



STATE OF CONNECTICUT

CONNECTICUT SITING COUNCIL

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November 22, 2019

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103-3597

RE: **DOCKET NO. 481** - Cellco Partnership d/b/a Verizon Wireless Certificate of Environmental Compatibility and Public Need for the construction, maintenance, and operation of a telecommunications facility located at 667, 665, 663 and 663R Main Street, Cromwell, Connecticut.

Dear Attorney Baldwin:

At a public meeting of the Connecticut Siting Council (Council) held on November 21, 2019, the Council considered and approved the Development and Management (D&M) Plan submitted for this project on November 5, 2019 with the recommendation that additional Erosion and Sedimentation Controls (e.g. hay bales, silt socks) be utilized to protect adjacent wetlands.

This approval applies only to the D&M Plan submitted on November 5, 2019, and additional information received on November 15, 2019. Requests for any changes to the D&M Plan shall be approved by Council staff in accordance with Regulations of Connecticut State Agencies Section (RCSA) §16-50j-77(b).

The Certificate Holder is responsible for compliance with the reporting requirements under RCSA 16-50j-77, including:

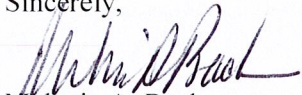
1. Contact information for the personnel of the contractor assigned to the project;
2. Notification of commencement of construction;
3. Quarterly construction progress reports;
4. Notification of completion of construction and commencement of operation; and
5. Final report.

Please be advised that deviations from the approved D&M Plan and non-compliance with the D&M Plan reporting requirements are enforceable under Connecticut General Statutes § 16-50u.

Enclosed is a copy of the staff report for this D&M Plan, dated November 21, 2019.

Thank you for your attention and cooperation.

Sincerely,


Melanie A. Bachman
Executive Director

MAB/MP/lm

Enclosure: Staff Report, dated November 21, 2019



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Docket No. 481

**Cellco Partnership d/b/a Verizon Wireless
667, 665, 663 and 663R Main Street, Cromwell
Development and Management Plan
Staff Report
November 21, 2019**

On July 20, 2018, the Connecticut Siting Council (Council) issued a Certificate of Environmental Compatibility and Public Need to Cellco Partnership d/b/a Verizon Wireless (Cellco) for the construction, maintenance, and operation of a 120-foot wireless telecommunications facility located at 667, 665, 663 and 663R Main Street in Cromwell, Connecticut. As required in the Council's Decision and Order (D&O), Cellco submitted a Development and Management (D&M) Plan to the Council and the Town of Cromwell (Town) on or about October 31, 2019. The Council did not receive any comments regarding the D&M Plan to date. On August 26, 2019, the Council approved an extension request from Cellco to extend the construction deadline by 12 months to January 20, 2021. The Council submitted interrogatories to Cellco on November 7, 2019. Cellco submitted responses to the interrogatories on November 13, 2019.

The site is located on four contiguous parcels totaling 7.78 acres. The subject property is used for commercial/industrial purposes and includes, but is not limited to, buildings, infrastructure, and storage areas that support the operation of Cromwell Concrete Products, Inc. During the proceeding, Cellco shifted the original tower location approximately 100 feet to the east at the request of an abutting property owner. The tower will be located in the northwestern portion of the subject property at the location of the 100-foot shift.

Consistent with the Council's D&O, Cellco will construct a 120-foot monopole designed in accordance with the EIA/TIA standard "Structural Standards for Steel Antenna Towers and Antenna Supporting Structures- Revision G". The tower can support four levels of antennas (including Cellco), but is not designed to be extended in height. Cellco will install 12 panel antennas and 6 remote radio heads on a square antenna platform at a centerline height of 120 feet above ground level.

The monopole has been designed with a theoretical failure point located 35 feet down from the top of the monopole. The nearest property line is located approximately 35 feet to the north of the monopole location. Thus, consistent with Condition No. 2(b) of the D&O, the tower is designed with a yield point to ensure that the tower setback radius remains within the boundaries of the subject property.

Cellco will construct a 50-foot by 50-foot equipment compound at the site within a 75-foot by 70-foot lease area. The compound will be enclosed by an 8-foot high chain link fence. Cellco will install one equipment cabinet on a 9-foot by 9-foot concrete pad with a canopy on top within the compound. Associated small electrical equipment will be installed on a steel H-frame structure along the northern edge of the concrete pad. A utility board and pad-mounted transformer will be installed outside the southwestern corner of the fenced compound. A 12-foot wide security gate will be installed on the western side of the fenced compound.

Consistent with Condition No. 2(c) of the D&O, Cellco included water drainage and stormwater control plans. Specifically, the approved telecommunications facility has been designed to maintain existing grades and existing drainage patterns on the subject parcel. Due to the addition of impervious area, the increase in Water Quality Standard Volume will be detained within the voids of the gravel-finished compound area.



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Access to the compound will be provided over an existing paved driveway for a distance of about 156 feet, and a new 12-foot wide and approximately 990-foot long gravel access drive will be constructed roughly parallel to an existing tree line along the southern property boundaries (and will pass through all four parcels) to reach the compound.

Utilities would connect overhead to two existing poles: one east and one west of Main Street adjacent to the access drive. Utilities would continue underground roughly parallel to the proposed access drive to reach the compound. In accordance with Condition No. 2(e) of the D&O, Cellco has shifted its underground utilities from along the southern side of the access drive to the northern side. This increases the distance from the existing trees (along the southern property line) to be protective of the tree roots.

Emergency power will be provided to Cellco's equipment by both a battery backup and a 30-kW diesel generator/fuel tank unit with secondary containment for fuel, oil and coolant. The generator/fuel tank unit will be mounted on a 4-foot by 8.5-foot concrete pad within the compound. In accordance with Condition No. 2(a) of the D&O, Cellco included "consideration of additional run time capacity." Cellco originally proposed a 132-gallon fuel tank that could supply the generator for approximately 43 hours at full load. In the D&M Plan, Cellco proposes a 203-gallon tank which would increase the run time to roughly 66 hours at full load.

Limited tree clearing may be necessary for the northwestern corner of the compound/lease area and near where the new access drive enters the compound. There are no wetlands or watercourses within the construction limits of the new access drive or compound.

In accordance with Condition No. 2(d) of the Council's D&O, Cellco will implement an eastern box turtle protection program to prevent potential construction related impacts to this State-listed Species of Special Concern. Turtle protection measures include, but are not limited to, use of siltation barriers to isolate work areas from non-work areas, a sweep of the construction area after isolation barriers are in place, contractor education, and use of natural fiber erosion netting, where necessary, to allow for the natural degradation of netting materials.

No landscaping is proposed.

Construction activities will comply with the *2002 Connecticut Guidelines for Soil Erosion and Sedimentation Control*. Typical construction hours will be 8:00 a.m. to 6:00 p.m., Monday through Saturday.

Consistent with the Council's Decision and Order, the cumulative worst-case radio frequency power density level at the base of the tower will be 29.5 percent of the FCC's General Public/Uncontrolled Maximum Permissible Exposure limit.

The D&M Plan is consistent with the Council's D&O for Docket No. 481.