SHALL BE INSTALLED PLUMB AND LEVEL.
2. ALL WIDE FLANGE STRUCTURAL STEEL SHALL CONFORM WITH A992 SPECIFICATIONS. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE AND ASTM SPECIFICATION. STEEL SHALL CONFORM TO ASTM A-36. PIPE SHALL CONFORM TO ASTM A-501 OR ASTM TYPE EOR S A-53 (GRADE B).
3. ALL CONNECTIONS OF STRUCTURAL STEEL MEMBERS SHALL BE MADE USING SPECIFIED WELDS WITH WELDING ELECTRODES E-70XX OR SPECIFIED HIGH STRENGTH BOLTS TO BE ASTM A325. THREAD EXCLUDED FROM SHEAR PLANE.
4. ALL STEEL EXPOSED TO MOISTURE SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION PER ASTM A-123. ALL DAMAGED SURFACES, WELDED AREAS AND AUTHORIZED NON-GALVANIZED MEMBERS OR PARTS (EXISTING OR NEW) SHALL BE PAINTED WITH 2 COATS OF ZRC COLD GALVANIZING COMPOUND MANUFACTURED BY ZRC CHEMICAL PRODUCTS CO., QUINCY, MA, OR USE THERMAL SPRAYING WITH PLATZINC 85/15 AS MANUFACTURED BY PLATT BROTHERS & COMPANY, WATERBURY, CT 1-800-752-8276.
5. ALL SHOP AND FIELD WELDING SHALL BE DONE BY WELDERS QUALIFIED AS DESCRIBED IN THE "AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE" TO PERFORM THE TYPE OF WORK REQUIRED.
6. ALL PIPE SIZES ARE NOMINAL DIAMETER (INSIDE DIAMETER).

CAST-IN-PLACE CONCRETE:

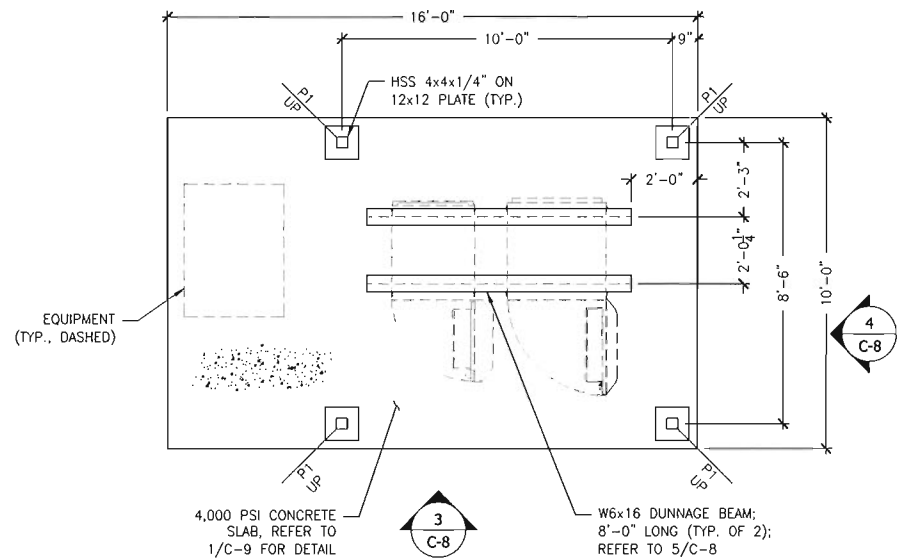
1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE.
2. ALL CONCRETE SHALL ATTAIN 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
3. READY MIX: COMPLY WITH ACI-301 AND ASTM C-94. ALL CONCRETE EXPOSED TO THE GROUND OR WEATHER SHALL BE AIR ENTRAINED.
4. COLD WEATHER CONCRETE POURING SHALL BE IN ACCORDANCE WITH ACI-306.
5. THROUGHOUT CONSTRUCTION THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR THODS, ICE, RAIN, SNOW, EXCESSIVE HEAT AND FREEZING TEMPERATURES.
6. EARLY DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE PROTECTED USING MOIST CURING OR A MEMBRANE CURING AGENT APPLIED AS SOON AS FORMS ARE REMOVED OR FINISHING OPERATIONS ARE COMPLETE. CARE SHALL BE EXERCISED SO AS NOT TO DAMAGE COATING.
7. APPLY NON-SLIP BROOM FINISH IMMEDIATELY AFTER TROWEL FINISHING.
8. CONTRACTOR TO COORDINATE REQUIREMENTS OF STRUCTURAL, CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS INCLUDING ANY AND ALL PENETRATIONS SPECIFIED PRIOR TO POURING CONCRETE.
9. CONTRACTOR SHALL PROVIDE A 3/4" CHAMFER ON ALL CONCRETE SLABS.

REINFORCING:

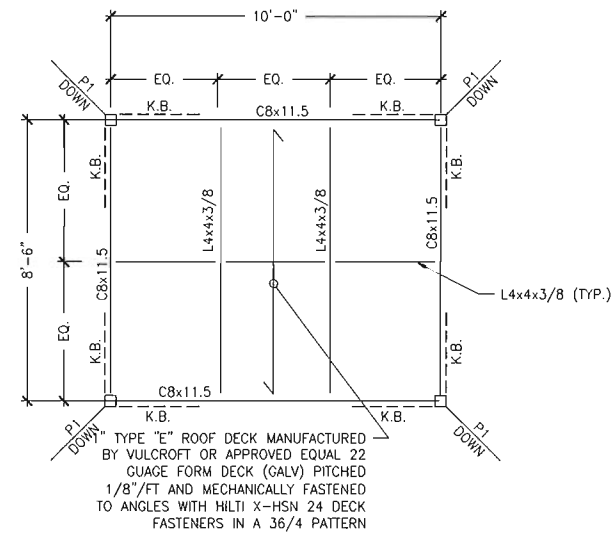
1. ALL REINFORCING BAR SHALL CONFORM TO THE LATEST ACI CODE AND DETAILING MANUAL.
2. WHERE REINFORCING IS CALLED OUT IN THE CONSTRUCTION DOCUMENTS IT SHALL BE 3" CLEAR COVER (MINIMUM UNLESS OTHERWISE NOTED).
3. ALL BARS SHALL BE ASTM A-615, GRADE 60.
4. WELDED WIRE FABRIC SHALL BE ASTM A-185.
5. WHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS AND LAPPED AT NECESSARY SPLICES OR HOOKED AT DISCONTINUOUS ENDS. LAP SHALL BE 40 BAR DIAMETERS.

FOUNDATIAON

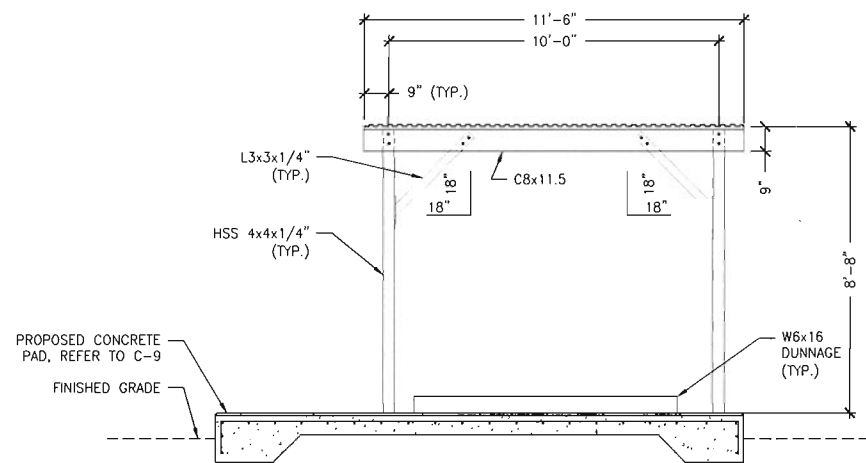
FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND /OR SUPERVISED COMPACTED FILL, FREE OF FROST, HAVING A MINIMUM ALLOWABLE BEARING CAPACITY OF 1 1/2 TONS PER SQUARE FOOT



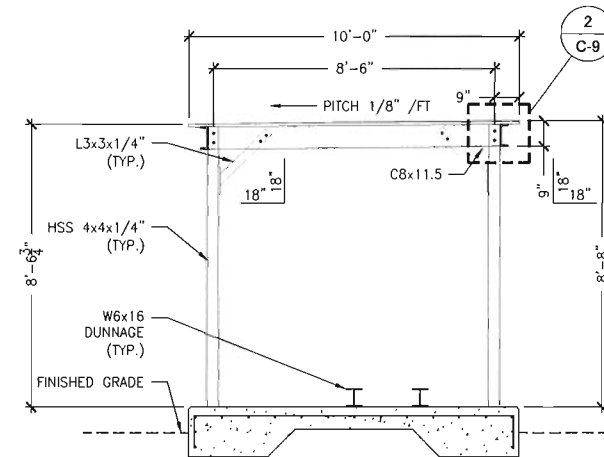
1 EQUIPMENT PLAN
Scale: 1/4" = 1'-0"



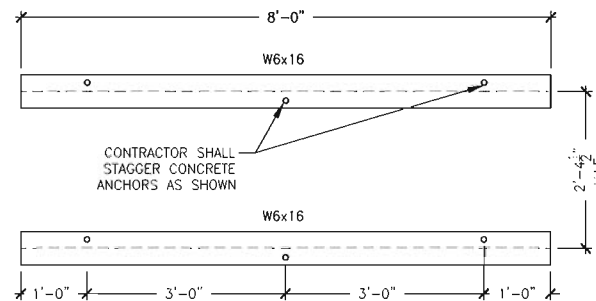
2 EQUIPMENT CANOPY ROOF FRAMING PLAN
Scale: 3/8" = 1'-0"



3 EQUIPMENT PAD AND CANOPY FRONT ELEVATION
Scale: 3/8" = 1'-0"



4 EQUIPMENT PAD AND CANOPY SIDE ELEVATION
Scale: 3/8" = 1'-0"



5 EQUIPMENT DUNNAGE PLAN
Scale: 3/4" = 1'-0"

- NOTES:**
1. COORDINATE ALL BOLT HOLE LOCATIONS AND DUNNAGE RAIL SPACING BASED ON CABINET REQUIREMENTS.
 2. USE HILTI HIT-HY-20 ANCHORS 1/2"Ø HILTI HIT-HY 200 WITH 3" MIN. EMBEDMENT.

PLAN NOTES

1. VERIFY ALL DIMENSIONS, ELEVATIONS, EXISTING FRAMING MEMBER SIZES AND GENERAL CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS.

LEGEND

SYMBOL	DESCRIPTION
	INDICATES HSS 4x4x1/4 ASTM A500 GR. B (Fy=48ksi) STEEL POST.
	INDICATES SPAN DIRECTION
	INDICATES L3x3x1/4 ASTM A36 (Fy=36ksi) STEEL ANGLE

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WIRELESS COMMUNICATIONS FACILITY

20 ALEXANDER DRIVE
WALLINGFORD, CT 06492

On Air Engineering, LLC

88 Foundry Pond Rd.
Cold Spring, NY 10516
onair@optonline.net
201-456-4624

LICENSURE



DAVID WEINPAAL, P.E.
CT LIC. NO. 22144

NO.: DATE: SUBMISSIONS

NO.	DATE	SUBMISSIONS
0	03.06.18	REVIEW
1	06.10.18	SITING COUNCIL FILING

DRAWN BY: AS
CHECKED BY: DW

SITE NAME:
POMFRET CENTER CT

PROJECT DESCRIPTION:
NEW BUILD MACRO

PROJECT INFORMATION:
72 RAGGED HILL RD.
POMFRET CENTER, CT 06259

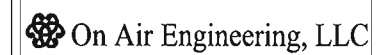
DRAWING TITLE:
**EQUIPMENT PLAN,
CANOPY PLAN & DETAILS**

SHEET NUMBER:
C-8



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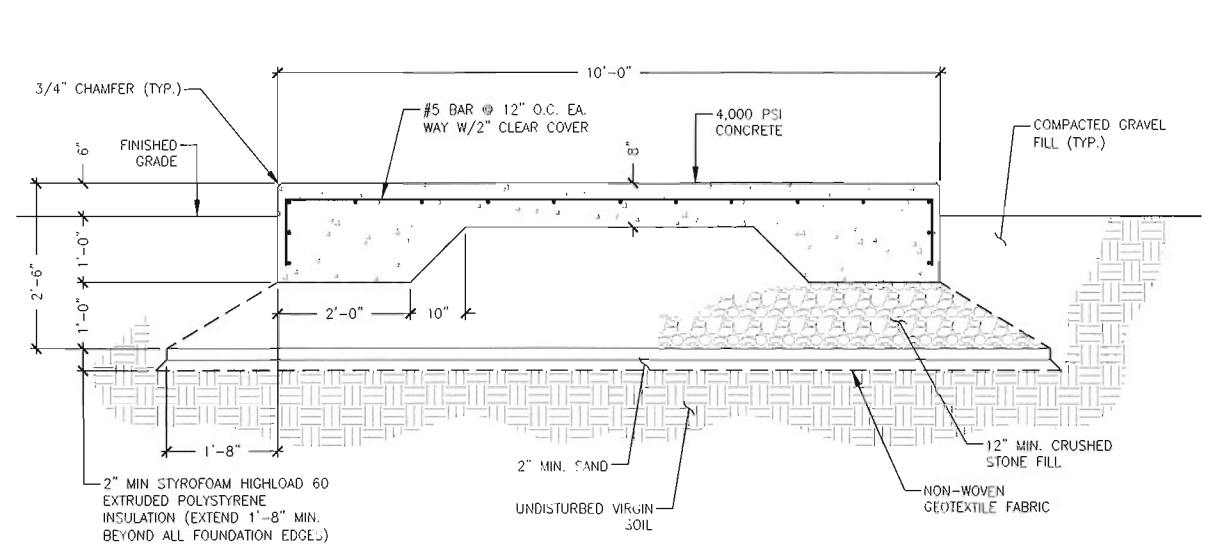
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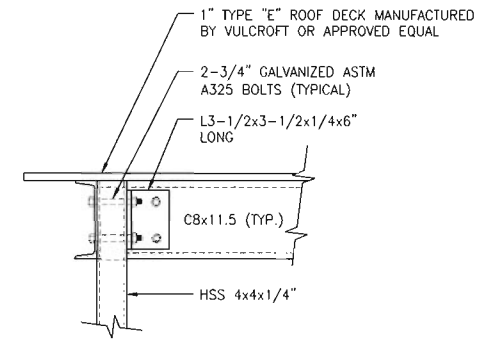
DRAWING TITLE:
**EQUIPMENT SUPPORT
& MISC. DETAILS**

SHEET NUMBER:
C-9

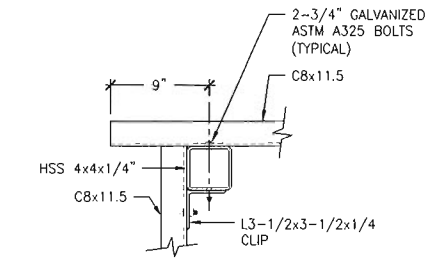


NOTE: MINIMUM SAFE ALLOWABLE BEARING CAPACITY ON VIRGIN SOIL OR ENGINEER CONTROLLED COMPACTED FILL TO BE 3000 PSF.

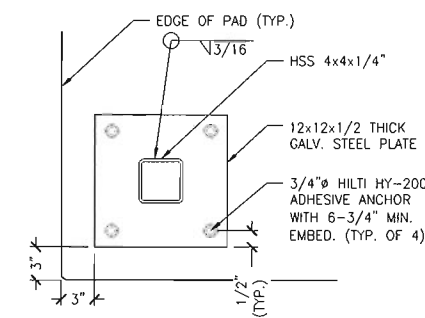
1 CONCRETE SLAB SECTION
Scale: 3/4" = 1'-0"



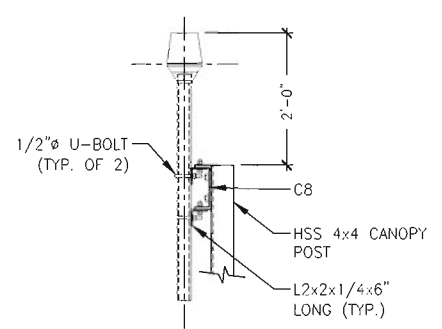
2 CANOPY CONNECTION SECTION
Scale: 1" = 1'-0"



3 CANOPY CONNECTION PLAN
Scale: 1-1/2" = 1'-0"

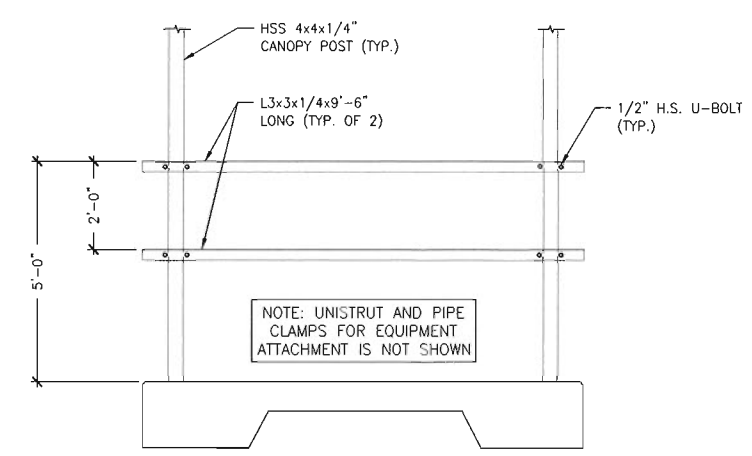


4 CANOPY POST PLAN DETAIL
Scale: 1-1/2" = 1'-0"

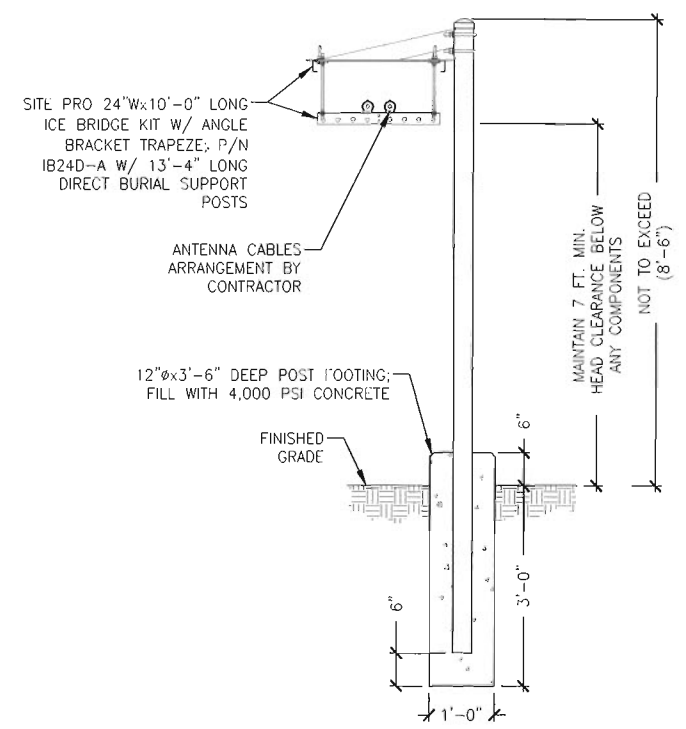


- NOTES:**
- THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 2-1/2" DIAMETER, SCHEDULE 40, GALVANIZED STEEL OR STAINLESS STEEL PIPE. THE PIPE MUST NOT BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH (MINIMUM OF 24 INCHES) USING A HAND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH AND PERPENDICULAR CUT. A HACK SAW SHALL NOT BE USED. THE CUT PIPE END SHALL BE DEBURRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.
 - ATTACH TO POST NEAREST EQUIPMENT WITH CLEAN VIEW OF SKY.
 - PRIOR TO INSTALLATION CONTRACTOR SHALL TEST GPS LOCATION WITH HAND HELD AND MOVE GPS ANTENNA TO OTHER ICE BRIDGE POSTS AS REQUIRED TO ACHIEVE ADEQUATE SIGNAL. FAILURE TO ACHIEVE ADEQUATE SIGNAL WITH A HAND HELD GPS SHALL BE REPORTED TO CONSTRUCTION MANAGER AND ENGINEER TO DETERMINE ALTERNATE INSTALLATION LOCATION FOR GPS ANTENNA.

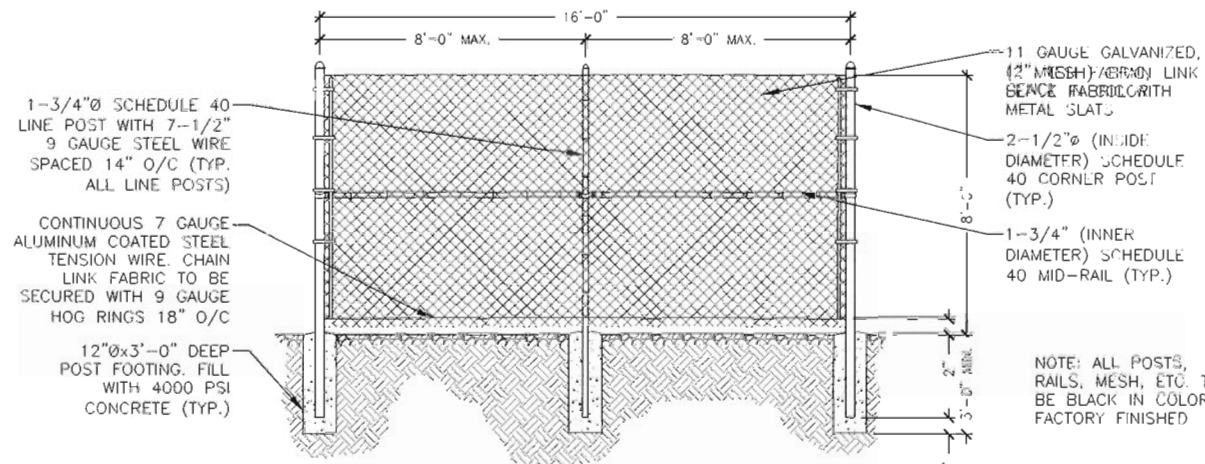
5 GPS GROUNDING/MOUNTING BRACKET DETAIL
Scale: N.T.S.



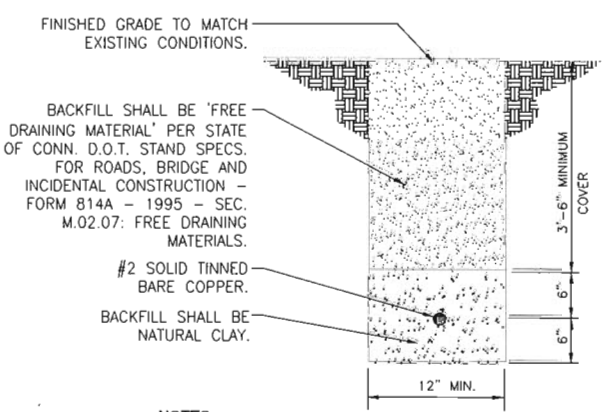
6 E/T FRAME DETAIL
Scale: 1/2" = 1'-0"



7 CABLE BRIDGE DETAIL
Scale: N.T.S.



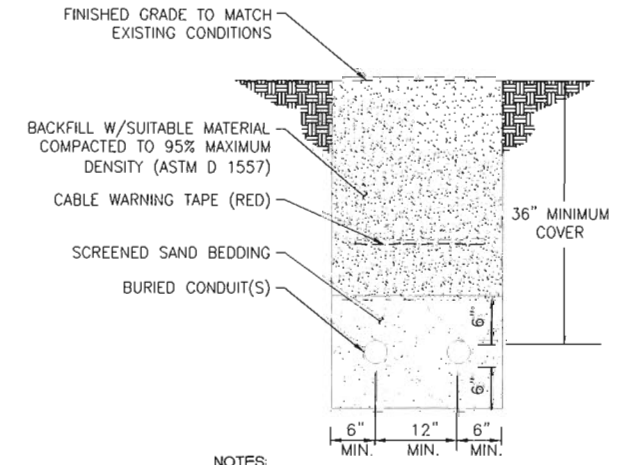
1 CHAIN LINK FENCE AND ACCESS GATE DETAIL
Scale: N.T.S.



2 EGR TRENCH/BACKFILL DETAIL
Scale: N.T.S.

NOTES:

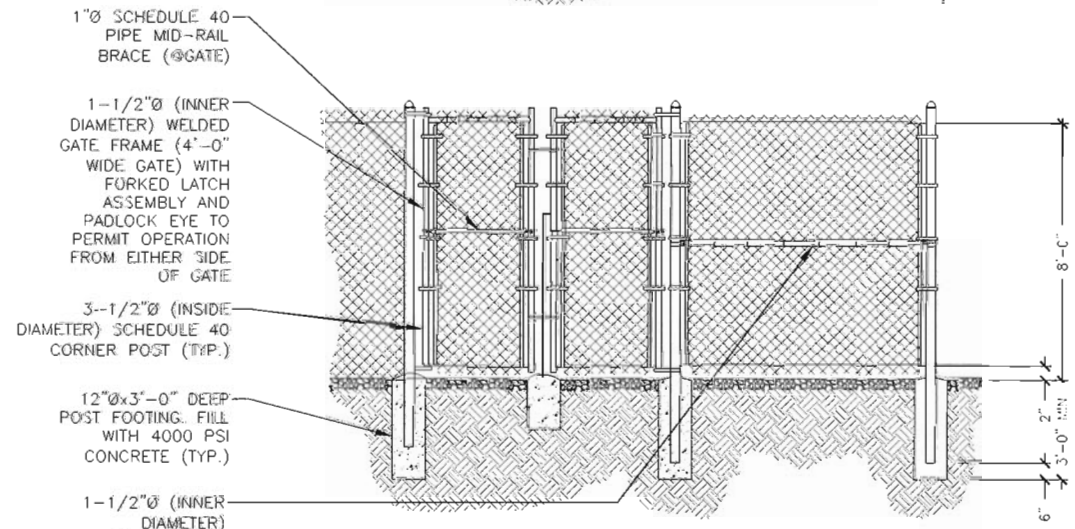
- ENGINEER SHALL INSPECT PLACEMENT OF EGR CONDUCTOR PRIOR TO BACKFILLING.
- MAINTAIN MIN. 2'-0" LINEAR CLEARANCE BETWEEN NATURAL CLAY BACKFILL AND THE FOLLOWING: FOUNDATION, UNDERGROUND PIPING/CONDUIT, UNDERGROUND SERVICES, IN THE CLEARANCE AREAS, USE EARTH BACKFILL INSTEAD.
- EXERCISE HANDLING AND USE PRECAUTION OF BACKFILL MATERIAL PER MFR'S REQUIREMENTS.



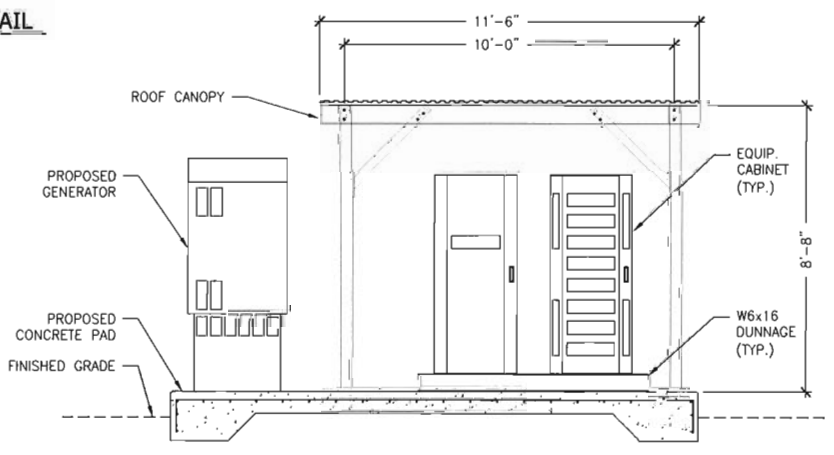
3 TYPICAL ELECTRICAL TRENCH DETAIL
Scale: N.T.S.

NOTES:

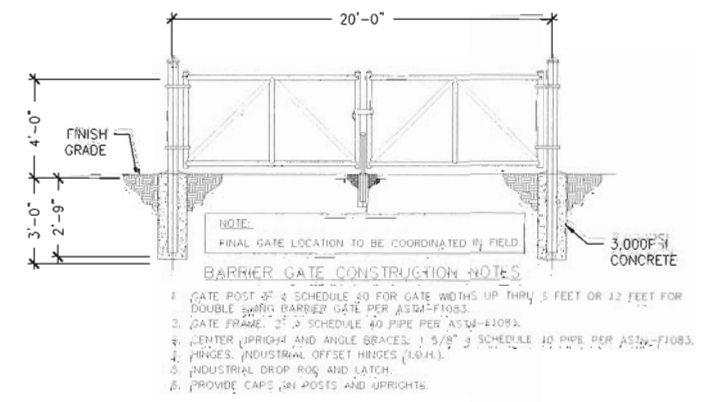
- THE CLEAN FILL SHALL PASS THROUGH A 3/8" MESH SCREEN AND SHALL NOT CONTAIN SHARP STONES. OTHER BACKFILL SHALL NOT CONTAIN ASHES, CINDERS, SHELLS, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION.
- WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND DIG AND PROTECT EXISTING UTILITIES.
- REFER TO PLANS FOR FINAL QUANTITY OF CONDUITS (POWER & TELCO).
- ALL CONDUITS SEPARATIONS SHALL BE IN ACCORDANCE WITH MEC & UTILITY CO. REQUIREMENTS.



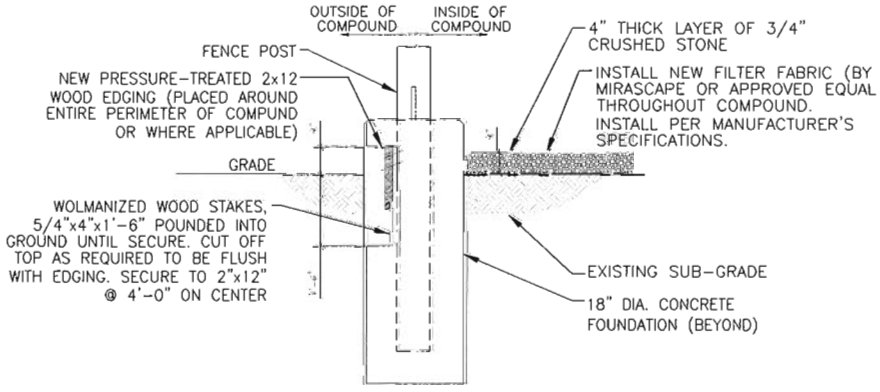
4 FENCE POST/GRADE DETAIL
Scale: N.T.S.



5 EQUIPMENT PAD SECTION
Scale: N.T.S.



6 ACCESS DRIVE SECURITY GATE DETAIL
Scale: N.T.S.



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