

# **BRIDGEPORT EAST**

**380 Horace Street  
Bridgeport, Connecticut**

Description of Proposed Cell Site

Tarpon Towers II, LLC  
1001 3<sup>rd</sup> Avenue West, Suite 420  
Bradenton, FL 34205

Cellco Partnership d/b/a Verizon Wireless  
99 East River Drive  
East Hartford, CT 06108

## TABLE OF CONTENTS

	<b>Page</b>
GENERAL CELL SITE DESCRIPTION .....	1
U.S.G.S. TOPOGRAPHIC MAP .....	2
AERIAL PHOTOGRAPH .....	3
SITE EVALUATION REPORT .....	4
FACILITIES AND EQUIPMENT SPECIFICATION.....	6
ENVIRONMENTAL ASSESSMENT STATEMENT.....	7

SITE NAME: BRIDGEPORT EAST – 380 HORACE STREET, BRIDGEPORT, CT

GENERAL CELL SITE DESCRIPTION

The proposed Bridgeport East cell site would be located in the northerly portion of an approximately 13.7 acre parcel owned by MDL Realty LLC. The facility would consist of a 90-foot telecommunications tower and a 9'-4" x 16' equipment platform located near the base of the tower. The platform would support Cellco's radio equipment and a 25 kW natural gas-fueled back-up generator. The tower and equipment shelter will be located within a 2500 square foot fenced compound and leased area.





Cellco would attach twelve (12) antennas and nine (9) remote radio heads to a platform at a centerline height of 90 feet above ground level. The top of Cellco's antennas would extend above the top of the tower to an overall height of approximately 94 feet. Vehicular access to the site would extend from Horace Street over an existing paved driveway and parking area on an adjacent parcel, a distance of approximately 226 feet. Utility service would extend from existing service along Horace Street.





Proposed +/-90' Tall Monopole Tower (+/-94' with antennas) within +/-2,500 sq.ft. Gravel/Fenced Compound/Lease Area

Proposed 12' Wide Access /Utility Easement

- Legend**
-  Subject Property
  -  Proposed Monopole Tower
  -  Proposed Facility Layout
  -  Approximate Parcel Boundary (CTDEEP GIS)

Map Notes:  
Base Map Source: 2016 Aerial Photograph (CTECO)  
Map Scale: 1 inch = 200 feet  
Map Date: July 2017

-3-



**Aerial Photograph**  
Proposed Wireless Telecommunications Facility  
Bridgeport East  
380 Horace Street  
Bridgeport, Connecticut



## SITE EVALUATION REPORT

SITE NAME: BRIDGEPORT EAST – 380 HORACE STREET, BRIDGEPORT, CT

### I. TOWER LOCATION

- A. COORDINATES: 41°-12'-15.63" N 73°-10'-35.62" W
- B. GROUND ELEVATION: Approximately 62± feet AMSL
- C. U.S.G.S. QUADRANGLE MAP: Bridgeport, CT
- D. SITE ADDRESS: 380 Horace Street, Bridgeport, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within ¼ mile of the cell site is in Bridgeport's IL Industrial Light Zone and R-B Residential (Two Family) zone districts and R-C Residential (Multi-Family) zone.

### II. DESCRIPTION

- A. SITE SIZE: 2,500 Square Foot Leased Area and Facility Compound
- B. LESSOR'S PARCEL: Approximately 13.7 acres
- C. TOWER TYPE/HEIGHT: 90' Monopole Tower  
94' Top of Antennas
- D. SITE TOPOGRAPHY AND SURFACE: Topography in the area is generally flat. The facility compound will be installed along the edge of an existing paved parking area. Only eight (8) trees will need to be removed to construct the facility compound or related improvements.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower would be located in the northerly portion of an approximately 13.7 acre industrial parcel. The closest wetland area is located approximately 150 feet to the east of the site. Minor grading in the center portion of the site compound will be required.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The 13.7 acre subject parcel is surrounded by industrial land to the north and east and residential uses to the south and west. (See Aerial Photograph and U.S.G.S. Topographic Map at pp. 2 and 3).

III. FACILITIES

- A. POWER COMPANY: United Illuminating
- B. POWER PROXIMITY TO SITE: Approximately 226 feet along Horace Street to the south of the facility compound.
- C. TELEPHONE COMPANY: Frontier Communications
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Horace Street over an existing paved driveway and parking area a distance of approximately 226 feet.
- F. CLEARING AND FILL REQUIRED: Minimal tree clearing and some minor grading in the facility compound would be required for construction of the cell site. Detailed construction plans would be developed if this location is approved by the Siting Council.

IV. LEGAL

- A. PURCHASE  LEASE
- B. OWNER: MDL Realty LLC.
- C. ADDRESS: 380 Horace Street, Bridgeport, CT
- D. DEED ON FILE AT:  
City of Bridgeport, CT Land Records

Vol. 8483

Page 256





## ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: BRIDGEPORT EAST – 380 HORACE STREET, BRIDGEPORT, CT

### I. PHYSICAL IMPACT

#### A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the access drive, tower or equipment shelter. The equipment used will not discharge any pollutants to area surface or groundwater systems. The closest wetland area is located approximately 150 feet to the east of the fenced compound and lease area.

#### B. AIR QUALITY

Under ordinary operating conditions, the Cellco equipment at the Bridgeport East Facility would generate no air emissions. During power outages and periodically for maintenance purposes, Cellco would utilize a natural gas-fueled generator to provide emergency back-up power. Cellco's back-up generator will be managed to comply with the "permit by rule" criteria established by the Connecticut Department of Energy and Environmental Protection ("DEEP") Bureau of Air Management, pursuant to R.C.S.A. § 22a-174-3b.

#### C. LAND

Eight (8) trees will be removed and minor grading in the tower compound will be required. The remaining land of the Lessor would remain unchanged by the construction and operation of the cell site.

#### D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for operation of the heating, air conditioning and ventilation systems installed as a part of the prefabricated equipment cabinets and the occasional operation of the back-up generator which would only run when power to the facility is interrupted and periodically for maintenance purposes. Some noise is anticipated during cell site construction.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's 700 MHz, 850 MHz, 1900 MHz and 2100 MHz antennas at the Bridgeport East Facility would be 48.89% of the FCC Safety Standard.

F. VISIBILITY

See Visibility Report included as Attachment 9.

**PROJECT SUMMARY**

SCOPE OF WORK: TARPON TOWERS II, LLC IS PROPOSING TO INSTALL THE FOLLOWING IMPROVEMENTS:  
 90 FOOT TOWER  
 62.5'x40' FENCED COMPOUND  
 POWER, TELCO AND GAS UTILITIES  
 VERIZON EQUIPMENT ON 9'-4"x 16' STEEL PLATFORM  
 TWELVE (12) VERIZON ANTENNAS, SIX (9) RADIOS (RRH) WITH ASSOCIATED CABLING AND APPURTENANCES

SITE ADDRESS: 380 HORACE STREET BRIDGEPORT, CT 06610

LATITUDE: 41° 12' 15.63" N 41.204342 N  
 LONGITUDE: 73° 10' 35.62" W 73.176561 W

PROPERTY OWNER: MDL REALTY, LLC.  
 380 HORACE STREET BRIDGEPORT, CT 06610

TAX MAP#: 62/2050/39/Y

POWER COMPANY: UNITED ILLUMINATION  
 TELEPHONE COMPANY: FRONTIER COMMUNICATIONS

TOWER OWNER/APPLICANT: TARPON TOWERS II, LLC  
 1001 3RD AVENUE WEST, SUITE 420 BRADENTON, FL 34205

CO APPLICANT: CELLCO PARTNERSHIP D/B/A/  
 VERIZON WIRELESS  
 99 EAST RIVER DRIVE EAST HARTFORD, CT 06108

PROJECT ENGINEERING: DOUG ROBERTS, AIA.  
 HUDSON DESIGN GROUP, LLC.  
 110 WASHINGTON AVENUE FOURTH FLOOR NORTH HAVEN, CT 06473

LEGAL/ REGULATORY COUNSEL: KENNETH C. BALDWIN, Esq.  
 ROBINSON + COLE, LLP.  
 280 TRUMBULL STREET HARTFORD, CT 06103



CELLCO PARTNERSHIP

d.b.a. **verizon**  
 WIRELESS COMMUNICATIONS FACILITY

**SITE NUMBER: CT1221**  
**SITE NAME: BRIDGEPORT EAST**



CHECKED BY: BCF

APPROVED BY: DFS

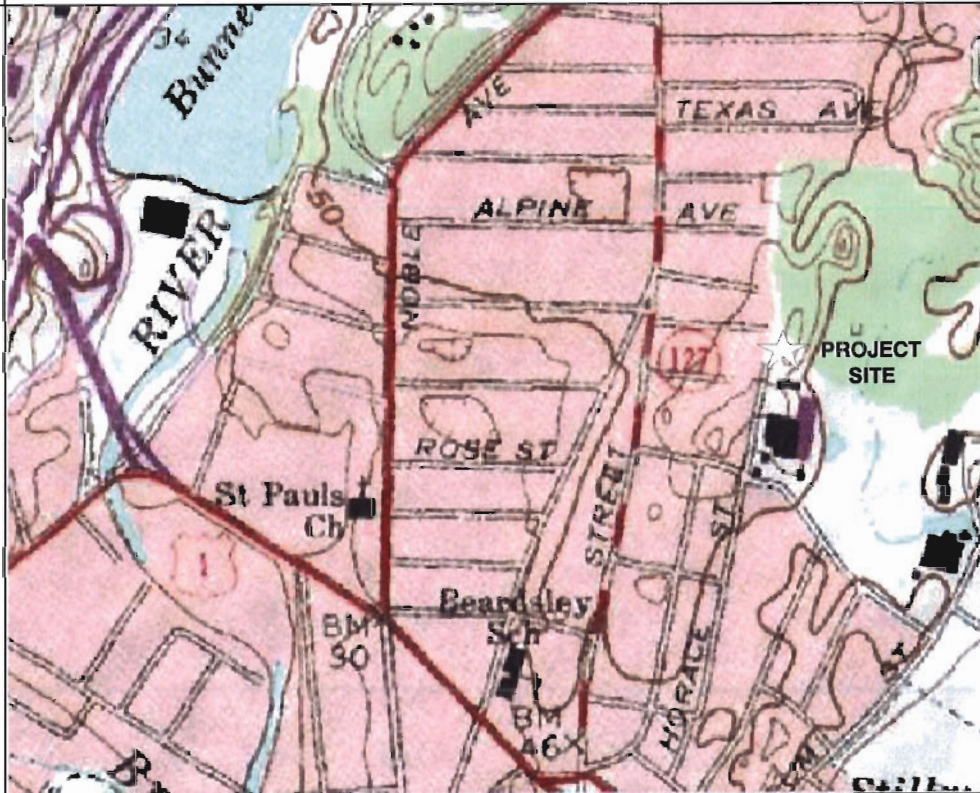
**DRAWING INDEX**

**REV**

**VICINITY MAP**

SCALE: 1"=500'

**GENERAL NOTES**



- THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF TARPON TOWERS II. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED.
- THE FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.

T-1	TITLE SHEET	2
C-1	ABUTTERS PLAN	2
C-2	PARTIAL TOPOGRAPHIC MAP	2
C-3	SITE PLAN	2
A-1	COMPOUND PLAN AND ELEVATION	2
A-2	EQUIPMENT DETAILS	2
A-3	SITE DETAILS	2
A-4	EROSION CONTROL AND DETAILS	2
S-1	FOUNDATION DETAILS	2

**SUBMITTALS**

REV.	DATE	DESCRIPTION	BY
2	09/14/17	REVISED PER COMMENTS	JS
1	09/08/17	REVISED PER COMMENTS	SLY
0	08/24/17	ISSUED FOR REVIEW	SLY

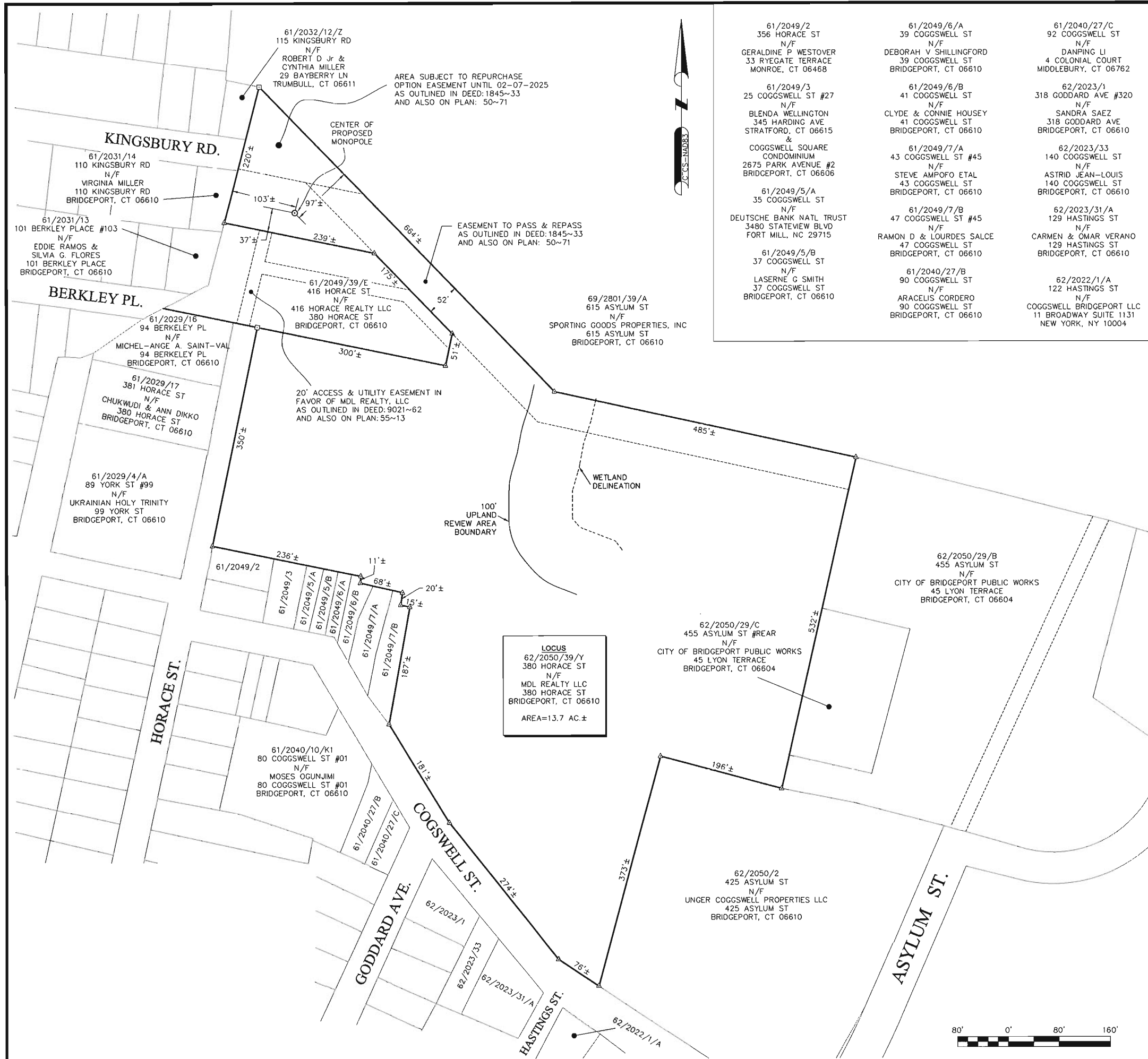
SITE NAME:  
**BRIDGEPORT EAST**

SITE NUMBER:  
**CT1221**

SITE ADDRESS:  
 380 HORACE STREET  
 BRIDGEPORT, CT 06610

SHEET TITLE  
**TITLE SHEET**

SHEET NUMBER  
**T-1**



- 61/2049/2  
356 HORACE ST  
N/F  
GERALDINE P WESTOVER  
33 RYEGATE TERRACE  
MONROE, CT 06468
- 61/2049/3  
25 COGGSWELL ST #27  
N/F  
BLENDIA WELLINGTON  
345 HARDING AVE  
STRATFORD, CT 06615  
&  
COGGSWELL SQUARE  
CONDOMINIUM  
2675 PARK AVENUE #2  
BRIDGEPORT, CT 06606
- 61/2049/5/A  
35 COGGSWELL ST  
N/F  
DEUTSCHE BANK NATL TRUST  
3480 STATEVIEW BLVD  
FORT MILL, NC 29715
- 61/2049/5/B  
37 COGGSWELL ST  
N/F  
LASERNE G SMITH  
37 COGGSWELL ST  
BRIDGEPORT, CT 06610
- 61/2049/6/A  
39 COGGSWELL ST  
N/F  
DEBORAH V SHILLINGFORD  
39 COGGSWELL ST  
BRIDGEPORT, CT 06610
- 61/2049/6/B  
41 COGGSWELL ST  
N/F  
CLYDE & CONNIE HOUSEY  
41 COGGSWELL ST  
BRIDGEPORT, CT 06610
- 61/2049/7/A  
43 COGGSWELL ST #45  
N/F  
STEVE AMPOFO ETAL  
43 COGGSWELL ST  
BRIDGEPORT, CT 06610
- 61/2049/7/B  
47 COGGSWELL ST #45  
N/F  
RAMON D & LOURDES SALCE  
47 COGGSWELL ST  
BRIDGEPORT, CT 06610
- 61/2040/27/B  
90 COGGSWELL ST  
N/F  
ARACELIS CORDERO  
90 COGGSWELL ST  
BRIDGEPORT, CT 06610
- 61/2040/27/C  
92 COGGSWELL ST  
N/F  
DANPING LI  
4 COLONIAL COURT  
MIDDLEBURY, CT 06762
- 62/2023/1  
318 GODDARD AVE #320  
N/F  
SANDRA SAEZ  
318 GODDARD AVE  
BRIDGEPORT, CT 06610
- 62/2023/33  
140 COGGSWELL ST  
N/F  
ASTRID JEAN-LOUIS  
140 COGGSWELL ST  
BRIDGEPORT, CT 06610
- 62/2023/31/A  
129 HASTINGS ST  
N/F  
CARMEN & OMAR VERANO  
129 HASTINGS ST  
BRIDGEPORT, CT 06610
- 62/2022/1/A  
122 HASTINGS ST  
N/F  
COGGSWELL BRIDGEPORT LLC  
11 BROADWAY SUITE 1131  
NEW YORK, NY 10004

**LEGEND**

- PROPERTY LINE - SUBJECT PARCEL
- - - ABUTTERS PROPERTY LINE
- - - EASEMENT LINE
- - - ZONING LINE
- IRON PIPE FOUND
- CONC. BOUND FOUND
- △ CALCULATED POINT

- SITE SPECIFIC NOTES:**
- FIELD SURVEY DATE: 08-14-2017
  - HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83)
  - VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88)
  - OWNER: MDL REALTY LLC  
380 HORACE STREET  
BRIDGEPORT, CT 06610
  - SITE NAME: BRIDGEPORT EAST
  - SITE ADDRESS: 380 HORACE STREET  
BRIDGEPORT, CT 06610
  - APPLICANT: TARPON TOWERS & VERIZON WIRELESS
  - TAX ID: 62/2050/39/Y
  - DEED REFERENCE: BOOK 8483 PAGE 256
  - PLAN REFERENCE: 50~71
  - ZONING DISTRICT: INDUSTRIAL LIGHT ZONE (I-L)
  - THE HORIZONTAL DATUM AND VERTICAL DATUM WERE DERIVED FROM A DUAL FREQUENCY GPS SURVEY.
  - ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE 1-800-322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
  - ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE PROPOSED IMPROVEMENTS ON THIS PROPERTY ARE LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. COMMUNITY PANEL NO. 09001C0433G EFFECTIVE DATE: 07/08/2013
  - FIELD SURVEY BY EDM TOTAL STATION.
  - THIS IS NOT A BOUNDARY SURVEY.**
  - ALL PROPERTY LINES SHOWN ARE FROM PLANS AND DEEDS OF RECORD AND THE CITY OF BRIDGEPORT GIS AND ARE APPROXIMATE ONLY.
  - ABUTTING PROPERTY LINES, ABUTTING STREET LINES AND ABUTTING BUILDING LOCATIONS ARE AS TAKEN FROM THE REFERENCE PLANS, THE CITY OF BRIDGEPORT ASSESSORS' MAPS & GIS AND ARE APPROXIMATE ONLY.
  - WETLANDS SHOWN HEREON WERE DELINEATED BY ALL-POINTS TECHNOLOGY GROUP.

**LOCUS**  
62/2050/39/Y  
380 HORACE ST  
N/F  
MDL REALTY LLC  
380 HORACE ST  
BRIDGEPORT, CT 06610  
AREA=13.7 AC.±

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. ON SEPTEMBER 26, 1997.

TYPE OF SURVEY: IMPROVEMENT LOCATION SURVEY  
BOUNDARY SURVEY CATEGORY: DEPENDENT RESURVEY

CLASS OF ACCURACY: HORIZONTAL CLASS D  
VERTICAL CLASS V-2  
TOPOGRAPHIC CLASS T-2  
PROPOSED CELLULAR MONOPOLE

PURPOSE OF SURVEY: PROPOSED CELLULAR MONOPOLE

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE LIVE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED PROFESSIONAL. UNAUTHORIZED ALTERATIONS RENDER ANY DECLARATION NULL AND VOID.

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



*Charles G. Gioman*  
CHARLES G. GIOMAN, P.L.S. #70103

**TARPON TOWERS**  
TARPON TOWERS II, LLC  
1001 3rd AVENUE WEST, SUITE 420  
BRADENTON, FL 34205

**Hudson Design Group LLC**  
1600 OSGOOD STREET  
BUILDING 20 NORTH, SUITE 3090  
N. ANDOVER, MA 01845  
TEL: (978) 557-5553  
FAX: (978) 336-5586

**NORTHEAST SURVEY CONSULTANTS**  
116 Pleasant St. Ste. 302  
P.O. Box 109  
Easthampton, MA 01027  
(413) 203-5144  
northeast-survey.com



CHECKED BY: BCF

APPROVED BY: CGG

**SUBMITTALS**

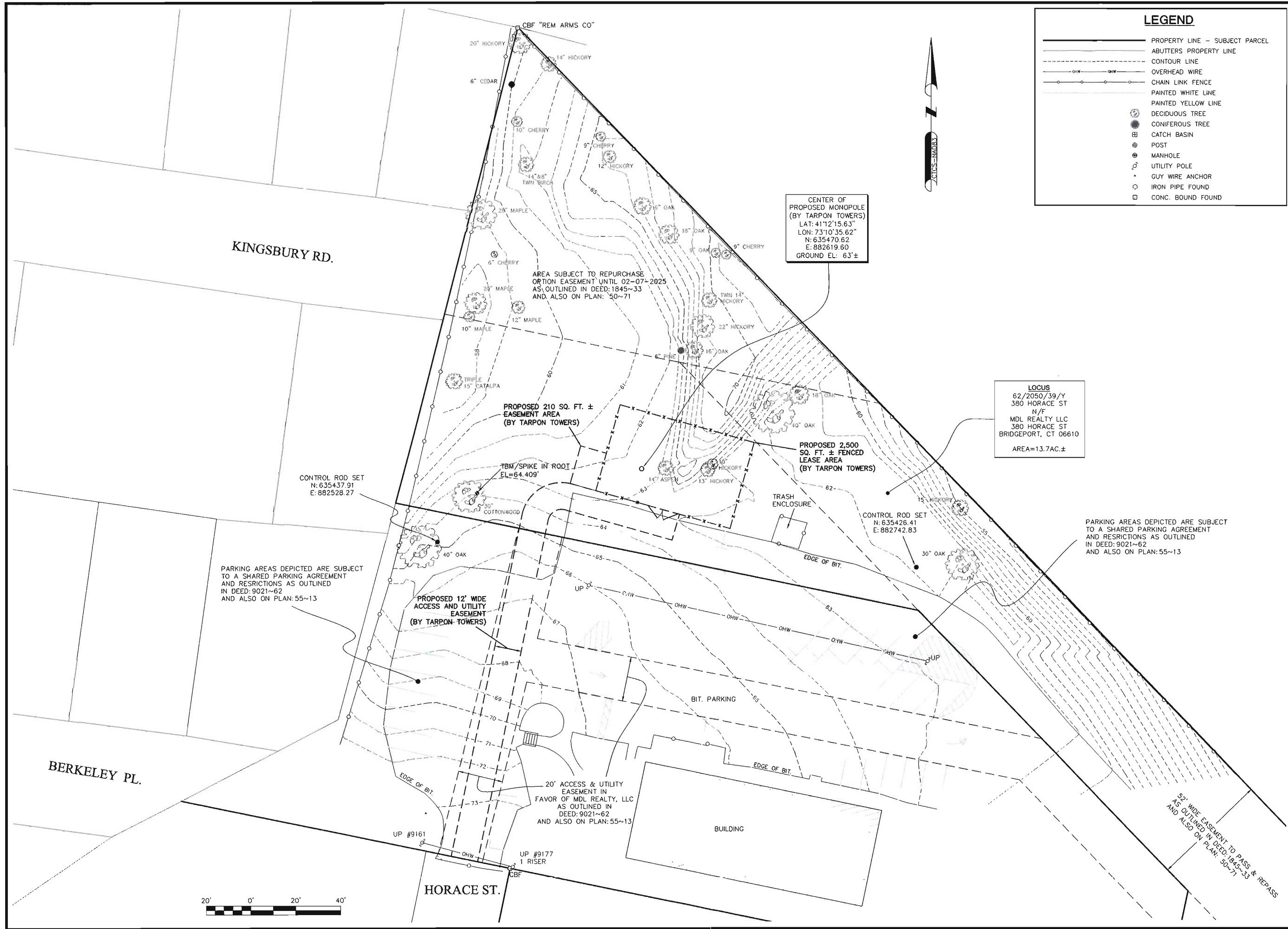
REV.	DATE	DESCRIPTION	BY
0	09/18/17	ISSUED FOR REVIEW	BCF

SITE NAME:  
**BRIDGEPORT EAST**

SITE ADDRESS:  
380 HORACE STREET  
BRIDGEPORT, CT 06610

SHEET TITLE  
**ABUTTERS PLAN**

SHEET NUMBER  
**C-1**



### LEGEND

- PROPERTY LINE - SUBJECT PARCEL
- - - ABUTTERS PROPERTY LINE
- - - CONTOUR LINE
- OHW — OVERHEAD WIRE
- CHAIN LINK FENCE
- PAINTED WHITE LINE
- PAINTED YELLOW LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- ⊕ CATCH BASIN
- ⊙ POST
- ⊙ MANHOLE
- ⊙ UTILITY POLE
- + GUY WIRE ANCHOR
- IRON PIPE FOUND
- CONC. BOUND FOUND

CENTER OF PROPOSED MONOPOLE (BY TARPON TOWERS)  
 LAT: 41°12'15.63"  
 LON: 73°10'35.62"  
 N: 635470.62  
 E: 882619.60  
 GROUND EL: 63'±

LOCUS  
 62/2050/39/Y  
 380 HORACE ST  
 N/F  
 MDL REALTY LLC  
 380 HORACE ST  
 BRIDGEPORT, CT 06610  
 AREA=13.7AC.±

AREA SUBJECT TO REPURCHASE OPTION EASEMENT UNTIL 02-07-2025 AS OUTLINED IN DEED: 1845~33 AND ALSO ON PLAN: 50~71

PROPOSED 210 SQ. FT. ± EASEMENT AREA (BY TARPON TOWERS)

PROPOSED 2,500 SQ. FT. ± FENCED LEASE AREA (BY TARPON TOWERS)

CONTROL ROD SET  
 N: 635437.91  
 E: 882528.27

CONTROL ROD SET  
 N: 635426.41  
 E: 882742.83

PARKING AREAS DEPICTED ARE SUBJECT TO A SHARED PARKING AGREEMENT AND RESTRICTIONS AS OUTLINED IN DEED: 9021~62 AND ALSO ON PLAN: 55~13

PARKING AREAS DEPICTED ARE SUBJECT TO A SHARED PARKING AGREEMENT AND RESTRICTIONS AS OUTLINED IN DEED: 9021~62 AND ALSO ON PLAN: 55~13

PROPOSED 12' WIDE ACCESS AND UTILITY EASEMENT (BY TARPON TOWERS)

20' ACCESS & UTILITY EASEMENT IN FAVOR OF MDL REALTY, LLC AS OUTLINED IN DEED: 9021~62 AND ALSO ON PLAN: 55~13

52' WIDE EASEMENT TO PASS & REPASS AS OUTLINED IN DEED: 1845~33 AND ALSO ON PLAN: 50~71



TARPON TOWERS II, LLC  
 1001 3rd AVENUE WEST, SUITE 420  
 BRADENTON, FL 34205

Hudson Design Group LLC  
 1600 OSGOOD STREET  
 BUILDING 20 NORTH, SUITE 3090  
 N. ANDOVER, MA 01845  
 TEL: (978) 557-5553  
 FAX: (978) 336-5586

NORTHEAST SURVEY CONSULTANTS  
 116 Pleasant St. Ste. 302  
 P.O. Box 109  
 Easthampton, MA 01027  
 (413) 203-5144  
 northeastsurvey.com



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APPROVED BY: CGG

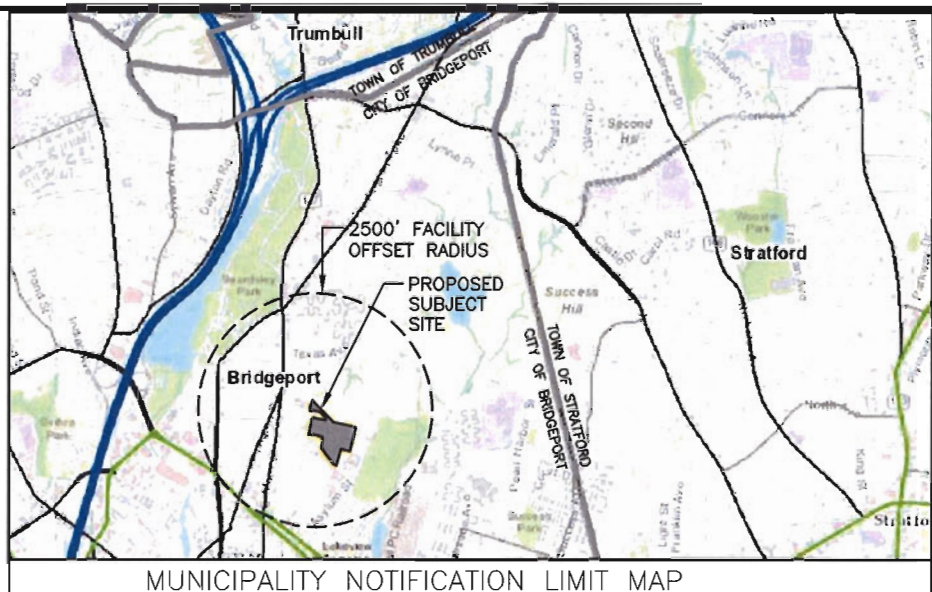
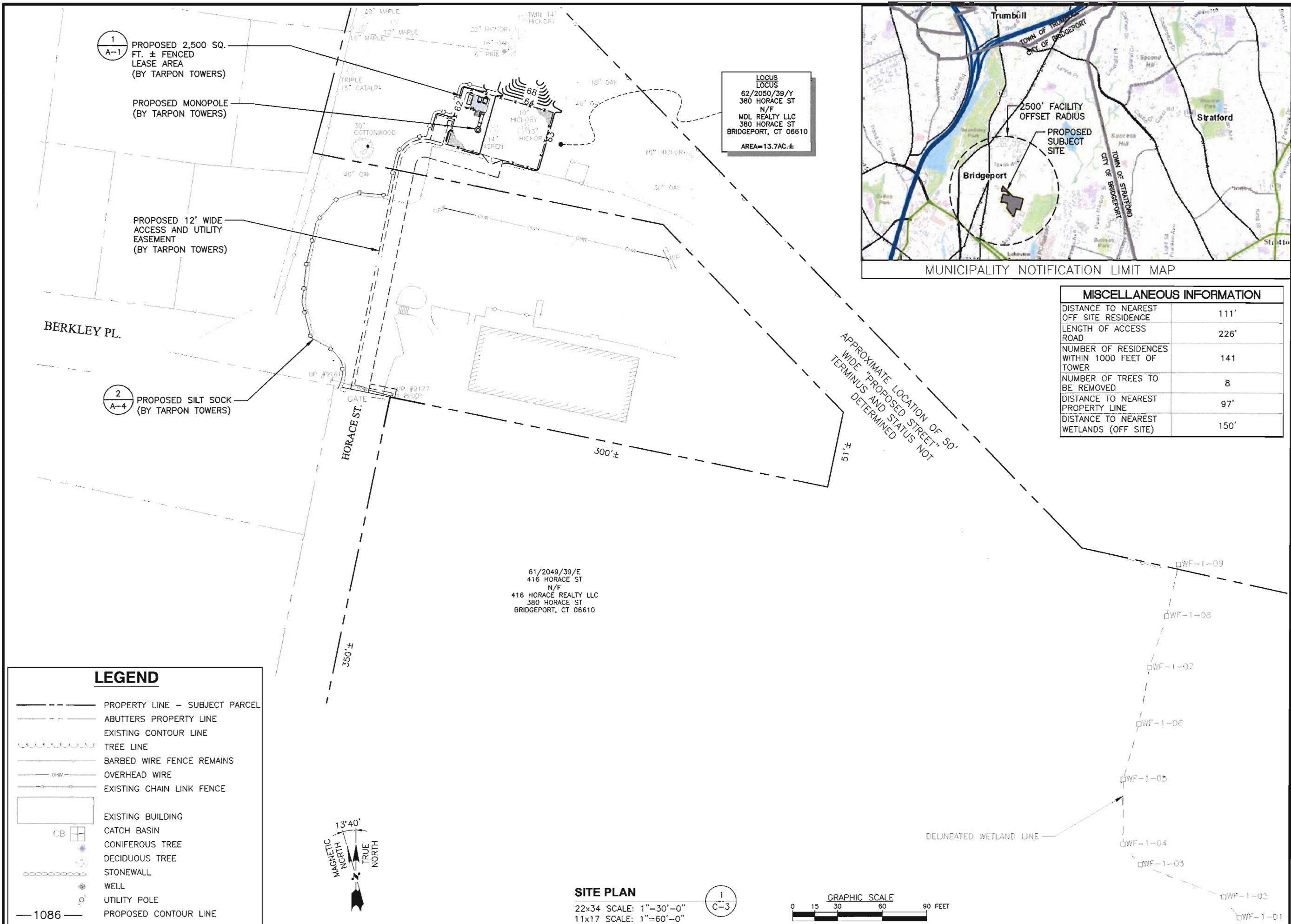
SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
0	09/18/17	ISSUED FOR REVIEW	BCF

SITE NAME:  
 BRIDGEPORT EAST

SITE ADDRESS:  
 380 HORACE STREET  
 BRIDGEPORT, CT 06610

SHEET TITLE  
 PARTIAL TOPOGRAPHIC MAP

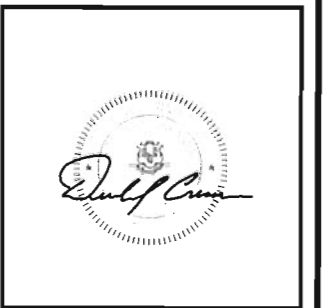
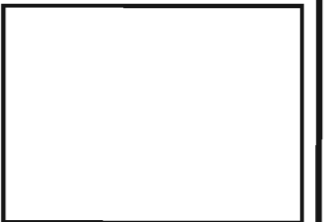
SHEET NUMBER  
**C-2**



MISCELLANEOUS INFORMATION	
DISTANCE TO NEAREST OFF SITE RESIDENCE	111'
LENGTH OF ACCESS ROAD	226'
NUMBER OF RESIDENCES WITHIN 1000 FEET OF TOWER	141
NUMBER OF TREES TO BE REMOVED	8
DISTANCE TO NEAREST PROPERTY LINE	97'
DISTANCE TO NEAREST WETLANDS (OFF SITE)	150'

**TARPON TOWERS**  
 TARPON TOWERS II, LLC  
 1001 3rd AVENUE WEST, SUITE 420  
 BRADENTON, FL 34205

**Hudson Design Group**  
 1600 OSGOOD STREET  
 BUILDING 20 NORTH, SUITE 3090  
 N. ANDOVER, MA 01845  
 TEL: (978) 557-5553  
 FAX: (978) 336-5586



CHECKED BY: BCF

APPROVED BY: DFS

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
2	09/14/17	REVISED PER COMMENTS	JS
1	09/08/17	REVISED PER COMMENTS	SLY
0	08/24/17	ISSUED FOR REVIEW	SLY

SITE NAME:  
**BRIDGEPORT EAST**  
 SITE NUMBER:  
**CT1221**  
 SITE ADDRESS:  
**380 HORACE STREET  
 BRIDGEPORT, CT 06610**

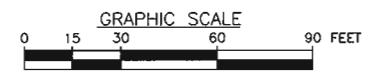
SHEET TITLE  
**PARTIAL SITE PLAN**

SHEET NUMBER  
**C-3**

**LEGEND**

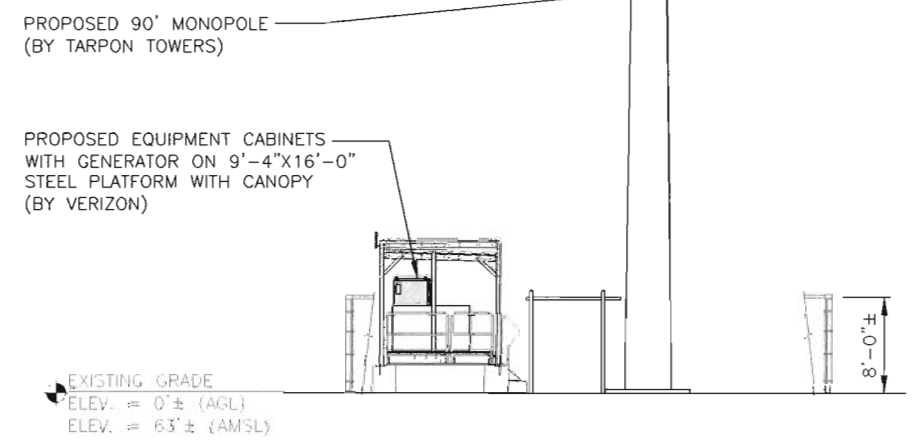
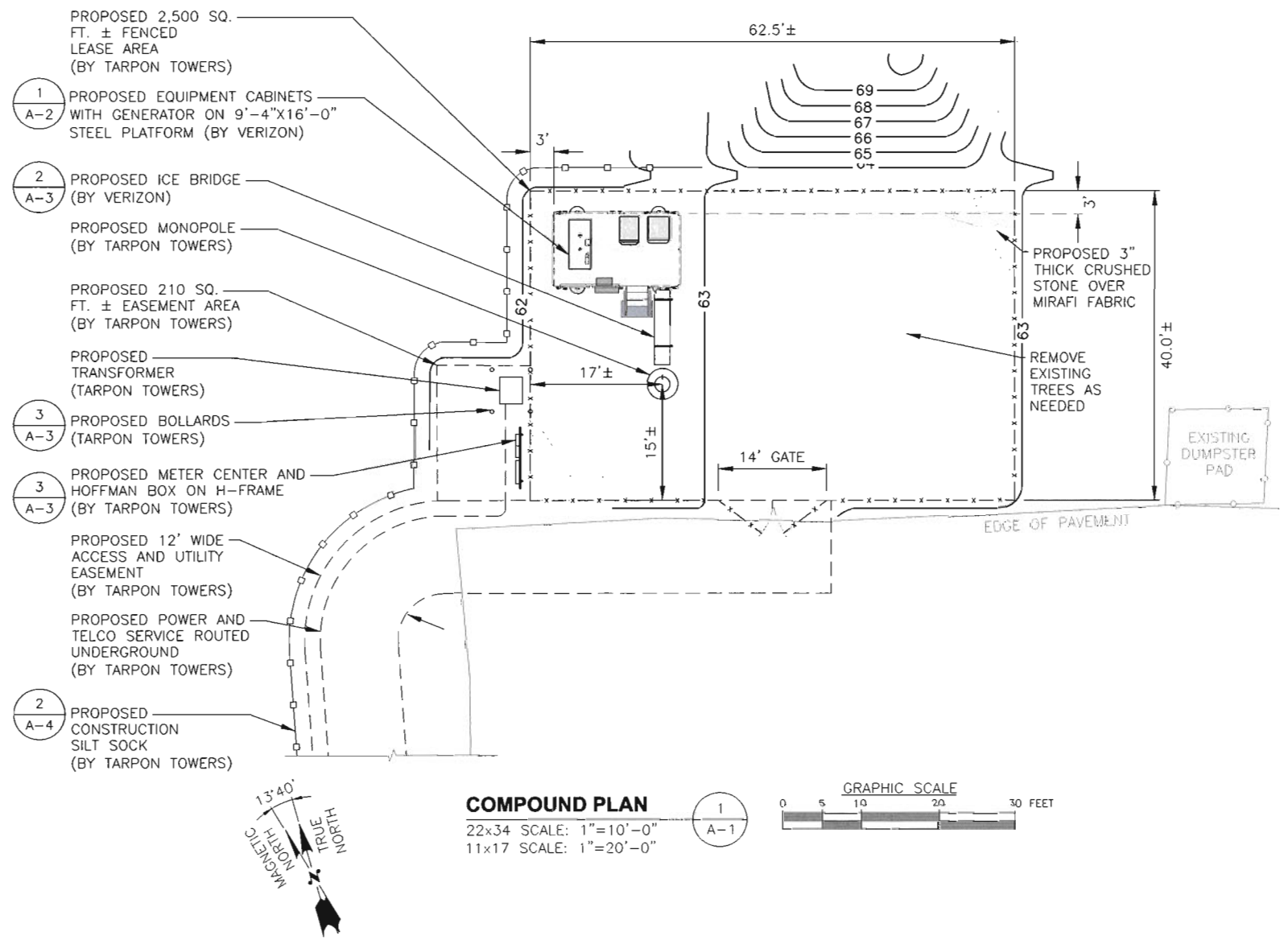
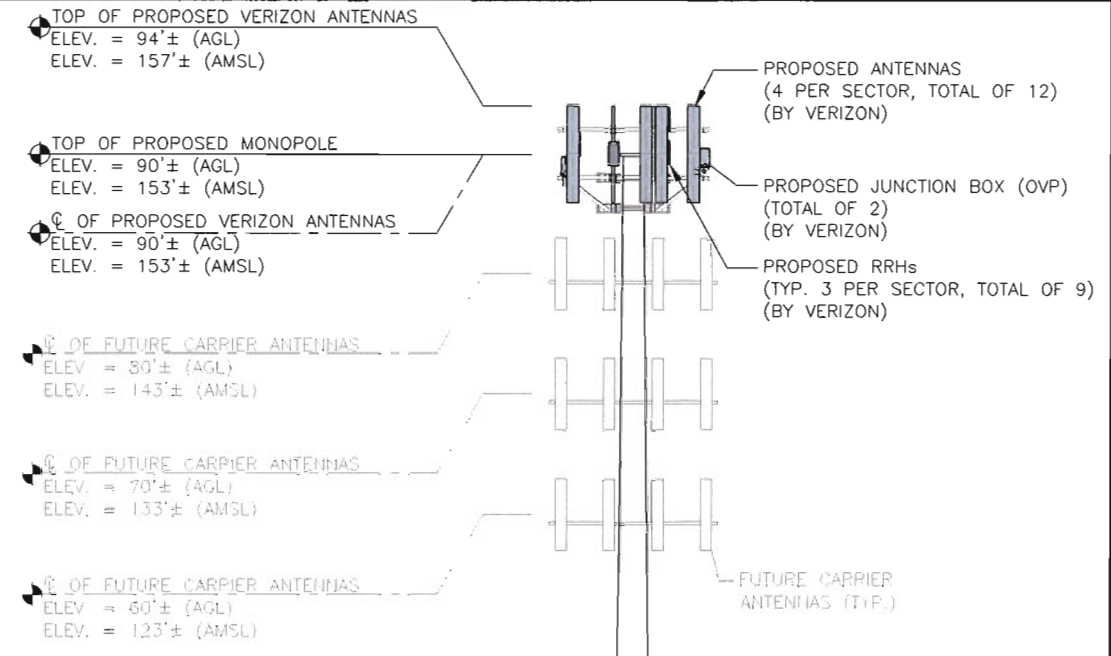
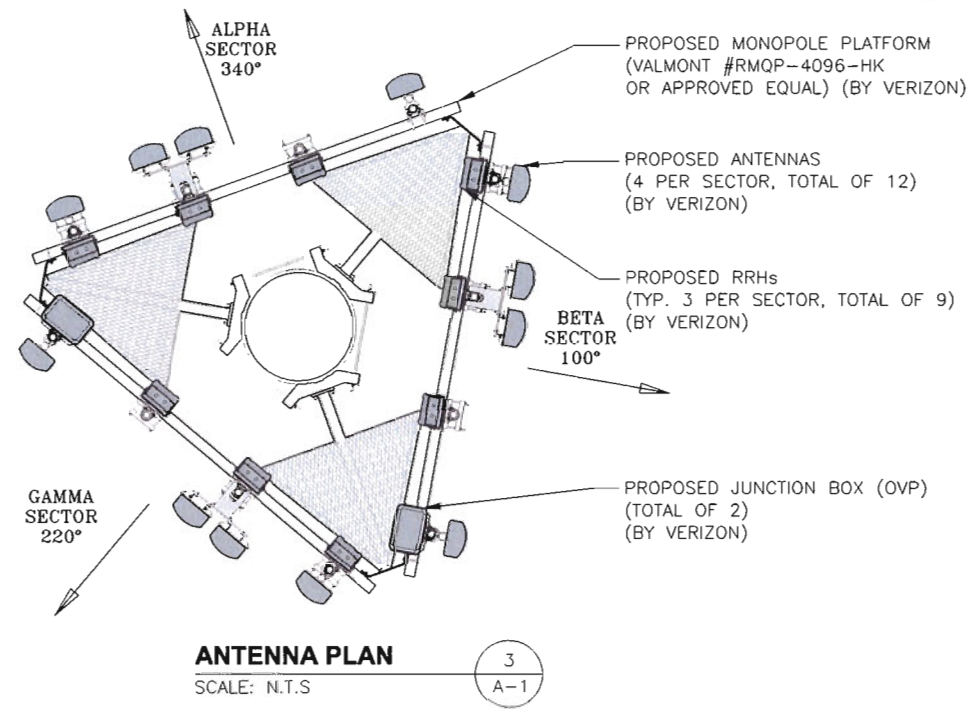
- PROPERTY LINE - SUBJECT PARCEL
- ABUTTERS PROPERTY LINE
- - - EXISTING CONTOUR LINE
- ~ ~ ~ TREE LINE
- BARBED WIRE FENCE REMAINS
- OVERHEAD WIRE
- EXISTING CHAIN LINK FENCE
- ▭ EXISTING BUILDING
- CB CATCH BASIN
- ☉ CONIFEROUS TREE
- ☉ DECIDUOUS TREE
- STONEWALL
- WELL
- UTILITY POLE
- 1086 --- PROPOSED CONTOUR LINE

**SITE PLAN**  
 22x34 SCALE: 1"=30'-0"  
 11x17 SCALE: 1"=60'-0"



1  
C-3

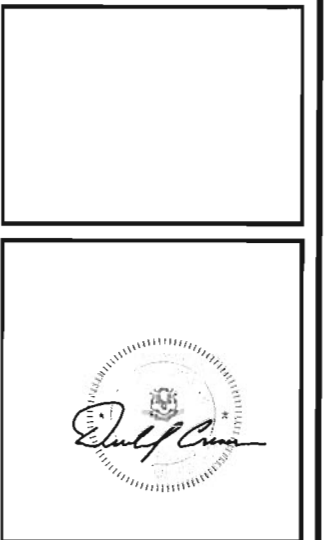
- NOTE:**
1. PROPOSED NEW TOWER AND FOUNDATION DESIGN BY OTHERS
  2. VERIFY AZIMUTHS W/ RF ENGINEER.



- TOWER NOTES:**
- 1.) TOWER ELEVATION IS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL REFER TO TOWER MANUFACTURER DRAWINGS FOR COMPLETE INSTALLATION AND BILL OF MATERIAL INFORMATION.
  - 2.) TOWER MINIMUM DESIGN SPECIFICATIONS SHALL BE IN ACCORDANCE WITH ANSI/TIA/EIA 222-G "STRUCTURAL STANDARDS FOR SUPPORTING STRUCTURES AND ANTENNAS, REVISION G" AND GOVERNING FEDERAL, STATE, AND LOCAL CODE REQUIREMENTS
  - 3.) TOWER MANUFACTURER SHALL BE RESPONSIBLE FOR DESIGN AND STRUCTURAL COMPONENTS OF THE TOWER.
  - 4.) FINAL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE LOCAL UTILITIES.

**TARPON TOWERS**  
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**Hudson Design Group Inc.**  
1600 OSGOOD STREET  
BUILDING 20 NORTH, SUITE 3090  
N. ANDOVER, MA 01845  
TEL: (978) 557-5553  
FAX: (978) 336-5586



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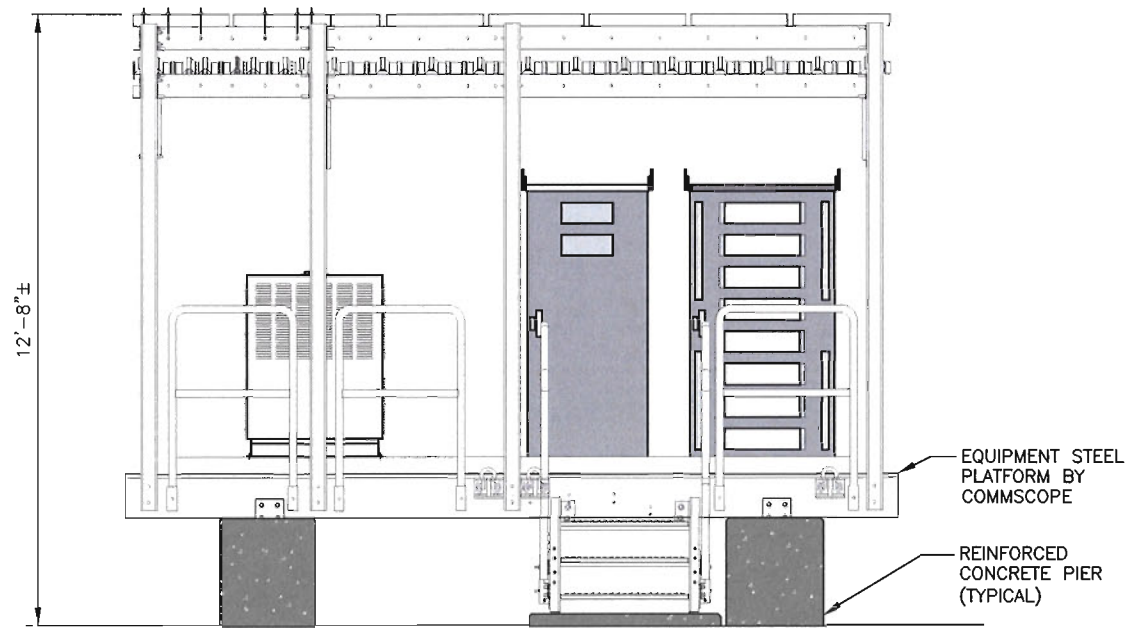
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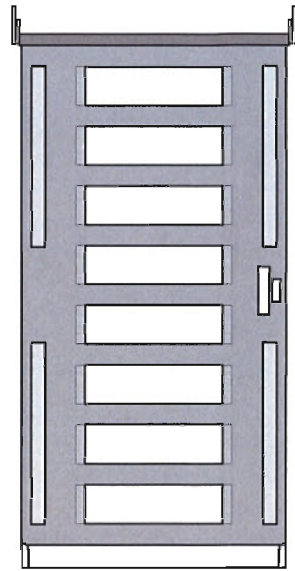
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**BRIDGEPORT EAST**  
SITE NUMBER:  
**CT1221**  
SITE ADDRESS:  
**380 HORACE STREET  
BRIDGEPORT, CT 06610**

SHEET TITLE  
**COMPOUND PLAN  
AND  
ELEVATION**

SHEET NUMBER  
**A-1**



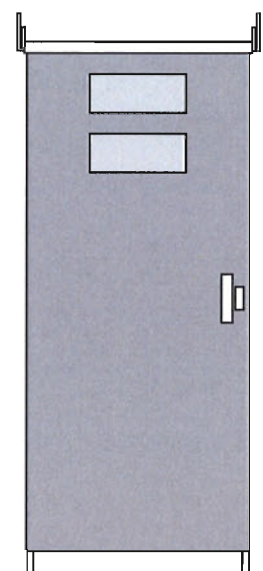
ELEVATION



SPECIFICATIONS:  
 MANUFACTURER: COMMSCOPE  
 PART NO.: RBA72-36  
 SIZE: 72"x36"x40"  
 WEIGHT: 2,500 LBS

NOTE:  
 ANCHOR CABINET TO STEEL  
 PLATFORM PER MANUFACTURERS  
 RECOMMENDATIONS

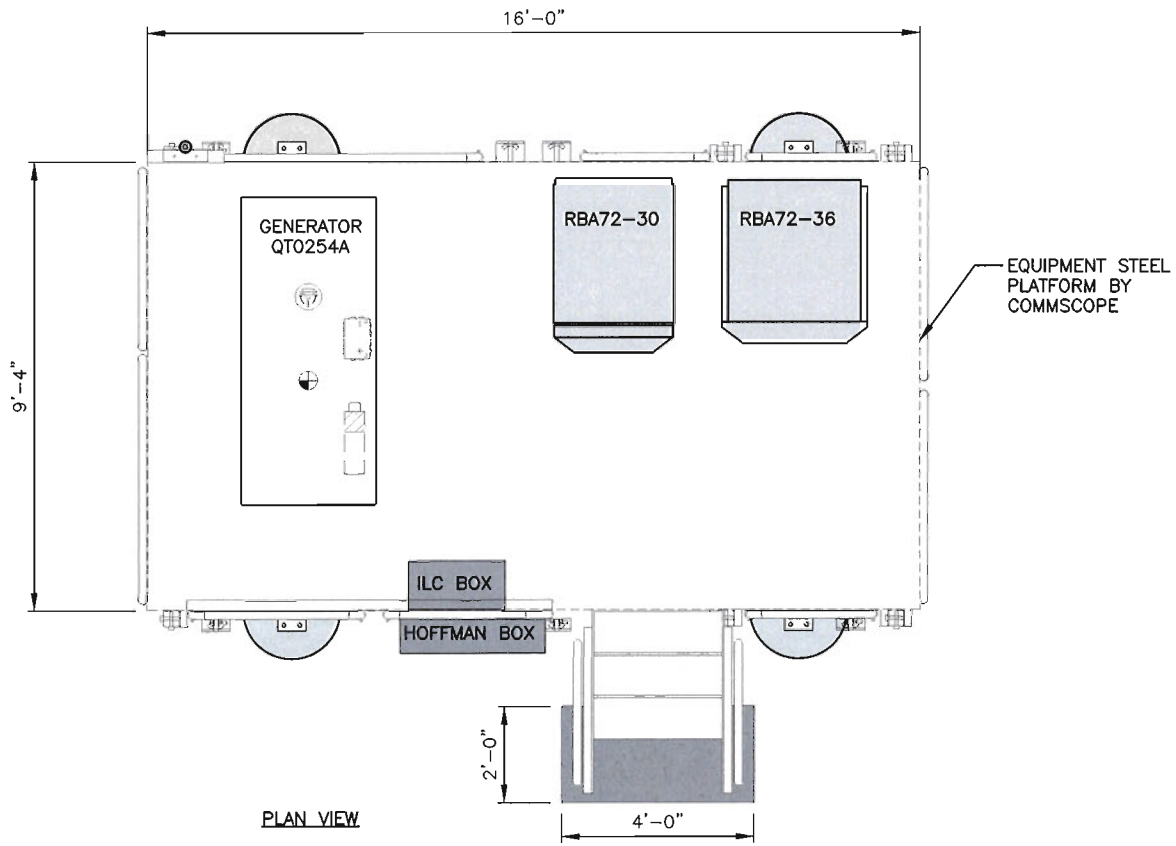
**BATTERY CABINET DETAIL** 2  
 SCALE: N.T.S. A-2



SPECIFICATIONS:  
 MANUFACTURER: COMMSCOPE  
 PART NO.: RBA72-30  
 SIZE: 72"x30"x42"  
 WEIGHT: 740 LBS

NOTE:  
 ANCHOR CABINET TO STEEL  
 PLATFORM PER MANUFACTURERS  
 RECOMMENDATIONS

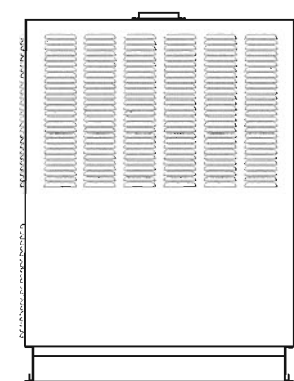
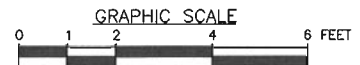
**EQUIPMENT CABINET DETAIL** 3  
 SCALE: N.T.S. A-2



PLAN VIEW

PRE-FABRICATED STEEL PLATFORM BY COMMSCOPE.  
 MODEL # VZ9.4x16-GLSP-3 DOCUMENT # MTC3841

**EQUIPMENT PLAN** 1  
 22x34 SCALE: 1/2"=1'-0"  
 11x17 SCALE: 1/4"=1'-0" A-2



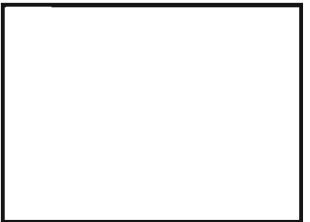
SPECIFICATIONS:  
 MANUFACTURER: GENERAC  
 PART NO.: QT025A  
 SIZE: 77"x34"x46"  
 WEIGHT: 1414 LB.

NOTE:  
 ANCHOR CABINET TO STEEL  
 DUNNAGE OR GRATING PER  
 MANUFACTURERS  
 RECOMMENDATIONS

**GENERATOR DETAIL** 4  
 SCALE: N.T.S. A-2

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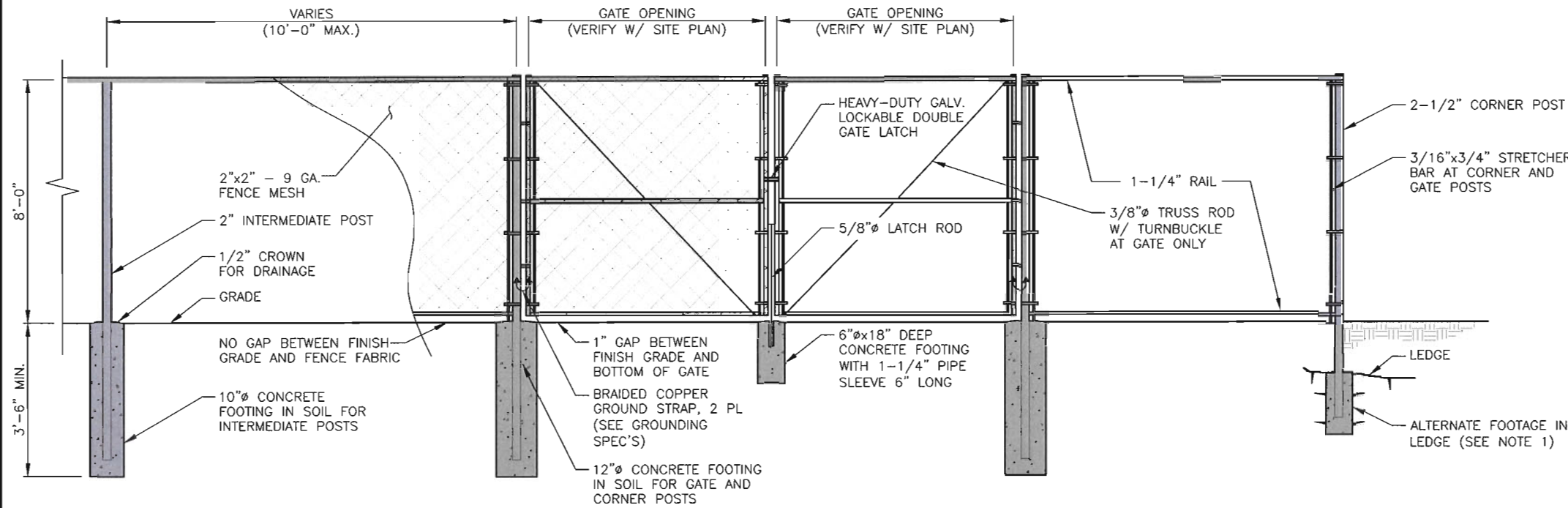
SHEET TITLE  
**EQUIPMENT DETAILS**

SHEET NUMBER  
**A-2**

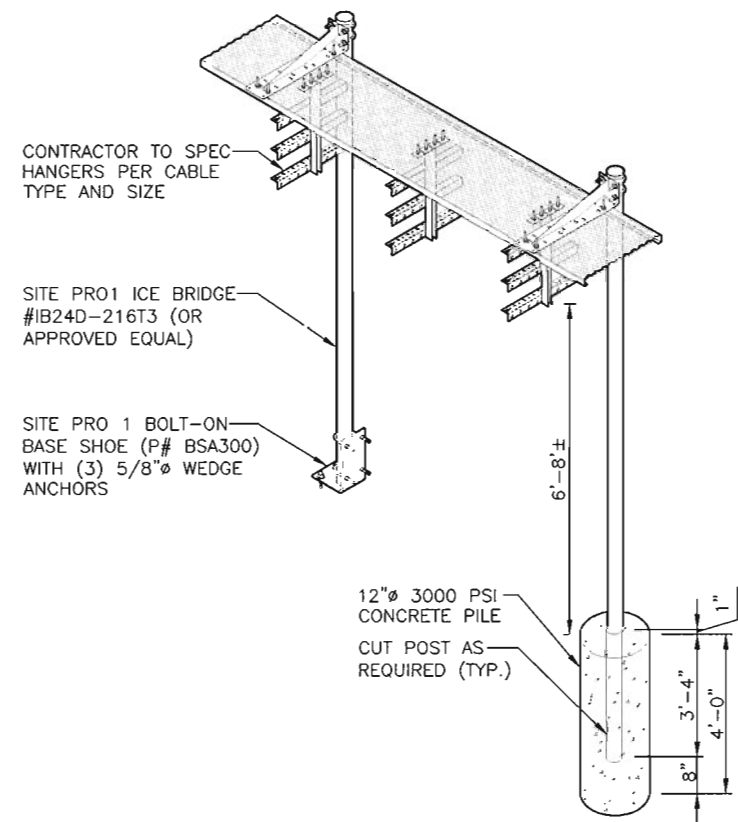


**FENCE NOTES**

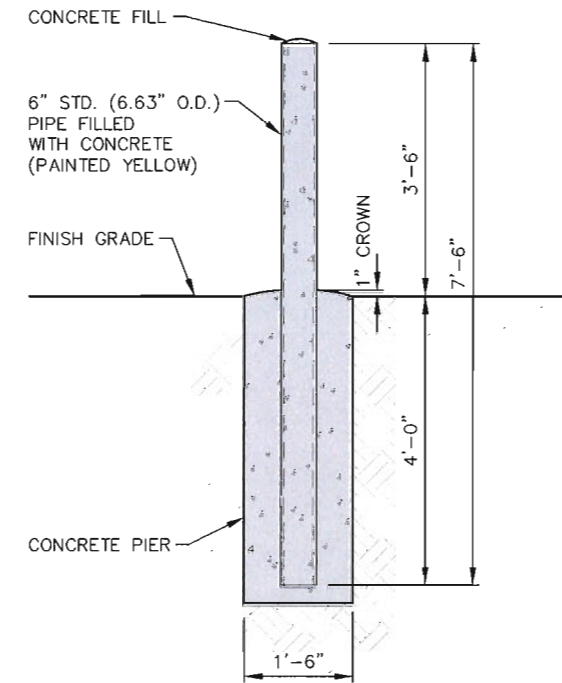
1. ALTERNATE FOOTINGS FOR ALL FENCE POSTS IN LEDGE: IF LEDGE IS ENCOUNTERED AT GRADE, OR AT A DEPTH SHALLOWER THAN 3'-6", CORE DRILL AN 8" DIA HOLE 18" INTO THE LEDGE. CENTER POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF LEDGE IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
2. ATTACH EACH GATE WITH 1-1/2" PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL.



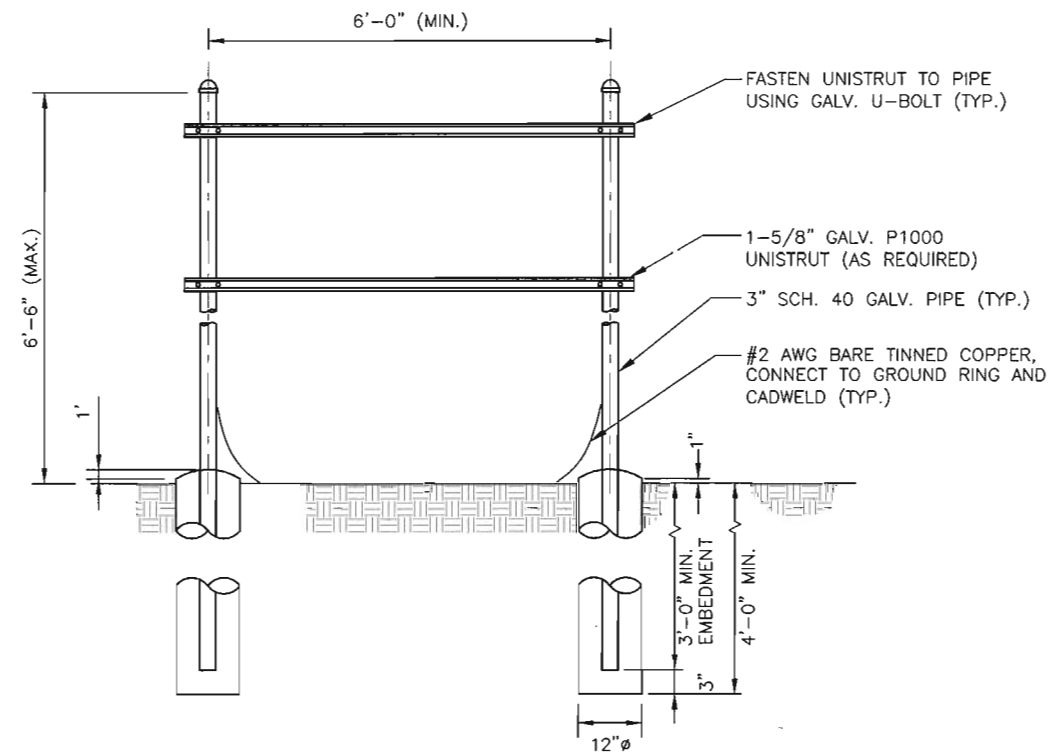
**CHAINLINK FENCE DETAIL** 1  
SCALE: N.T.S. A-3



**CABLE BRIDGE DETAIL** 2  
22x34 SCALE: N.T.S. A-3



**BOLLARD DETAILS** 3  
22x34 SCALE: 1/2"=1'-0" A-3  
11x17 SCALE: 1/4"=1'-0"



**TYPICAL H-FRAME DETAIL** 3  
SCALE: N.T.S. A-3

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SHEET TITLE  
**SITE DETAILS**

SHEET NUMBER  
**A-3**



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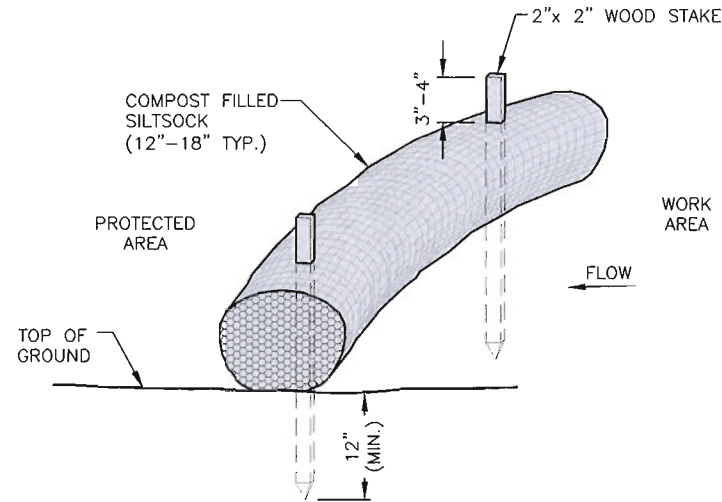
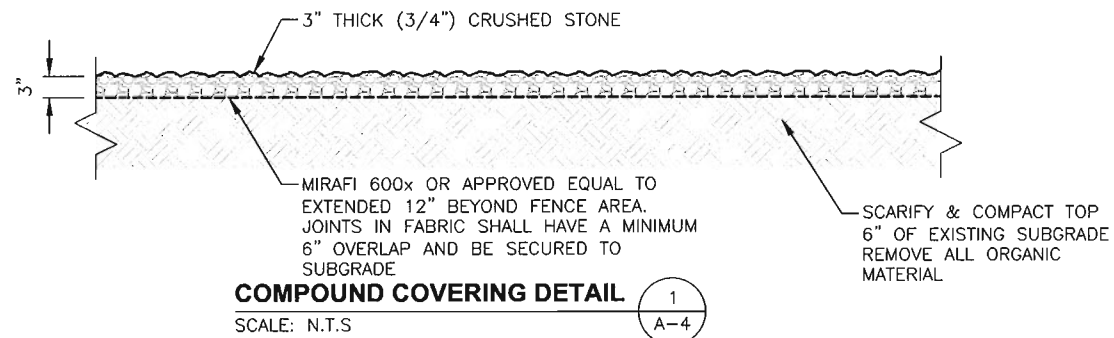
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SITE NUMBER:  
**CT1221**

SITE ADDRESS:  
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SHEET TITLE  
**EROSION CONTROL  
AND DETAILS**

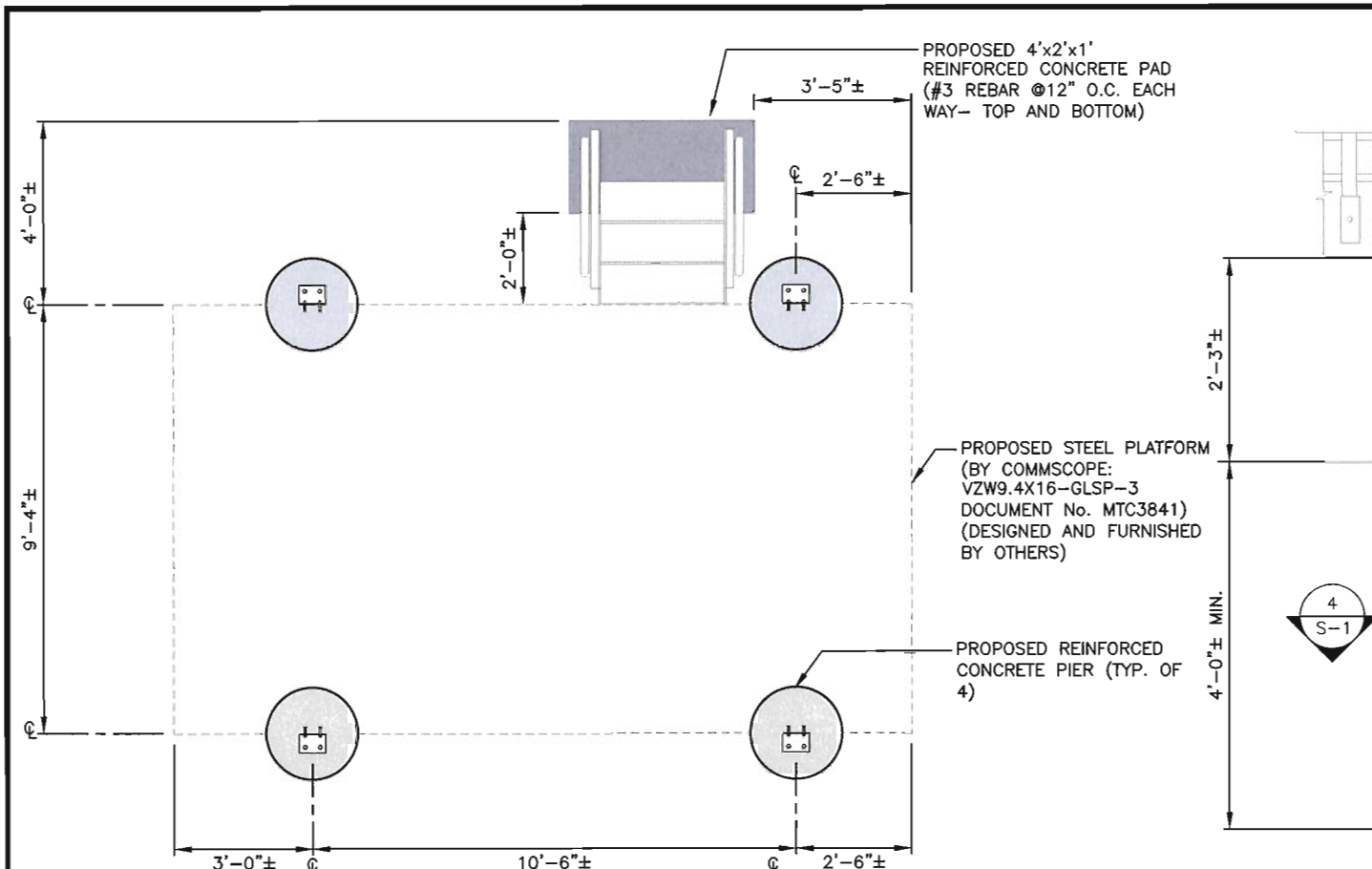
SHEET NUMBER  
**A-4**



- NOTES:**
- SILT SOCK SHALL BE FILTREXX SILT SOCK, OR APPROVED EQUAL.
  - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
  - SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
  - SEE SPECIFICATIONS FOR SOCK SIZE, AND COMPOST FILL, REQUIREMENTS.

**NOTES:**

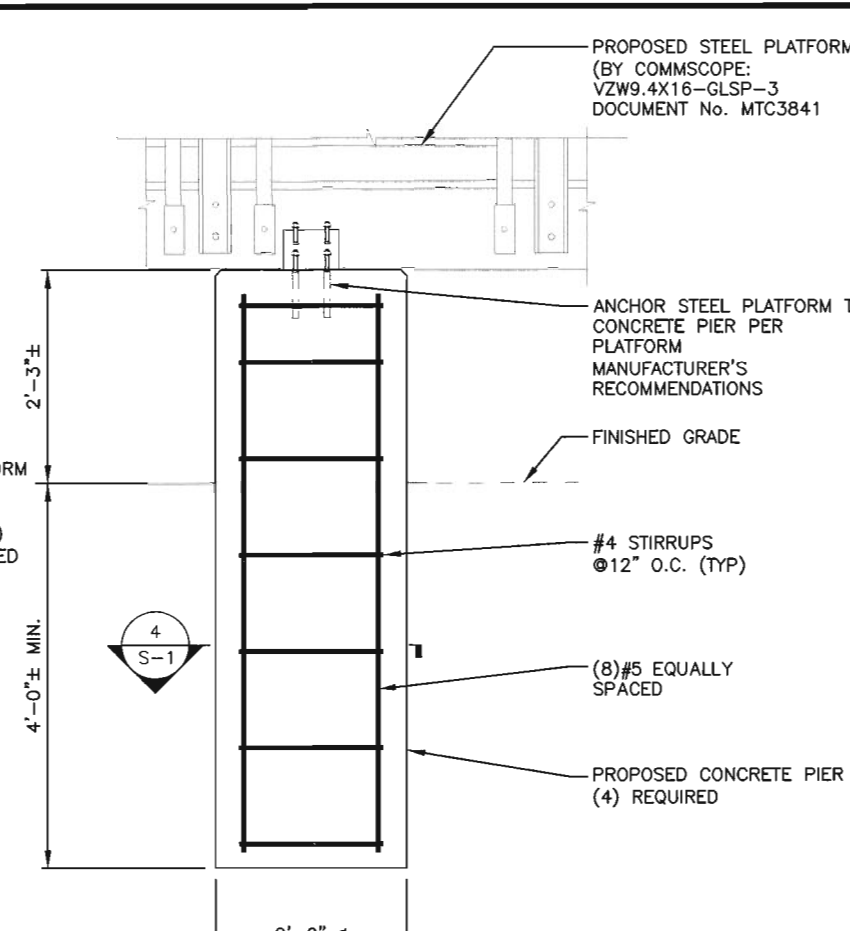
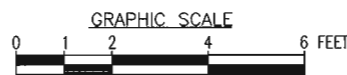
- COMPOST ROLLS MUST BE PLACED ALONG SLOPE CONTOURS.
- STAKES SHOULD BE DRIVEN IN THE MIDDLE OF THE COMPOST LEAVING 2-3 INCHES OF THE STAKE PROTRUDING ABOVE THE COMPOST.
- STAKES SHOULD BE SPACED AT 3'-4' @ INTERVALS.
- FIT COMPOST AROUND STORM DRAINS OR INLETS, THE COMPOST SHOULD BE BACK 1-1 1/2 FEET AND SHOULD DIRECT WATER FLOW TOWARD THE ANGLE OF DRAINAGE. IF ALL DRAINAGE ANGLES INTO THE INLET, SNAKE THE COMPOST ALL THE WAY AROUND THE INLET.
- WHEN COMPOST ARE USED FOR FLAT GROUND APPLICATIONS, DRIVE THE STAKES STRAIGHT DOWN; WHEN INSTALLING COMPOST ON SLOPES, DRIVE THE STAKES PERPENDICULAR TO THE SLOPE.
- USE 18" LONG STAKES FOR HARD, ROCKY SOIL. FOR SOFT, LOAMY SOIL, USE 24" STAKE FOR GREATER SECURITY.



**PIER FOUNDATION PLAN**

22x34 SCALE: 1/2"=1'-0"  
11x17 SCALE: 1/4"=1'-0"

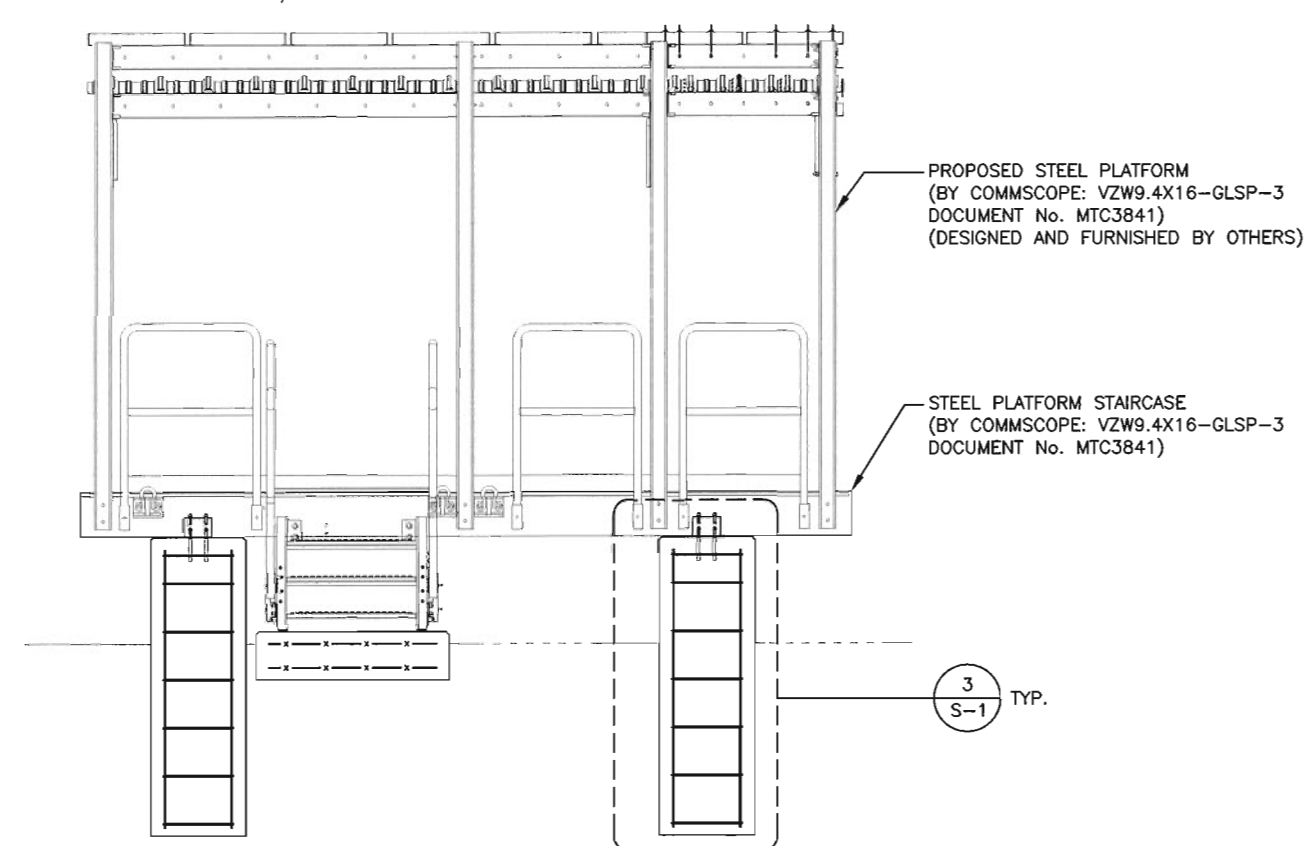
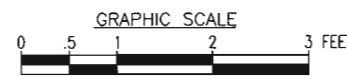
1  
S-1



**REINFORCED CONCRETE PIER SECTION**

22x34 SCALE: 1"=1'-0"  
11x17 SCALE: 1/2"=1'-0"

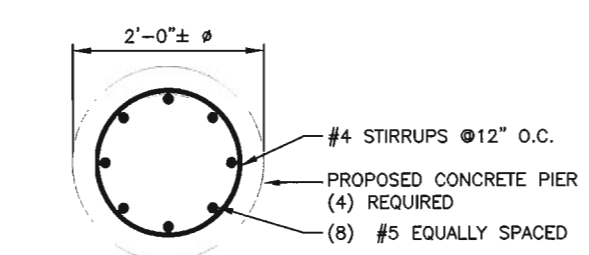
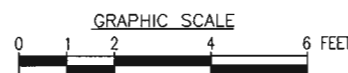
3  
S-1



**PIER FOUNDATION SECTION**

22x34 SCALE: 1/2"=1'-0"  
11x17 SCALE: 1/4"=1'-0"

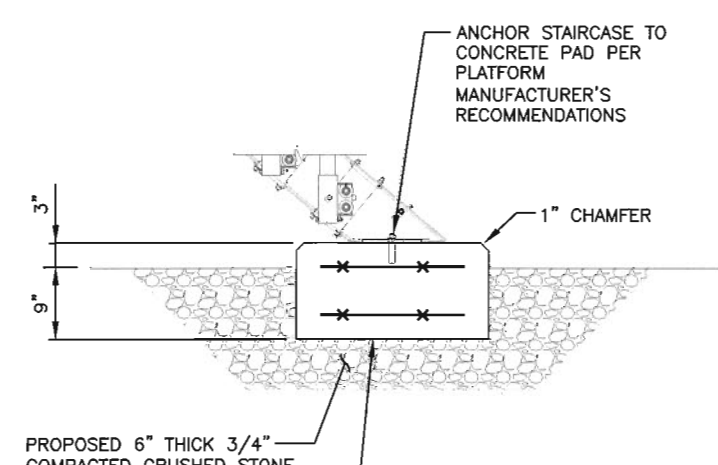
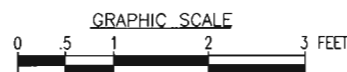
2  
S-1



**REINFORCED CONCRETE PIER DETAIL**

22x34 SCALE: 1"=1'-0"  
11x17 SCALE: 1/2"=1'-0"

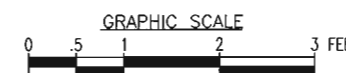
4  
S-1



**REINFORCED CONCRETE PAD SECTION**

22x34 SCALE: 1"=1'-0"  
11x17 SCALE: 1/2"=1'-0"

4  
S-1



**FOUNDATION NOTES & CONCRETE SPECIFICATIONS:**

1. FOUNDATION AREA SHALL BE EXCAVATED TO THE DEPTH AND DIMENSIONS SHOWN ON THE PLANS. EXISTING LEDGE AND ALL OTHER EXISTING UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE.
2. UNDERCUT SOFT OR "WEAVING" AREAS A MINIMUM OF 12 INCHES DEEP. BACKFILL UNDERCUT AREA WITH FILL MEETING THE SPECIFICATIONS OF STRUCTURAL FILL.
3. CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH (f'c)=4000 psi. CONCRETE TO BE AIR ENTRAINED, DESIRED AIR CONTENT TO BE 6% (PLUS OR MINUS 2%)
4. REINFORCING BAR TO BE ASTM A615 GRADE 60.
5. WELDED WIRE FABRIC TO CONFORM TO THE REQUIREMENTS OF ASTM A185. WIRES FOR FABRIC TO CONFORM TO THE REQUIREMENTS OF ASTM A82.
6. ALL REINFORCING TO HAVE MINIMUM CONCRETE COVER PER ACI SPECIFICATIONS.
7. ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO LATEST EDITION OF ACI 318 AND APPLICABLE STATE BUILDING CODE.

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