

ATTACHMENT 3

ATTACHMENT 3

General Facility Description

63 Woodland Street
(Map G11, Block 7800, Lot W0002)
Glastonbury, Connecticut
Owner: Paul Cavanna
177.10 Acre Parcel

The proposed tower site is located on an approximately 177.10 acre parcel located at 63 Woodland Street and owned by Paul Cavanna. It is classified in the Rural Residence – Agricultural Zoning District and is improved with two residences, agricultural farm fields and several out buildings. The proposed telecommunications facility includes an approximately 10,000 s.f. lease area located in the south western section of the host parcel.

The facility consists of a new self-supporting monopole tower 150’ in height, with a 5’ lightning rod on top extending to an overall height of 155’ AGL. T-Mobile would install up to nine (9) panel antennas, one (1) dish antenna and related equipment at a centerline height of 146’ above grade level (AGL). The tower would be designed for future shared use of the structure by other FCC licensed wireless carriers. T-Mobile equipment cabinets would be installed on a proposed 10’ x 20’ concrete equipment pad within the tower compound with separate space for a proposed backup power generator.

The tower compound would consist of a 2,500 s.f area to accommodate T-Mobile’s equipment and provide for future shared use of the facility by other carriers. The tower compound would be enclosed by a six (6) foot high chain link fence with an additional one (1) foot of barbed wire at the top for security purposes (remote location). Vehicle access to the facility would be provided from Woodland Street over an existing farm driveway a distance of approximately 4,100’ and a proposed 12’ wide gravel access driveway approximately 400’ to the proposed compound. The final approach to the compound is being finalized as the underlying property owner requested a shift in its final location as provided in the “Alternate Road Configuration Map” after the prepared drawings included in Attachment 3. Utility connections would be routed along the access easement from an existing utility pole located at Woodland Street.

SITE AND FACILITY DESCRIPTION

I. LOCATION

- A. COORDINATES: 41° 39' 38.9" N 72° 34' 26.8" W
- B. GROUND ELEVATION: 319'± AMSL
- C. USGS MAP: USGS 7.5 Quadrangle for Glastonbury, CT
- D. SITE ADDRESS: 63 Woodland Street, Glastonbury, CT 06073
- E. ZONING WITHIN ¼ MILE OF SITE: Abutting areas are zoned residential, commercial and industrial.

II. DESCRIPTION

- A. SITE SIZE: 177.10 acres (VOL 973, PAGE 350)
- B. LEASE AREA/COMPOUND AREA: 10,000 SF/2,500 S.F.
- C. TOWER TYPE/HEIGHT: 150' AGL Monopole
- D. SITE TOPOGRAPHY AND SURFACE: Subject site is located on a large 177+ acre parcel that slopes down from the east. The Parcel is agricultural in use with a farm house, out buildings, farm fields, and wooded areas of land.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: There are no wetlands within 1,600+ feet of the tower site a nor within its immediate proximity.
- F. LAND USE WITHIN ¼ MILE OF SITE: A mixture of agricultural, municipal (industrially zoned former mill) and residential land uses

Figure 5: Glastonbury GIS Compilation Map



III. FACILITIES

A. POWER COMPANY: Eversource

B. POWER PROXIMITY TO SITE: 4,500'±

C. TELEPHONE COMPANY: Frontier

D. PHONE SERVICE PROXIMITY: 4,500'±

E. VEHICLE ACCESS TO SITE: Proposed 20' access easement to the site will be from Woodland Street, over an existing 4,100' access drive and a proposed 400' gravel access drive to tower compound. The final approach to the compound is being finalized as the underlying property owner requested a shift in its final location as provided in the "Alternate Road Configuration Map" after the prepared drawings included in Attachment 3.

F. OBSTRUCTION: None known at this time.

G. AREA OF DISTURBANCE: Total area of disturbance is approximately 18,000 s.f., approximately 50 trees above 6" diameter will need to be removed.

IV. LEGAL

A. PURCHASE LEASE

B. OWNER: Paul Cavanna

C. ADDRESS: 80 Woodland Street

Glastonbury, CT 06073

D. DEED ON FILE AT: VOLUME 973, PAGE 350

Facilities and Equipment Specification

I. TOWER SPECIFICATIONS:

- A. MANUFACTURER: To be determined
- B. TYPE: Self-Supporting monopole tower
- C. HEIGHT: 150' AGL (with 5' lightning rod extending to 155')
DIMENSIONS: Tower structure tapered/
- D. TOWER LIGHTING: None required.

II. TOWER LOADING:

- A. T-Mobile – up to 9 panel antennas
 - a. Model – TBD
 - b. Antenna Dimensions – approximately 96”H x 12”W x 9”D
 - c. Position on Tower – 146' centerline AGL
 - d. Transmission Lines – DC, Fiber and RET lines internal to tower.
 - e. (9) Remote Radio Units behind antennas on proposed pipe mounts
 - f. (1) Microwave dish 2' diameter on proposed pipe mount
- B. Future Carriers – To be determined

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The tower will be designed in accordance with American National Standards Institute TIA/EIA-222-F “Structural Standards for Steel Antenna Towers and Antenna Support Structures” and the 2003 International Building Code with 2005 Connecticut Amendment. The foundation design would be based on soil conditions at the site. The details of the tower and foundation design will be provided as part of the final D&M plan.

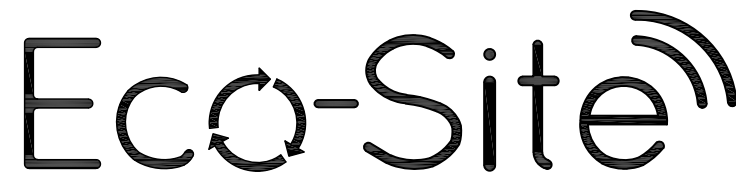
PROJECT DESCRIPTION:

CONSTRUCTION OF TELECOMMUNICATION AND PUBLIC UTILITY FACILITY, CONSISTING OF A MONOPOLE TOWER, SPACE FOR CARRIER EQUIPMENT AND A UTILITY BACKBOARD WITHIN A FENCED COMPOUND. NO WATER OR SEWER IS REQUIRED.

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- | | |
|--|---------------------------|
| 1. CT BUILDING CODE | 5. ANSI/TIA/EIA-222-G |
| 2. UNIFORM BUILDING CODE | 6. UNIFORM PLUMBING CODE |
| 3. BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA) | 7. NATIONAL ELECTRIC CODE |
| 4. UNIFORM MECHANICAL CODE | 8. LOCAL BUILDING CODE |
| | 9. CITY/COUNTY ORDINANCES |

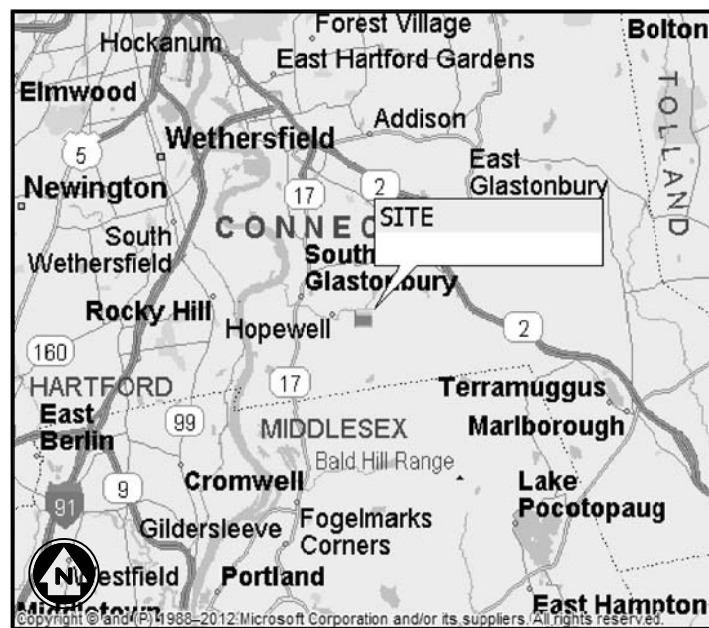


**GLASTONBURY
63-80 WOODLAND STREET
GLASTONBURY, CT 06073**

150' MONOPOLE TOWER

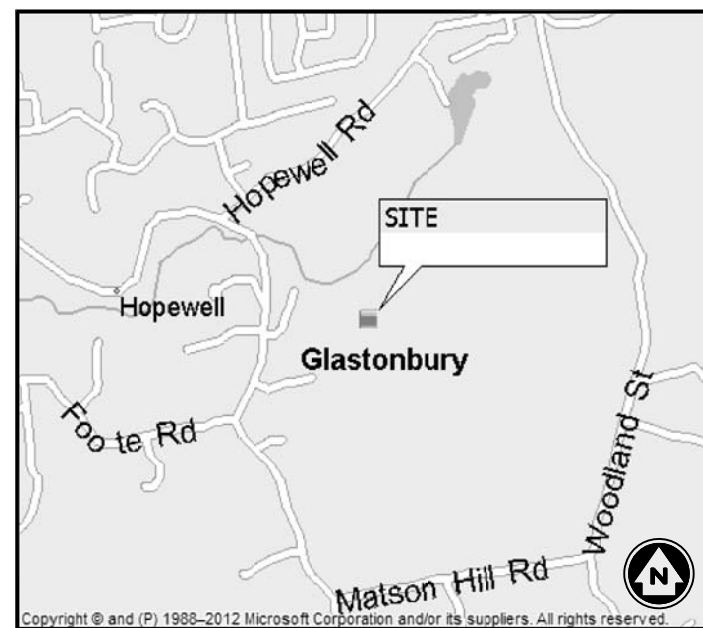
TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CONNECTICUT, CONTACT CALL BEFORE YOU DIG TOLL FREE: 1-800-922-4455 OR www.cbyd.com
CONNECTICUT STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

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1033 Watervliet Shaker Road | Albany, NY 12205
Phone: 518-690-0790 | Fax: 518-690-0793
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VICINITY MAP
N.T.S.

DRAWING INDEX			
DRWG. #	TITLE	REV.#	DATE
T1	TITLE SHEET	2	8/23/17
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Z2B	NEAREST MUNICIPALITY MAP	2	8/23/17
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EC4	GRADING PLAN CONTINUED	2	8/23/17



LOCATION MAP
N.T.S.

PROJECT INFORMATION	
SITE NAME:	GLASTONBURY
SITE ADDRESS:	63-80 WOODLAND STREET GLASTONBURY, CT 06073
ZONING JURISDICTION:	CONNECTICUT SITING COUNCIL
ZONING CLASSIFICATION:	RURAL RESIDENCE - AGRICULTURAL USE
MAP/STREET/LOT:	G11/7800/W0002 PID: 1451
CONSTRUCTION AREA:	50,000 SQFT. (1.15 ACRES)
LATITUDE:	41° 39' 38.9" N*
LONGITUDE:	72° 34' 26.8" W*
ELEVATION:	±319' AMSL*
* APPROXIMATE, NOT BASED ON 1A SURVEY	

PROJECT DIRECTORY	
PROPERTY OWNER:	PAUL CAVANNA 80 WOODLAND STREET GLASTONBURY, CT 06073
APPLICANT:	ECO-SITE 240 LEIGHT FARM ROAD, SUITE 415 DURHAM, NC 03867
CONTACT:	COLLEEN CARROLL PHONE: (919) 246-8652
SITE ACQUISITION:	AIROSMITH DEVELOPMENT 28 CLINTON STREET SARATOGA SPRINGS, NY 12866
CONTACT:	JON TERRY PHONE: (518) 858-3494
ENGINEER:	INFINIGY 1033 WATERVLIET SHAKER ROAD ALBANY, NY 12210
CONTACT:	AJ DESANTIS PHONE: (518) 690-0790
POWER COMPANY:	EVERSOURCE
TELCO COMPANY:	SOUTHERN NEW ENGLAND TELCO

APPROVAL BLOCK				
PROPERTY OWNER	DATE	<input type="checkbox"/> APPROVED	<input type="checkbox"/> APPROVED AS NOTED	<input type="checkbox"/> DISAPPROVED /REVISE
PROJECT MANAGER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DIRECTOR OF OPERATIONS	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

No.	Submittal / Revision	App'd	Date
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1	REVISED ACCESS DRIVE	SKB	12/15/16
0	FOR POWER CO. REVIEW	AJD	9/7/16

Drawn: AJD Date: 9/7/16
Designed: AJD Date: 9/7/16
Checked: AJD Date: 9/7/16

Project Number: 502-000

Project Title:
GLASTONBURY
CT-0007
63-80 WOODLAND STREET
GLASTONBURY, CT 06073

Prepared For:



Drawing Title:
TITLE SHEET

Drawing Scale:
Date: 8/23/17
ZD

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Drawing Number:
T1

GENERAL NOTES

- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE NOR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE APPROVAL.
- EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS AND COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY SITE, YARD AND GROUNDS. REMOVE AND DISPOSE OFF SITE ALL RUBBISH, WASTE MATERIALS, LITTER, AND ALL FOREIGN SUBSTANCES. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS TO A SMOOTH EVEN-TEXTURED SURFACE.
- THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN; AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL 1-800-922-4455.
- THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- THE CONTRACTOR SHALL RESTORE ALL PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND INCURRING THE COST OF ALL REQUIRED PERMITS, INCLUDING, BUT NOT LIMITED TO, THE BUILDING PERMIT, INSPECTIONS, CERTIFICATES, ETC.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
- ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE OSHA REGULATIONS FOR CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
- ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY OWNER. NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY OWNER BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
- MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
- ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS AS DEFINED BY THE OWNER OR OWNER'S REPRESENTATIVE ON THE DRAWINGS.
- CONTRACTOR SHALL GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE EQUIPMENT PAD AND THE TOWER.
- ALL IMPROVEMENTS TO CONFORM WITH LOCAL JURISDICTION CONSTRUCTION STANDARDS AND SPECIFICATIONS, LATEST EDITION.

STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- ALL INTERIOR STRUCTURAL STEEL USED SHALL BE, WHEN DELIVERED, FINISHED WITH ONE COAT FABRICATOR'S NON-LEAD, RED OXIDE PRIMER. PRIMING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARS, AND WELDS IN THE PRIMED AREAS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
- ALL EXTERIOR STEEL WORK SHALL BE GALVANIZED IN ACCORDANCE WITH SPECIFICATION ASTM A36 UNLESS OTHERWISE NOTED. GALVANIZING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARS, AND WELDS IN THE GALVANIZED AREAS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
- DO NOT PLACE HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
- CONNECTIONS:
 - ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 9TH EDITION. AT THE COMPLETION OF WELDING, ALL DAMAGE TO GALVANIZED COATING SHALL BE REPAIRED.
 - BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4" DIA) AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
 - NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
 - CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER.

DESIGN DATA

- WIND LOADS: PER EIA/TIA G-222
ICE LOADS: 1/2" RADIAL ON ALL COMPONENTS & CABLE
SNOW LOAD: PER CT STATE BLDG. CODE.
SEISMIC LOADS: PER CT STATE BLDG CODE.

CONCRETE NOTES

- DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE";
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED (±1.5%) WITH A MAXIMUM 4" SLUMP, AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
- MAXIMUM AGGREGATE SIZE SHALL BE 1".
- THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 185
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
- REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....	3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:	
#6 AND LARGER	2 IN.
#5 AND SMALLER & WWF	1 1/2 IN.

 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:

SLAB AND WALL	3/4 IN.
BEAMS AND COLUMNS	1 1/2 IN.

- A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE.
- CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- DO NOT WELD OR TACKWELD REINFORCING STEEL.
- ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.

CIVIL LEGEND


<u>EXISTING</u>		<u>PROPOSED</u>
-----	FENCE	-x-x-x-
----- E -----	UNDERGROUND ELECTRIC	-----
----- T -----	UNDERGROUND TELEPHONE	-----
----- Y -----	OVERHEAD WIRES	-----
----- 250	5' OR 10' CONTOUR LINE	----- 250
----- 202	1' OR 2' CONTOUR LINE	----- 202
----- 120.5 OR 120.5 x	SPOT ELEVATION	----- 120.5 OR x 120.5
-----	PRIMARY PROPERTY OR R.O.W.	-----
-----	LEASE LINE	-----
-----	EASEMENT	-----
----- T	UTILITY POLE	----- T
----- ■	TELEPHONE PEDESTAL	----- ■
-----	CURB	-----
-----	ASPHALT PAVEMENT	-----
-----	BUILDING	-----
----- * * *	TREES, SHRUBS, BUSHES	----- * * *
----- X	REPRESENTS DETAIL NUMBER	----- X
----- X	REF. DRAWING NUMBER	----- X

2	REVISED PER COMMENTS	SKB	8/23/17
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502-000

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GLASTONBURY
CT-0007
 63-80 WOODLAND STREET
 GLASTONBURY, CT 06073

Prepared For:


Drawing Title:
GENERAL NOTES & LEGEND

Drawing Scale:
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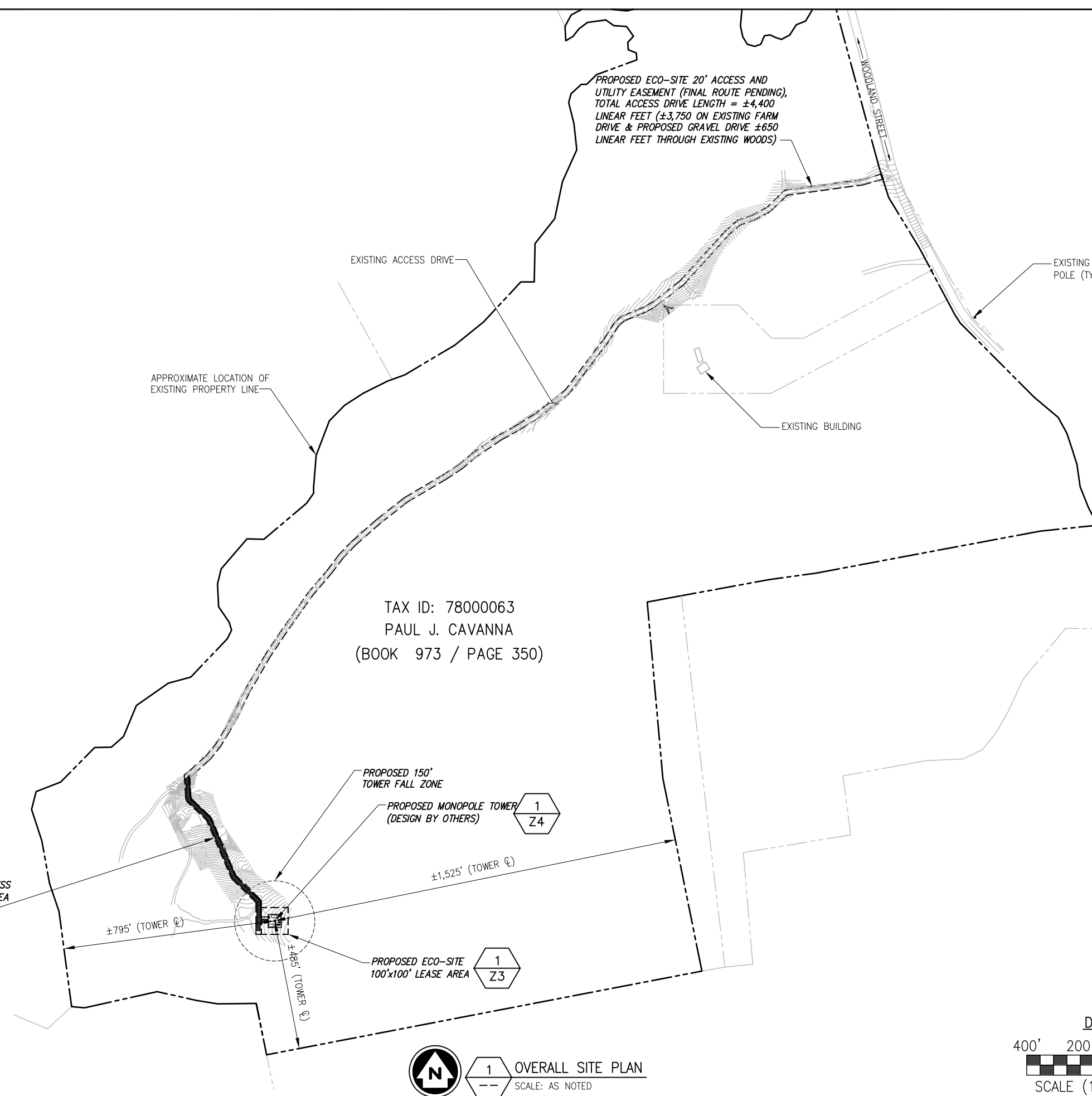
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Drawing Number:
Z1

NOTE:

- ROUTE OF UTILITY IS TO FOLLOW ACCESS EASEMENT UNLESS OTHERWISE DIRECTED BY UTILITY COMPANY.
- FINAL INSTALLATION METHOD (OVERHEAD OR UNDERGROUND) TO BE DETERMINED.

PROPOSED ECO-SITE 20' ACCESS AND UTILITY EASEMENT (FINAL ROUTE PENDING), TOTAL ACCESS DRIVE LENGTH = ±4,400 LINEAR FEET (±3,750 ON EXISTING FARM DRIVE & PROPOSED GRAVEL DRIVE ±650 LINEAR FEET THROUGH EXISTING WOODS)



TAX ID: 78000063
 PAUL J. CAVANNA
 (BOOK 973 / PAGE 350)

2
Z6
PROPOSED 12' WIDE GRAVEL ACCESS DRIVE (±650' LONG) WITHIN 20' ACCESS AND UTILITY EASEMENT (HATCHED AREA REPRESENTS NEW GRAVEL DRIVE)

BASEMAPPING INFORMATION BASED ON INFORMATION OBTAINED FROM AERIAL PHOTOGRAPHY, INFORMATION PROVIDED BY ECO-SITE, A SITE WALK COMPLETED BY INFINIGY ENGINEERING ON 5/17/16 AND SURVEY COMPLETED BY CLIMAX DEVELOPMENT OF W.N.Y. TITLED "GLASTONBURY", DATED 6/14/16.



1
OVERALL SITE PLAN
 SCALE: AS NOTED

DRAWING SCALE

400' 200' 0 200' 400'

SCALE (11x17): 1" = 400'-0"
 SCALE (22x34): 1" = 200'-0"

INFINIGY
 1033 Watervliet Shaker Road | Albany, NY 12205
 Phone: 518-690-0790 | Fax: 518-690-0793
 www.infinigy.com

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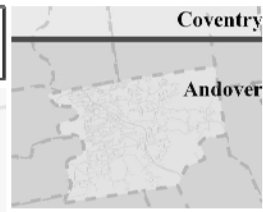
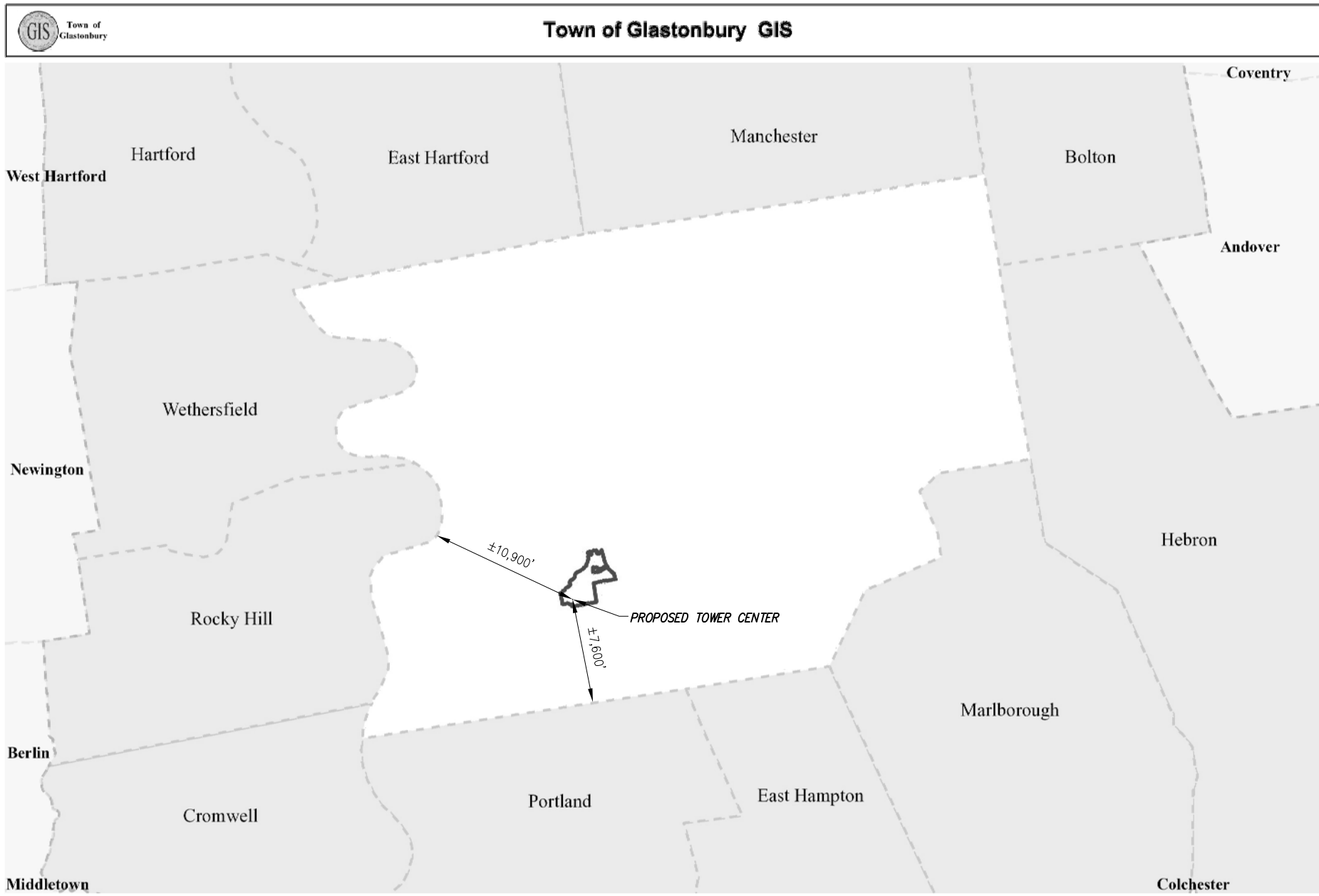
Drawing Title:
 OVERALL SITE PLAN

Drawing Scale:
 ZD
 Date:
 8/23/17

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF APPLICABLE STATE AND/OR LOCAL LAWS

Drawing Number:
Z2

NOTE:
BASEMAPPING INFORMATION TAKEN FROM TOWN OF GLASTONBURY, CT GIS MAPPING SOFTWARE AND HAS NOT BEEN FIELD VERIFIED BY INFINIGY




Legend

- 1: Shading Areas
- 2: Generalized Roads

Drawn: A.J.D. Date: 9/7/16
 Designed: A.J.D. Date: 9/7/16
 Checked: A.J.D. Date: 9/7/16

Project Number:
502-000

Project Title:
GLASTONBURY
CT-007
 63-80 WOODLAND STREET
 GLASTONBURY, CT 06073

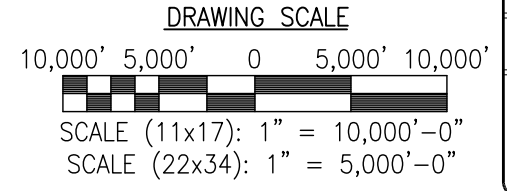
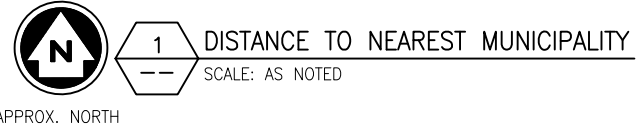
Prepared For:


Drawing Title:
 NEAREST MUNICIPALITY
 MAP

Drawing Scale:
ZD
 Date:
 8/23/17

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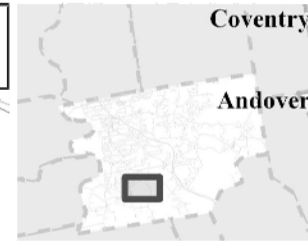
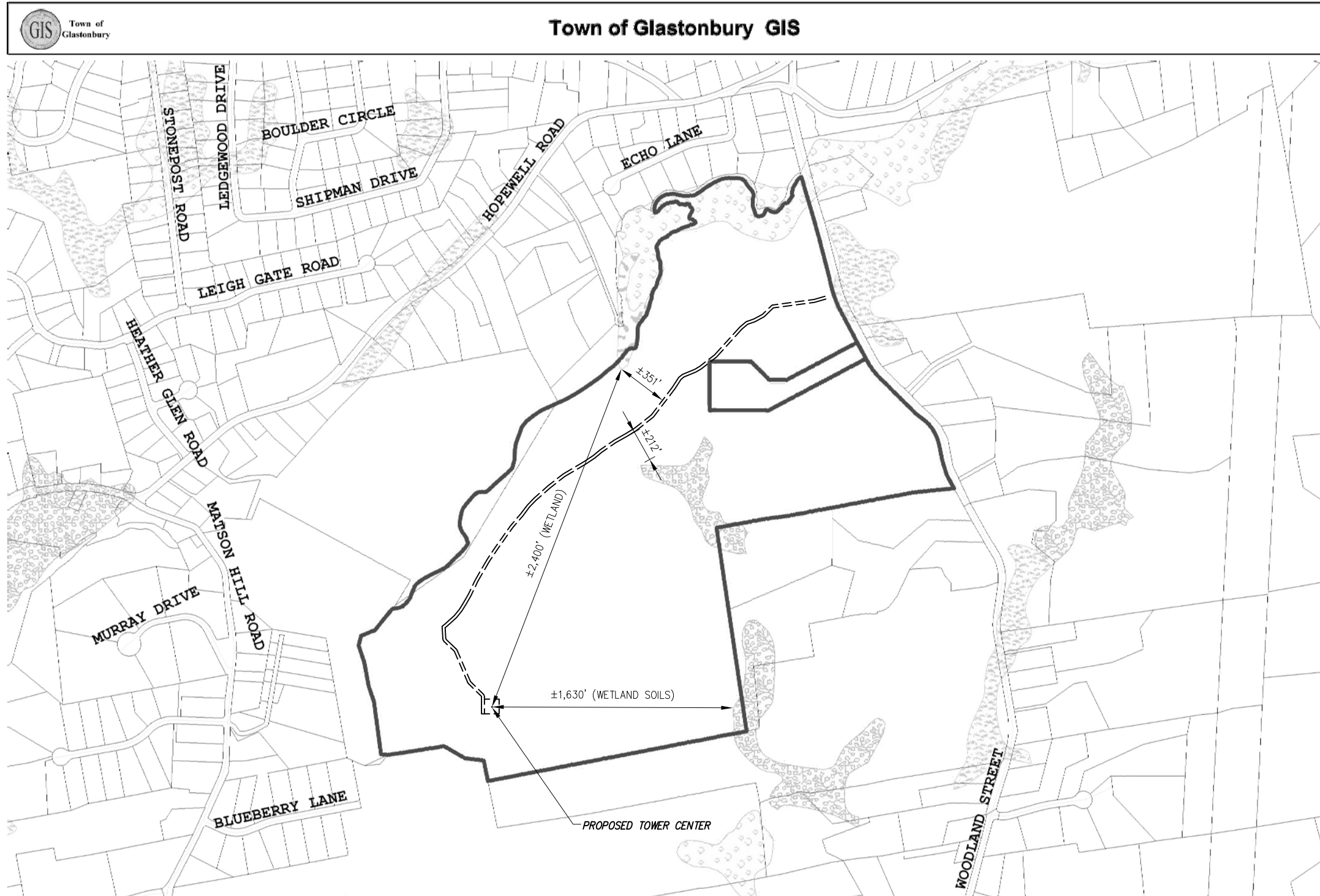
Drawing Number:
Z2B



INFINIGY
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No.	Submittal / Revision	App'd	Date
2	REVISED PER COMMENTS	SKB	8/23/17
1	REVISED ACCESS DRIVE	SKB	12/15/16
0	FOR POWER CO. REVIEW	A.J.D.	9/7/16

NOTE:
BASEMAPPING INFORMATION TAKEN FROM TOWN
OF GLASTONBURY, CT GIS MAPPING SOFTWARE
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Legend

- Property Line
- Property
- Wetland Type Soils
- Wetland
- Property of owner
- Property cleared site
- Water
- Assessing Towns
- Controlling Towns

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0	FOR POWER CO. REVIEW	AJD	9/7/16

Drawn: AJD Date: 9/7/16
Designed: AJD Date: 9/7/16
Checked: AJD Date: 9/7/16

Project Number:
502-000

Project Title:
GLASTONBURY
CT-0007
63-80 WOODLAND STREET
GLASTONBURY, CT 06073

Prepared For:
Eco-Site

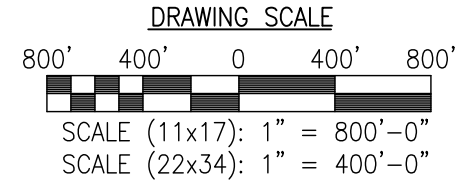
Drawing Title:
**WETLANDS &
WETLAND TYPE SOILS
MAP**

Drawing Scale:
ZD
Date:
8/23/17

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Drawing Number:
Z2C

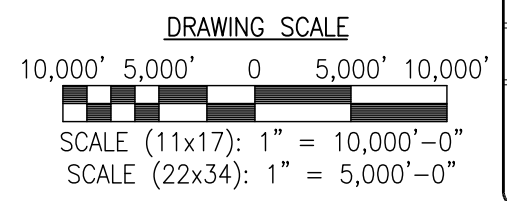
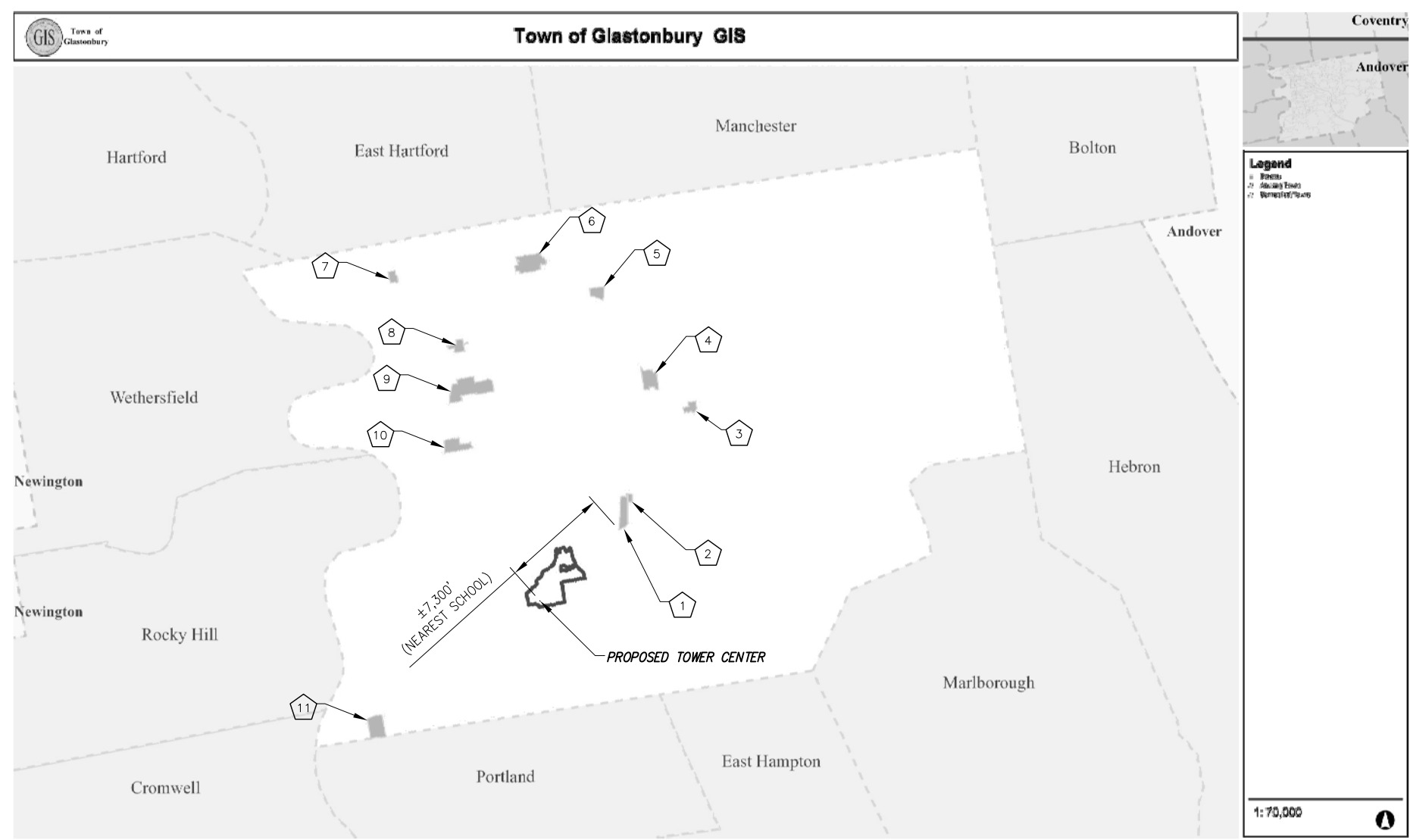
1 WETLAND & WETLAND TYPE SOILS
SCALE: AS NOTED



NOTE:
BASEMAPPING INFORMATION TAKEN FROM TOWN OF GLASTONBURY, CT GIS MAPPING SOFTWARE AND HAS NOT BEEN FIELD VERIFIED BY INFINIGY

SCHOOL NAMES:

- 1 HOPEWELL ELEMENTARY
- 2 SCHOOLS, CHESTNUT HILL ROAD
- 3 EASTBURY ELEMENTARY
- 4 GIDEON WELLES J.H.S.
- 5 HEBRON AVE ELEMENTARY
- 6 SMITH MIDDLE SCHOOL
- 7 NAUBUC ELEMENTARY
- 8 GLASTONBURY/EAST HARTFORD MAGNET SCHOOL
- 9 GLASTONBURY/EAST HARTFORD MAGNET SCHOOL
- 10 BUTTONBALL ELEMENTARY
- 11 NAYAUG ELEMENTARY



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Checked: AJD Date: 9/7/16

Project Number: 502-000

Project Title:
GLASTONBURY
CT-0007
63-80 WOODLAND STREET
GLASTONBURY, CT 06073

Prepared For:
Eco-Site

Drawing Title:
NEAREST SCHOOL MAP

Drawing Scale:
ZD
Date:
8/23/17

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Drawing Number:
Z2D

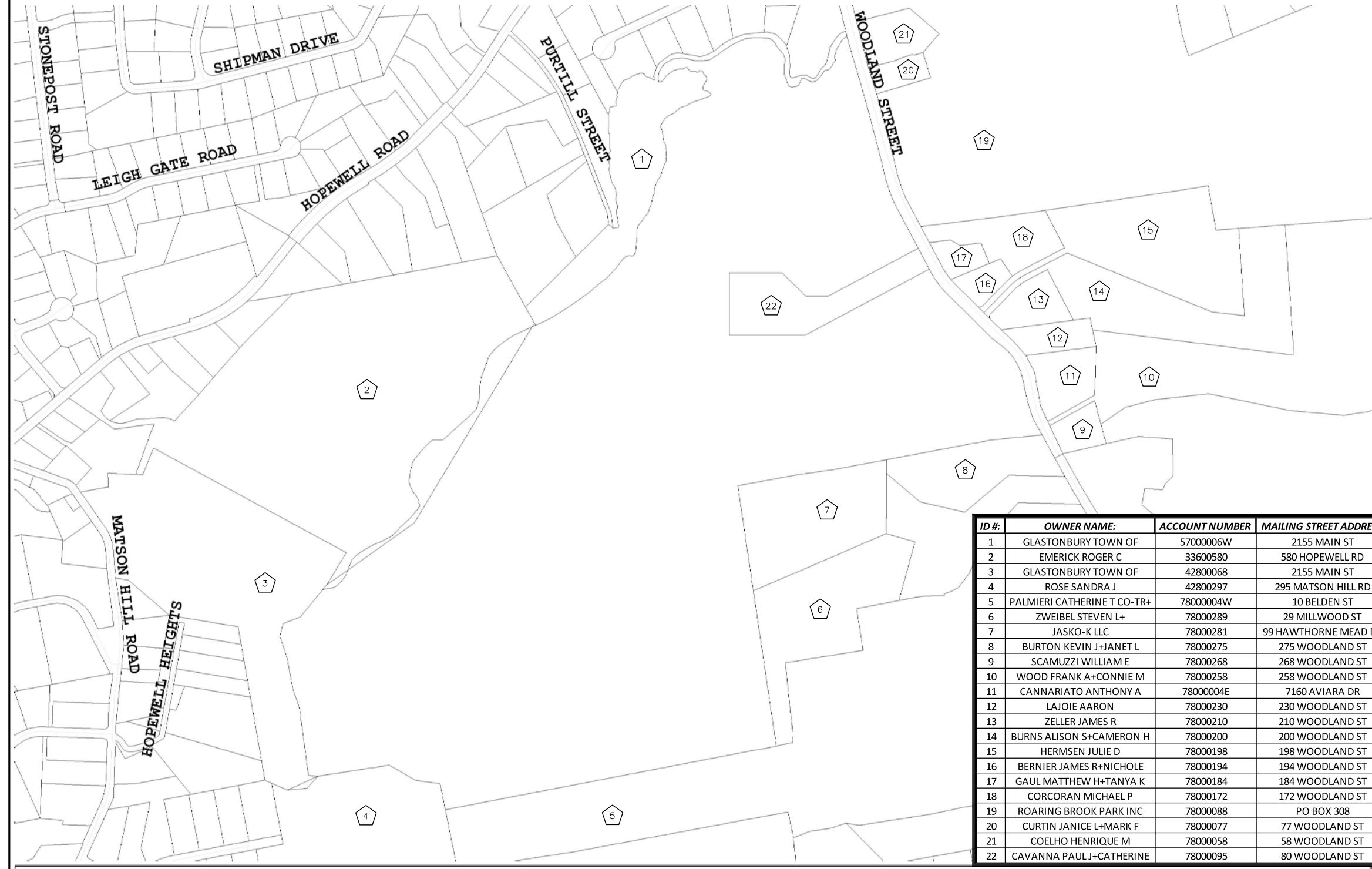
NOTE:
BASEMAPPING INFORMATION TAKEN FROM TOWN
OF GLASTONBURY, CT GIS MAPPING SOFTWARE
AND HAS NOT BEEN FIELD VERIFIED BY INFINIGY



Town of Glastonbury GIS



Legend
- Property Lines
- Streets



ID #:	OWNER NAME:	ACCOUNT NUMBER	MAILING STREET ADDRESS	CITY	STATE	ZIP
1	GLASTONBURY TOWN OF	5700006W	2155 MAIN ST	GLASTONBURY	CT	06033-2282
2	EMERICK ROGER C	33600580	580 HOPEWELL RD	S GLASTONBURY	CT	06073-2413
3	GLASTONBURY TOWN OF	42800068	2155 MAIN ST	GLASTONBURY	CT	06033-2282
4	ROSE SANDRA J	42800297	295 MATSON HILL RD	S GLASTONBURY	CT	06073-3411
5	PALMIERI CATHERINE T CO-TR+	7800004W	10 BELDEN ST	E HARTFORD	CT	06108-4027
6	ZWEIBEL STEVEN L+	78000289	29 MILLWOOD ST	MILFORD	CT	06460-6434
7	JASKO-K LLC	78000281	99 HAWTHORNE MEAD DR	GLASTONBURY	CT	06033-2555
8	BURTON KEVIN J+JANET L	78000275	275 WOODLAND ST	S GLASTONBURY	CT	06073-2722
9	SCAMUZZI WILLIAM E	78000268	268 WOODLAND ST	S GLASTONBURY	CT	06073-2717
10	WOOD FRANK A+CONNIE M	78000258	258 WOODLAND ST	S GLASTONBURY	CT	06073-2717
11	CANNARIATO ANTHONY A	7800004E	7160 AVIARA DR	CARLSBAD	CA	92011-4900
12	LAJOIE AARON	78000230	230 WOODLAND ST	S GLASTONBURY	CT	06073-2717
13	ZELLER JAMES R	78000210	210 WOODLAND ST	S GLASTONBURY	CT	06073-2717
14	BURNS ALISON S+CAMERON H	78000200	200 WOODLAND ST	S GLASTONBURY	CT	06073-2717
15	HERMSEN JULIE D	78000198	198 WOODLAND ST	S GLASTONBURY	CT	06073-2716
16	BERNIER JAMES R+NICHOLE	78000194	194 WOODLAND ST	S GLASTONBURY	CT	06073-2716
17	GAUL MATTHEW H+TANYA K	78000184	184 WOODLAND ST	S GLASTONBURY	CT	06073-2716
18	CORCORAN MICHAEL P	78000172	172 WOODLAND ST	S GLASTONBURY	CT	06073-2717
19	ROARING BROOK PARK INC	78000088	PO BOX 308	S GLASTONBURY	CT	06073-0308
20	CURTIN JANICE L+MARK F	78000077	77 WOODLAND ST	S GLASTONBURY	CT	06073-2720
21	COELHO HENRIQUE M	78000058	58 WOODLAND ST	S GLASTONBURY	CT	06073-2715
22	CAVANNA PAUL J+CATHERINE	78000095	80 WOODLAND ST	S GLASTONBURY	CT	06073-2715

1 ABUTTERS MAP
SCALE: AS NOTED
APPROX. NORTH

DRAWING SCALE
600' 300' 0 300' 600'
SCALE (11x17): 1" = 600'-0"
SCALE (22x34): 1" = 300'-0"

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2	REVISED PER COMMENTS	SKB	8/23/17
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0	FOR POWER CO. REVIEW	AJD	9/7/16

Drawn: AJD Date: 9/7/16
Designed: AJD Date: 9/7/16
Checked: AJD Date: 9/7/16

Project Number:
502-000

Project Title:
GLASTONBURY
CT-0007
63-80 WOODLAND STREET
GLASTONBURY, CT 06073

Prepared For:
Eco-Site

Drawing Title:
ABUTTERS MAP

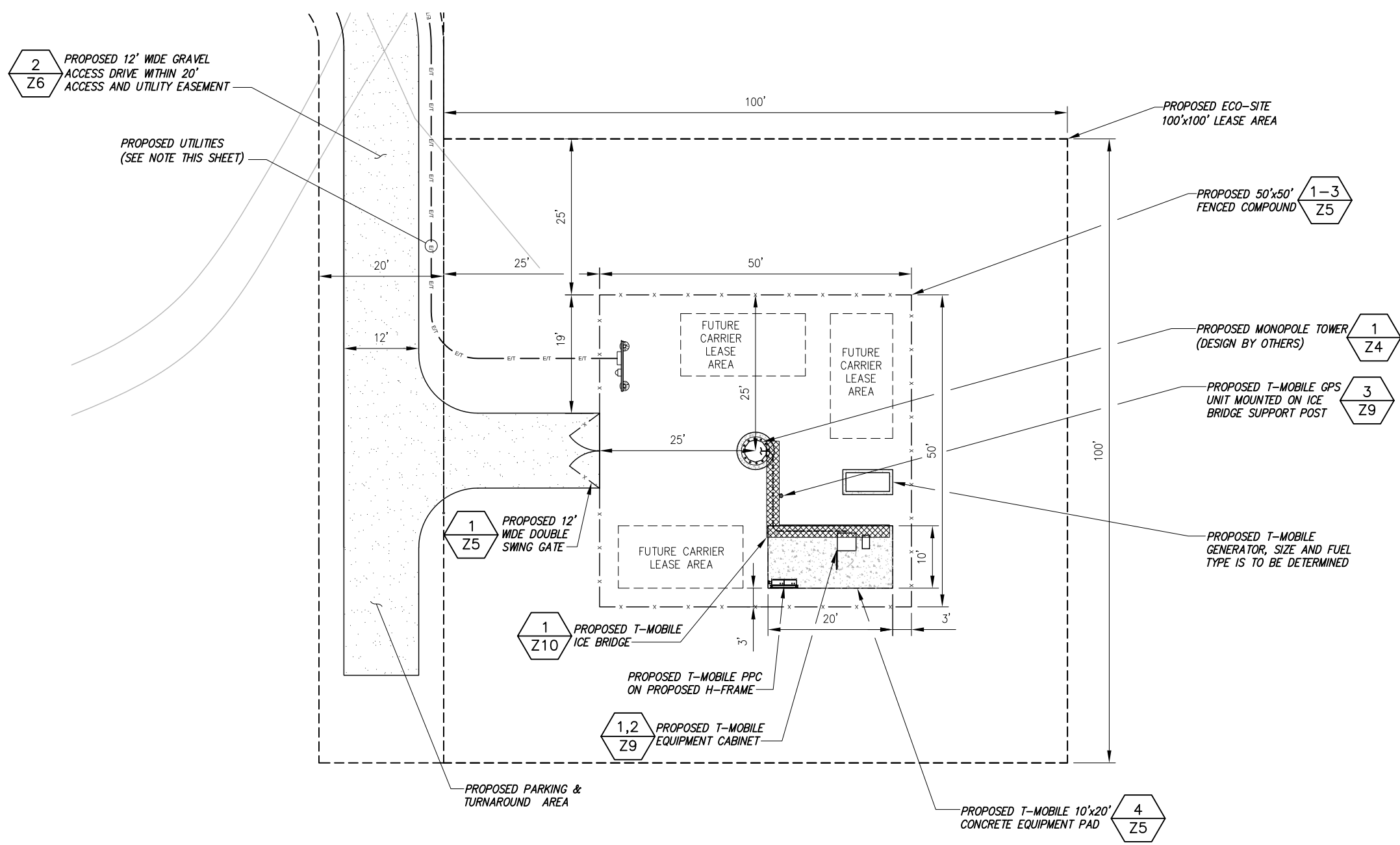
Drawing Scale:
ZD
Date:
8/23/17

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Drawing Number:
Z2E

NOTE:

- ROUTE OF UTILITY IS TO FOLLOW ACCESS EASEMENT UNLESS OTHERWISE DIRECTED BY UTILITY COMPANY.
- FINAL INSTALLATION METHOD (OVERHEAD OR UNDERGROUND) TO BE DETERMINED.



BASEMAPPING INFORMATION BASED ON INFORMATION OBTAINED FROM AERIAL PHOTOGRAPHY, INFORMATION PROVIDED BY ECO-SITE, A SITE WALK COMPLETED BY INFINIGY ENGINEERING ON 5/17/16 AND SURVEY COMPLETED BY CLIMAX DEVELOPMENT OF W.N.Y. TITLED "GLASTONBURY", DATED 6/14/16.



CALLED NORTH

1 DETAILED SITE LAYOUT
SCALE: AS NOTED

DRAWING SCALE

20' 10' 0 10' 20'

SCALE (11x17): 1" = 20'-0"

SCALE (22x34): 1" = 10'-0"

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Project Number: 502-000

Project Title:
GLASTONBURY
CT-0007
63-80 WOODLAND STREET
GLASTONBURY, CT 06073

Prepared For:
Eco-Site

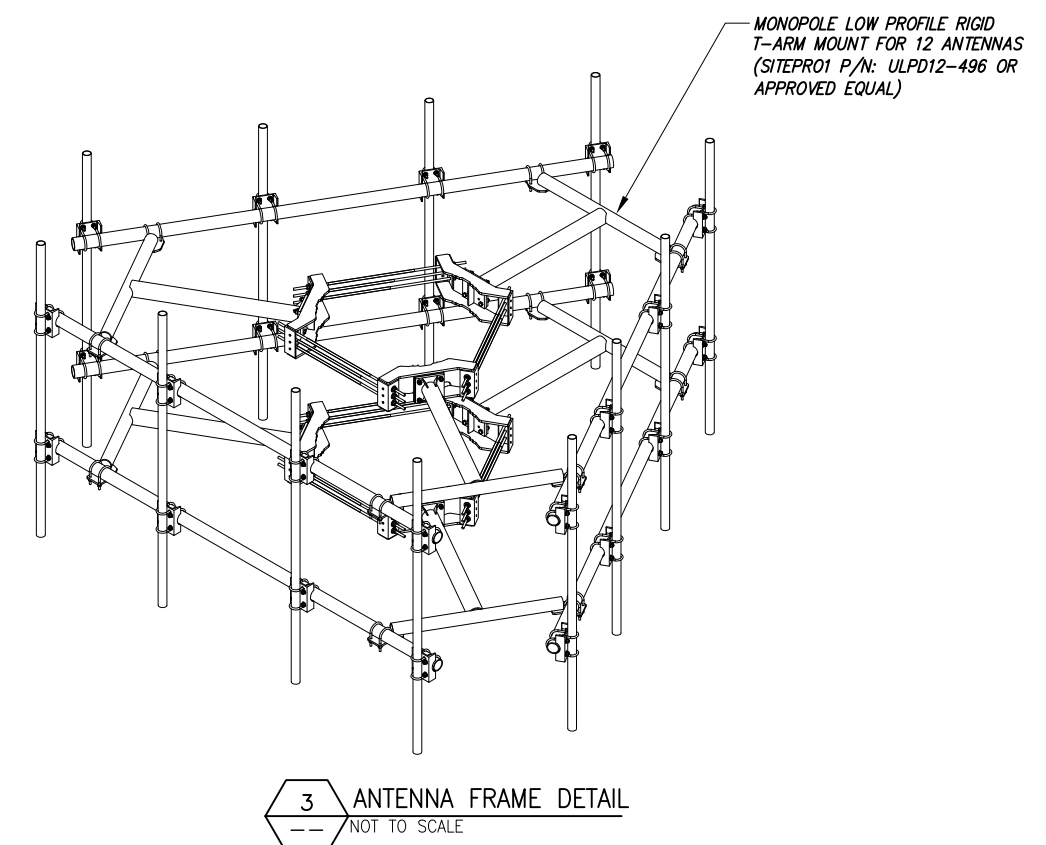
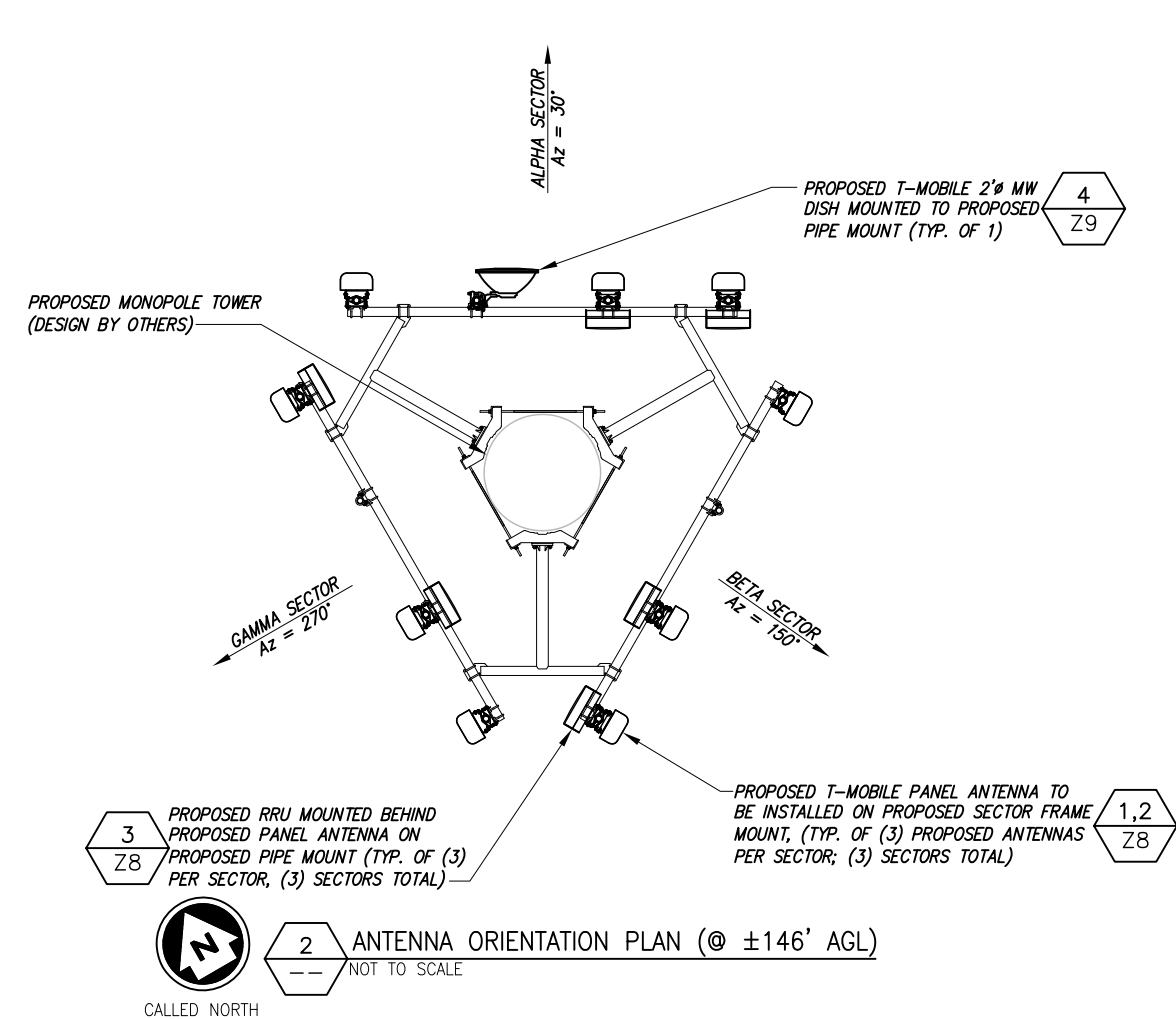
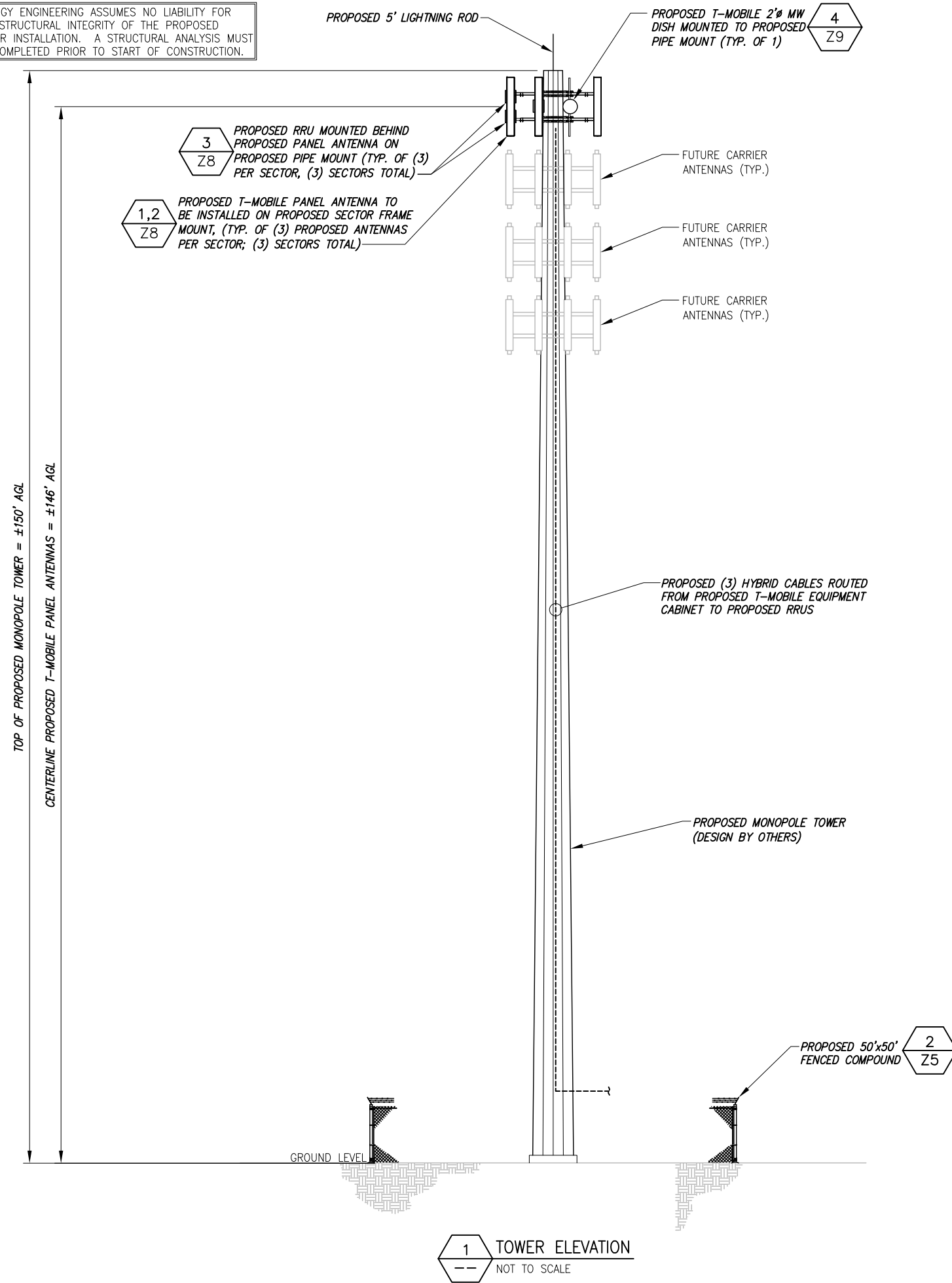
Drawing Title:
**ENLARGED
SITE LAYOUT**

Drawing Scale: **ZD**
Date: 8/23/17

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Drawing Number: **Z3**

INFINIGY ENGINEERING ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE PROPOSED TOWER INSTALLATION. A STRUCTURAL ANALYSIS MUST BE COMPLETED PRIOR TO START OF CONSTRUCTION.



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Checked: AJD Date: 9/7/16

Project Number: 502-000
Project Title: GLASTONBURY CT-0007
63-80 WOODLAND STREET
GLASTONBURY, CT 06073

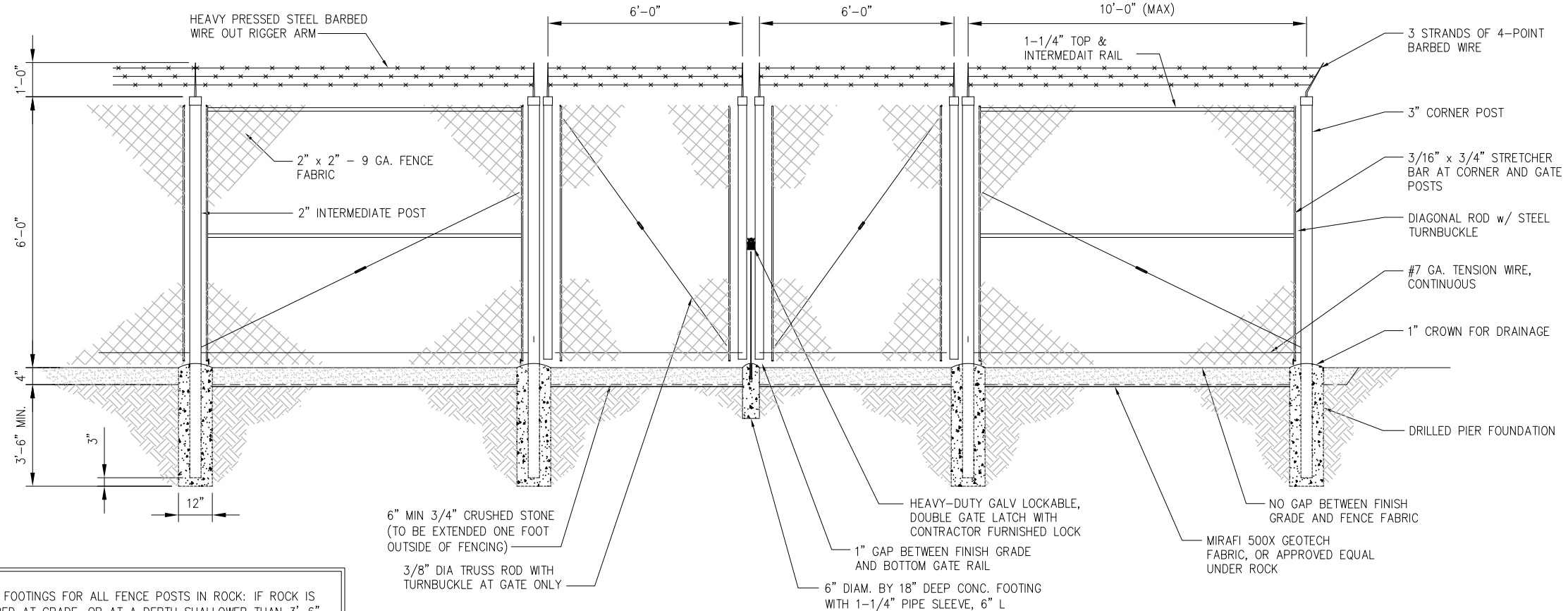
Prepared For: **Eco-Site**

Drawing Title: TOWER ELEVATION

Drawing Scale: ZD
Date: 8/23/17

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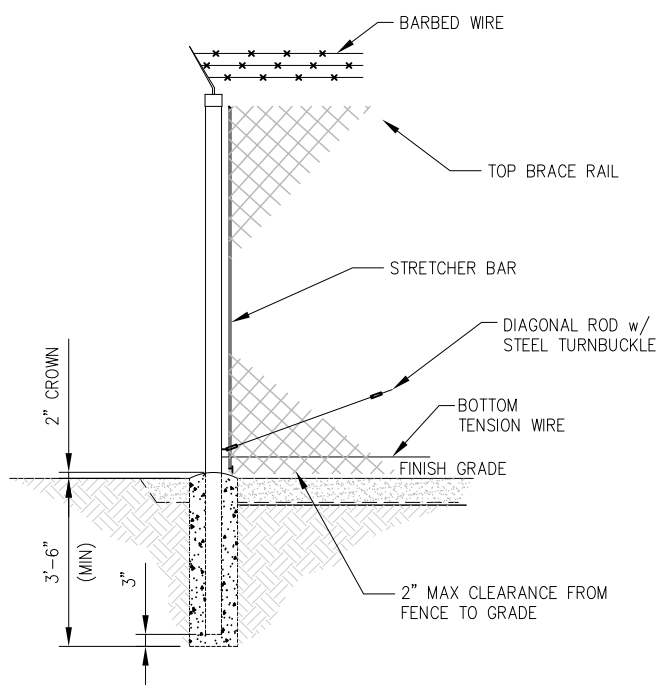
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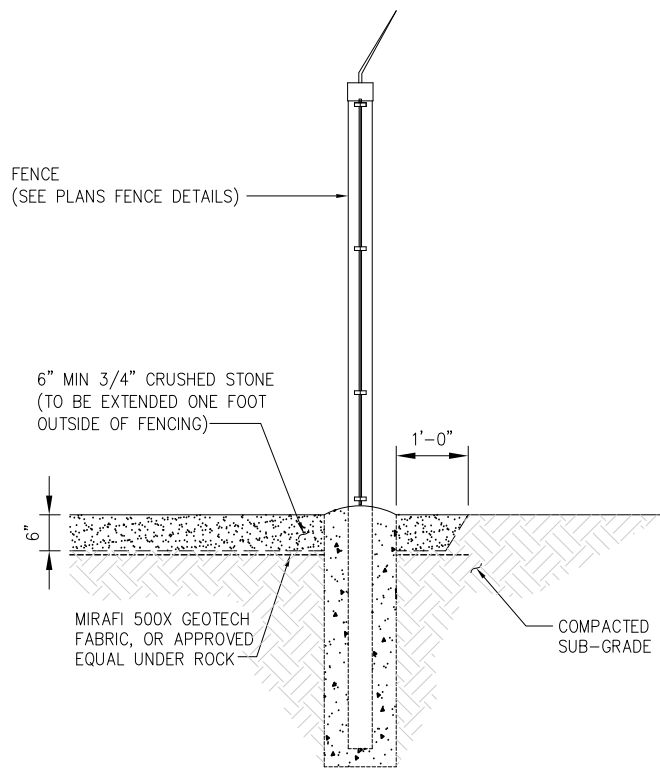
NOTE:

1. ALTERNATE FOOTINGS FOR ALL FENCE POSTS IN ROCK: IF ROCK IS ENCOUNTERED AT GRADE, OR AT A DEPTH SHALLOWER THAN 3'-6", CORE DRILL AN 8" DIA HOLE 18" INTO THE ROCK. CENTER POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF ROCK IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
2. ATTACH EACH GATE WITH 3 NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL. (THREE POINT HINGE)

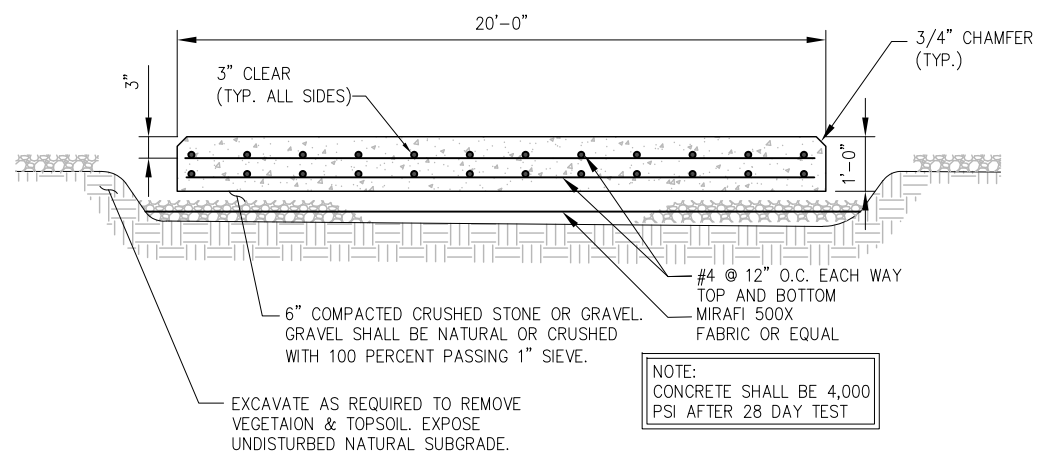
1 DOUBLE SWING ACCESS GATE DETAIL
SCALE: N.T.S.



2 CHAIN LINK FENCE DETAIL
SCALE: N.T.S.



3 SECTION THROUGH COMPOUND
SCALE: N.T.S.



4 CONCRETE SLAB DETAIL
SCALE: N.T.S.

No.	Submittal / Revision	App'd	Date
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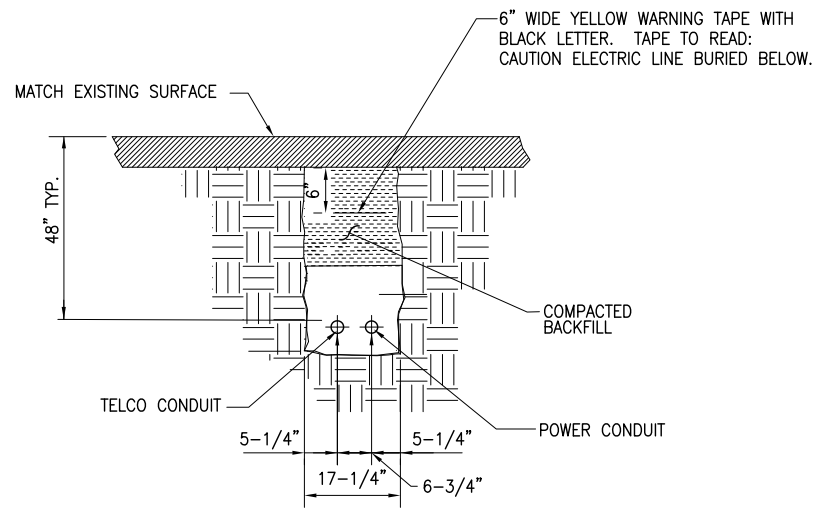
Project Number: 502-000
Project Title: **GLASTONBURY**
CT-0007
63-80 WOODLAND STREET
GLASTONBURY, CT 06073

Prepared For: **Eco-Site**
Drawing Title: **CIVIL DETAILS**

Drawing Scale: **ZD**
Date: 8/23/17

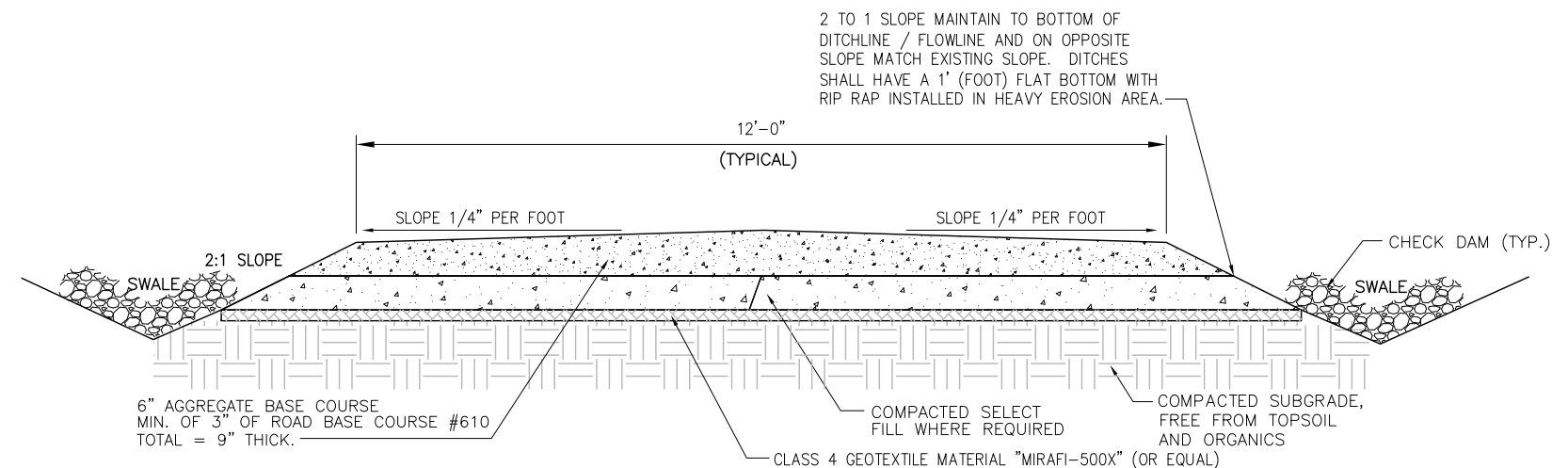
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Drawing Number: **Z5**

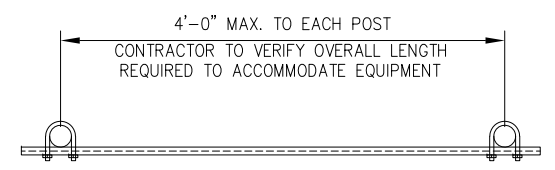


- NOTE:**
1. NUMBER AND SIZE OF CONDUITS MAY VARY. REFER TO CONSTRUCTION DRAWINGS FOR CONDUIT SIZE AND LOCATION. CONFIRM DIMENSIONS SHOWN WITH UTILITY COMPANY.
 2. CONTRACTOR TO VERIFY IN FIELD THE LOCATION, SIZE, TYPE, AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO DIGGING THE SERVICE TRENCH. PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN PROPOSED UTILITIES AND EXISTING UTILITIES IN THE CASE OF UTILITY LINE CROSSINGS.

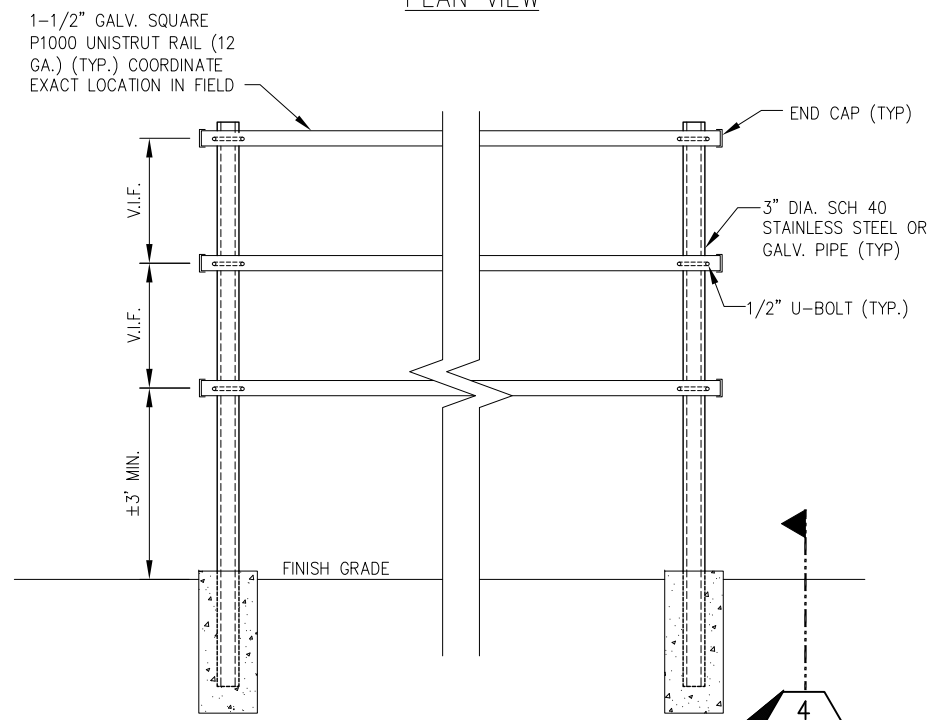
1 TYPICAL CONDUIT TRENCH DETAIL (IF REQUIRED)
 --- NOT TO SCALE



2 DRIVEWAY SECTION - CROWNED
 --- NOT TO SCALE

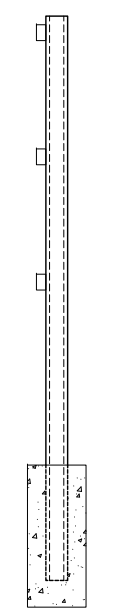


PLAN VIEW

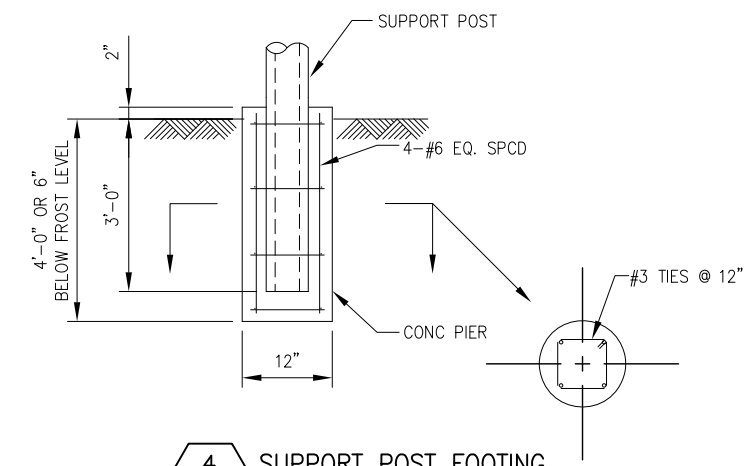


ELEVATION

3 H-FRAME FABRICATION DETAIL
 --- NOT TO SCALE



END VIEW



4 SUPPORT POST FOOTING
 --- NOT TO SCALE

No.	Submittal / Revision	App'd	Date
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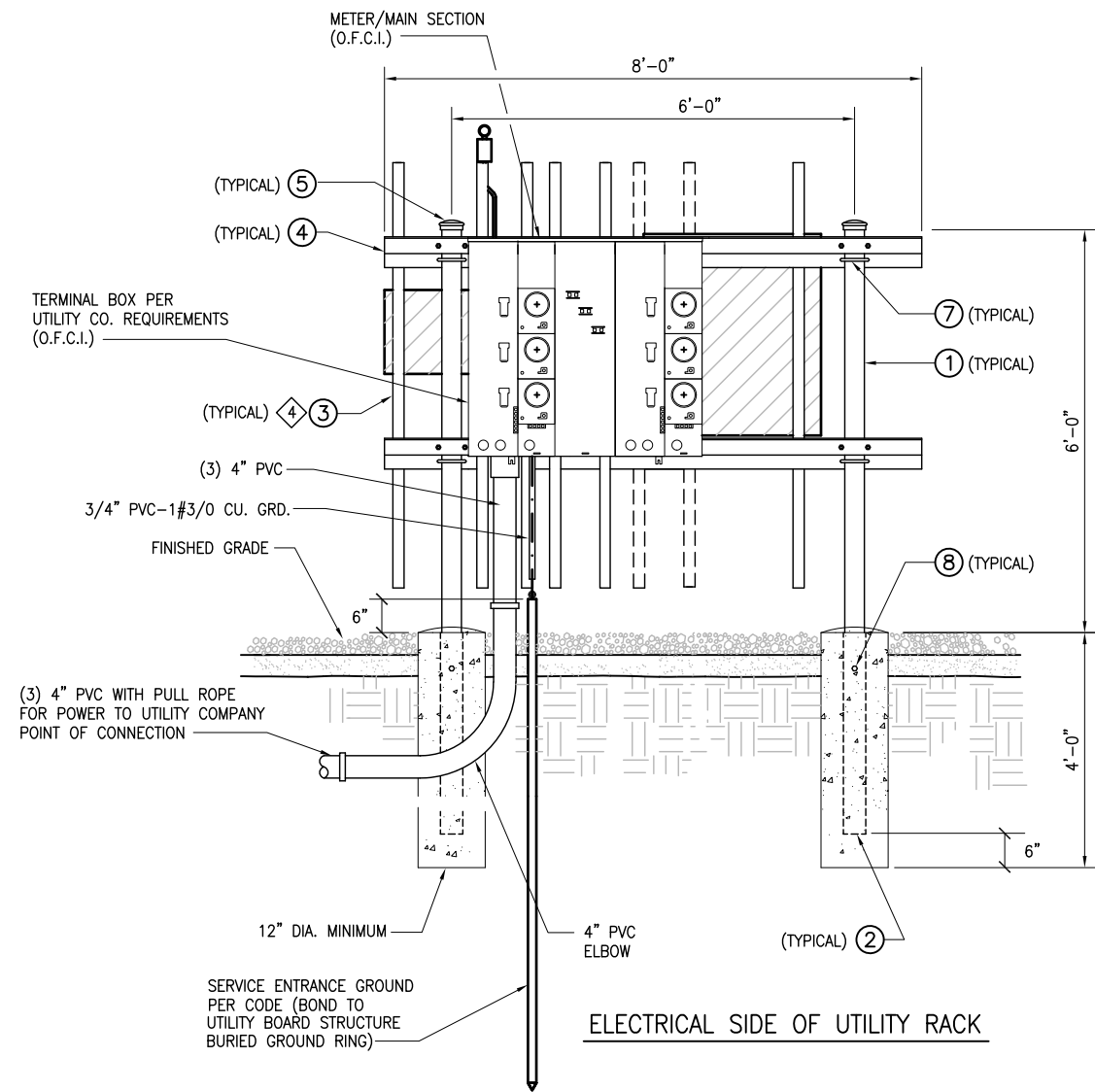
Prepared For:
Eco-Site

Drawing Title:
CIVIL DETAILS

Drawing Scale: **ZD**
 Date: 8/23/17

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Drawing Number:
Z6



PARTS LIST - O.F.C.I.		
ITEM	DESCRIPTION	QTY.
①	84" x 3.5" O.D. PIPE	2
②	36" INSERT	2
③	VERTICAL MEMBER	9
④	HORIZONTAL MEMBER	4
⑤	3-1/2" O.D. PIPE CAP	2
* ⑥	3/8" ANGLE ADAPTER	38
⑦	1/2 x 3-5/8 x 5" GALV. U-BOLT ASSY.	8
⑧	1/2 x 1-1/2" GALV. BOLT ASSY.	2
* ⑨	3/8 x 3/4" GALV. BOLT ASSY.	38
* ⑩	3/8" GALV. FLAT WASHER	38

* NOT SHOWN
 + TO PREVENT CORROSION, ENSURE THAT THE PIPE SLEEVE IS COMPLETELY BELOW GROUND LEVEL AND ENCASED IN CONCRETE.

1 UTILITY RACK DETAILS
 -- NOT TO SCALE

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CT-0007
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 GLASTONBURY, CT 06073

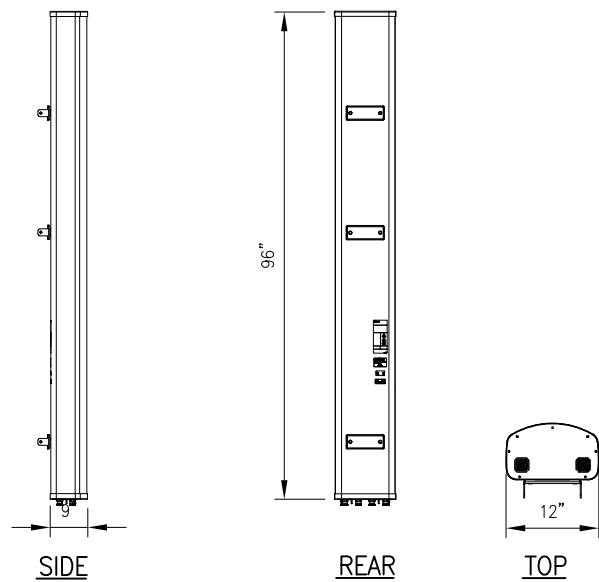
Prepared For:

Drawing Title:
 UTILITY RACK DETAIL

Drawing Scale:
ZD
 Date:
8/23/17

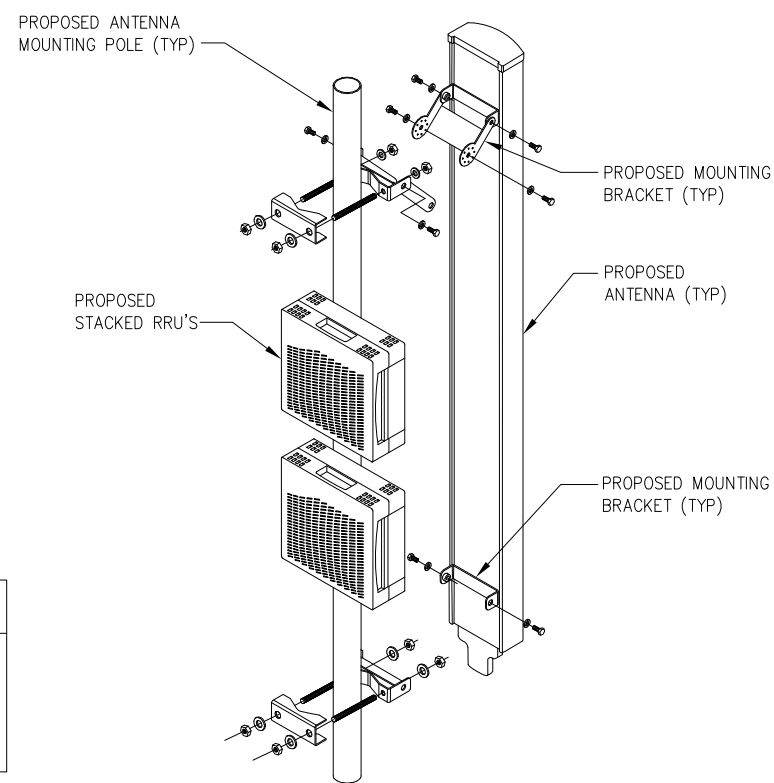
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Drawing Number:
Z7

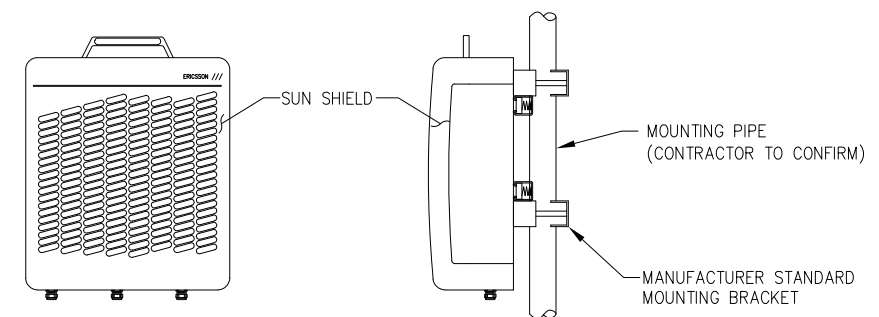


MODEL NO.:	<u>TBD</u>
RADOME MATERIAL:	FIBERGLASS, UV RESISTANT
RADOME COLOR:	LIGHT GRAY
DIMENSIONS, HxWxD:	96"x12"x9"
WEIGHT, W/ PRE-MOUNTED BRACKETS:	TBD
CONNECTOR:	7-16 DIN FEMALE

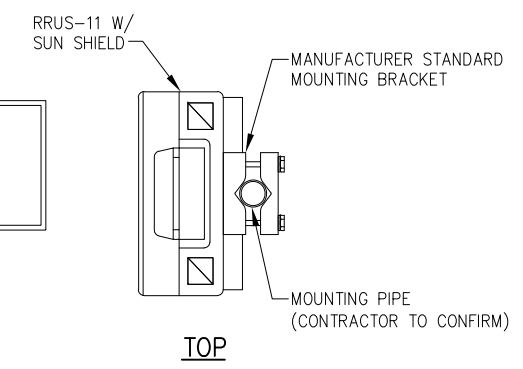
1 ANTENNA DETAIL
NOT TO SCALE



2 MOUNTING DETAIL
NOT TO SCALE



RRUS SPECIFICATIONS	
• HXWxD, (INCHES) :	24"x24"x9"
• WEIGHT (LBS) :	±60
• COLOR :	GRAY



3 ERICSSON RRUS MOUNTING DETAIL
NOT TO SCALE

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CT-0007
63-80 WOODLAND STREET
GLASTONBURY, CT 06073

Prepared For:
Eco-Site

Drawing Title:
**T-MOBILE
EQUIPMENT DETAILS**

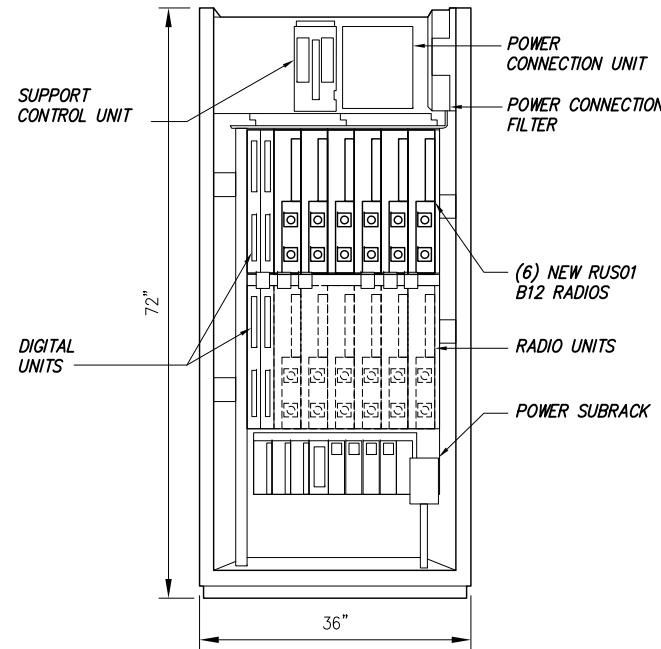
Drawing Scale:
ZD
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8/23/17

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Drawing Number:
Z8

ERICSSON – RBS 6201-ODE

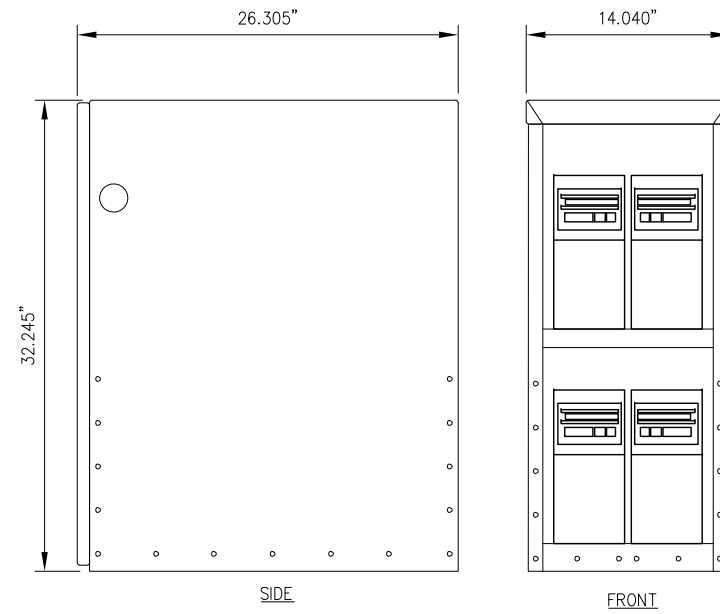
CABINET COLOR: LIGHT GRAY
 DIMENSIONS (HxWxD IN): 72x36x36 IN
 V1 WEIGHT (FULLY EQUIPPED): 715 LBS
 340 LBS (ENCLOSURE + SUPPORT)
 374 LBS (RBS 6201)
 V2 WEIGHT (FULLY EQUIPPED): 1100 LBS
 470 LBS (ENCLOSURE + CLIMATE SYSTEM + LOAD CENTER)
 630 LBS (RBS + TRANSMISSION + SUPPORT EQUIPMENT)



1 EQUIPMENT CABINET DETAIL
 --- NOT TO SCALE

PTS – PTS8003

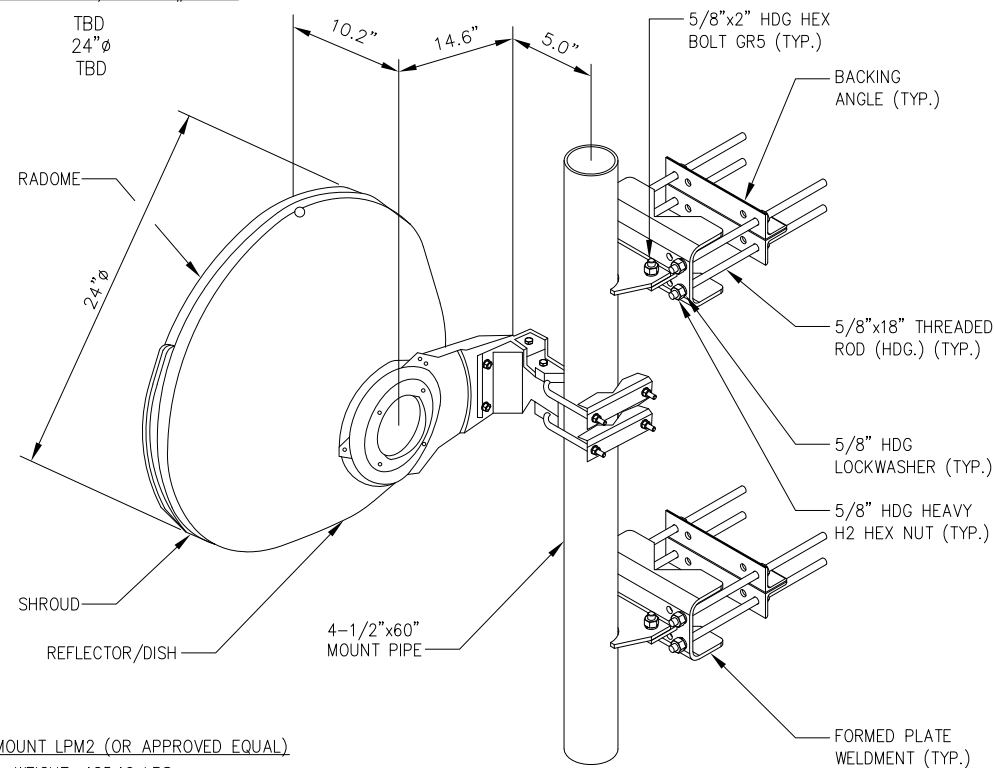
CABINET COLOR: ALMOND POWDER COAT
 DIMENSIONS (HxWxD IN): 32.245x14.040x26.305 IN
 UNIT WEIGHT: 60LBS



2 BATTERY CABINET DETAIL
 --- NOT TO SCALE

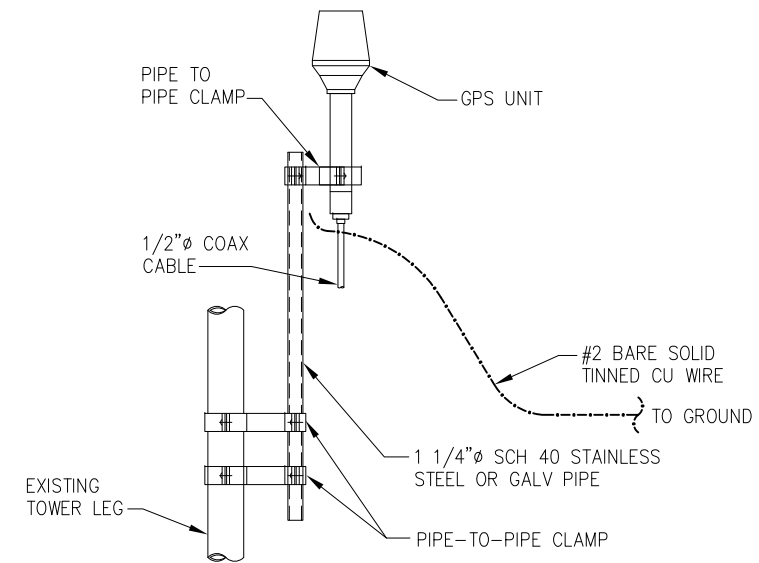
MICROWAVE DISH – MANF/MODEL #: TBD

FREQUENCY: TBD
 SIZE: 24"φ
 WEIGHT: TBD



SITEPRO-1 MOUNT LPM2 (OR APPROVED EQUAL)
 WEIGHT: 125.16 LBS.

4 MICROWAVE DISH & PIPE MOUNT DETAILS
 --- NOT TO SCALE



- NOTES:
1. THE ELEVATION AND LOCATION OF THE GPS ANTENNA SHALL BE IN ACCORDANCE WITH THE FINAL RF REPORT.
 2. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A GROUND PLANE BOLTED TO A STANDARD 1-1/4" DIAMETER, SCHEDULE 40 GALVANIZED STEEL OR STAINLESS STEEL PIPE. THE PIPE MUST NOT BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH (MINIMUM OF 18 INCHES) USING A HAND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH AND PERPENDICULAR CUT. A HACK SAW SHALL NOT BE USED. THE CUT PIPE END SHALL BE DEBURRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.
 3. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED SUCH THAT IT IS WITHIN 2 DEGREES OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2 DEGREES OF LEVEL.
 4. DO NOT SWEEP TEST GPS ANTENNA.

3 GPS UNIT
 --- NOT TO SCALE

2	REVISED PER COMMENTS	SKB	8/23/17
1	REVISED ACCESS DRIVE	SKB	12/15/16
0	FOR POWER CO. REVIEW	AJD	9/7/16
No.	Submittal / Revision	App'd	Date

Drawn: AJD Date: 9/7/16
 Designed: AJD Date: 9/7/16
 Checked: AJD Date: 9/7/16

Project Number: 502-000

Project Title:

GLASTONBURY

CT-0007

63-80 WOODLAND STREET
 GLASTONBURY, CT 06073

Prepared For:

Eco-Site

Drawing Title:

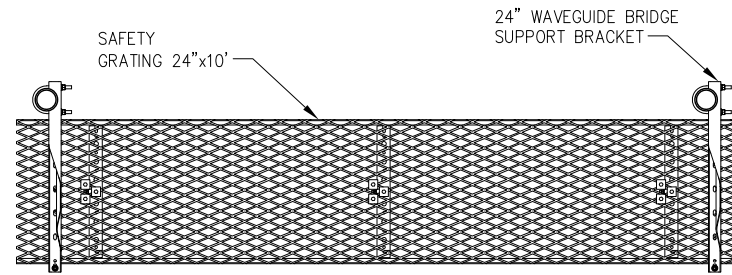
T-MOBILE
 EQUIPMENT DETAILS

Drawing Scale:

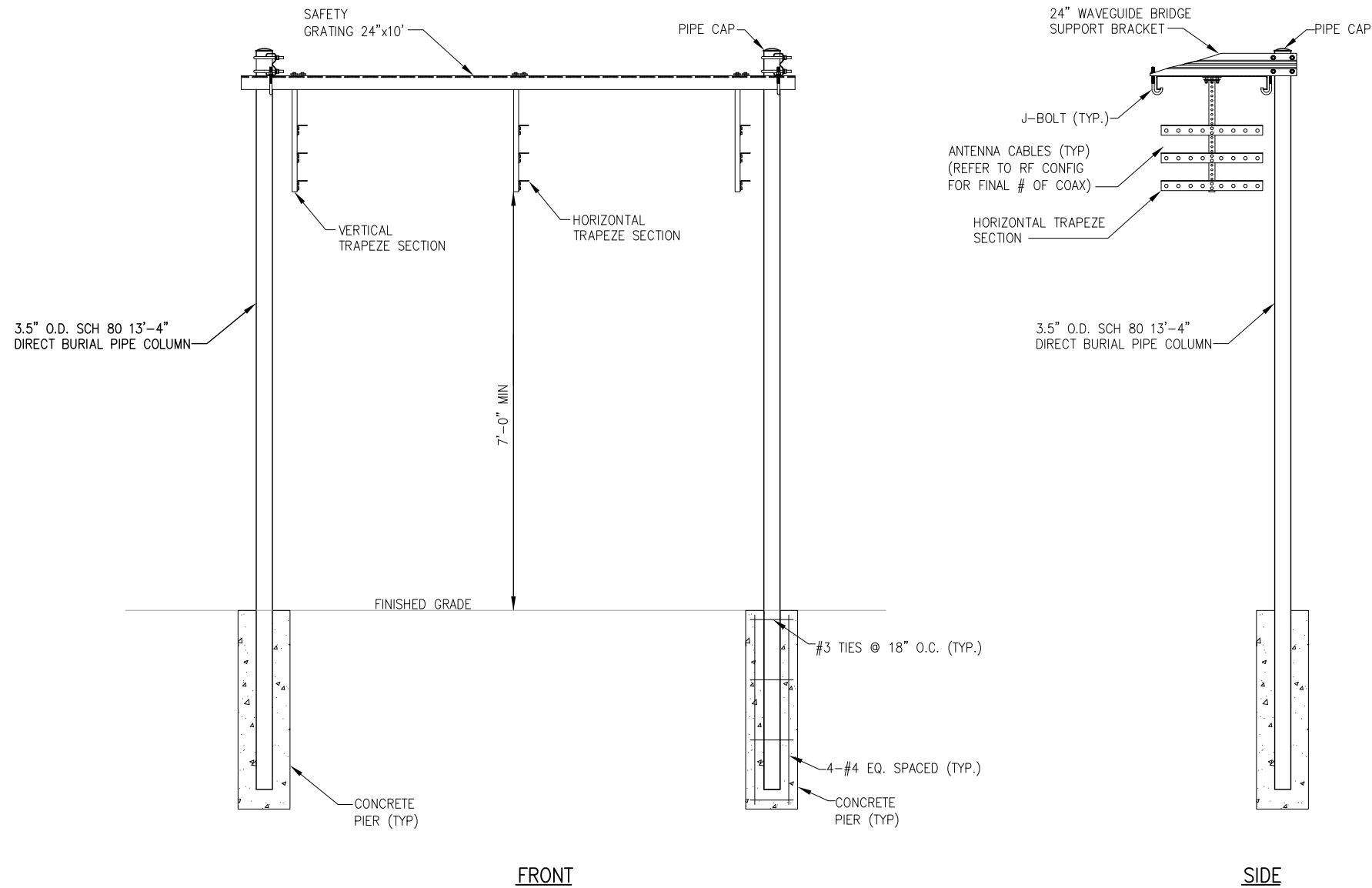
Date: 8/23/17
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Drawing Number:



TOP



NOTES:

1. USE SITE PRO 1 PARTS OR APPROVED EQUAL.
2. SUPPORT POSTS SHALL BE LOCATED ON ALTERNATING SIDES OF ICE BRIDGE, SPACED NO MORE THAN 6'-0".
3. ANY SPLICES OR CANTILEVERED SECTIONS OF THE ICE BRIDGE SHALL BE LOCATED WITHIN 2'-0" OF A SUPPORT POST.

1 WAVEGUIDE BRIDGE KIT (SITE PRO P/N: IB24D-T3)
 -- NOT TO SCALE

No.	Submittal / Revision	App'd	Date
2	REVISED PER COMMENTS	SKB	8/23/17
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Drawn: A.D. Date: 9/7/16
 Designed: A.D. Date: 9/7/16
 Checked: A.D. Date: 9/7/16

Project Number: 502-000

Project Title:
GLASTONBURY
CT-0007
 63-80 WOODLAND STREET
 GLASTONBURY, CT 06073

Prepared For:

Drawing Title:
ICE BRIDGE DETAILS

Drawing Scale:
ZD
 Date:
 8/23/17

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Z10

GRADING & EXCAVATING NOTES:

- ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUNDWATER. DEWATERING FOR EXCESS GROUNDWATER SHALL BE PROVIDED IF REQUIRED.
- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
- USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND
-BE FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS
-BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR
- REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW, STRIP, OR BREAK UP SLOPED SURFACES STEEPER THAN THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
- REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO ENGINEER'S APPROVAL.
- DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- ALL CUT AND FILL SLOPES SHALL BE MAXIMUM 2 HORIZONTAL TO 1 VERTICAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING SITE VEHICLE TRAFFIC AS TO NOT ALLOW VEHICLES LEAVING THE SITE TO TRACK MUD ONTO PUBLIC STREETS. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING PUBLIC STREETS DUE TO MUDDY VEHICLES LEAVING THE SITE.

GENERAL EROSION & SEDIMENT CONTROL NOTES:

- THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AND DETAILS AS SHOWN HEREIN AND STIPULATED WITHIN STATE STANDARDS SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE SEDIMENT LEAVING THE SITE.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY THE ENGINEER OR THE LOCAL JURISDICTION INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
- FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED.
- SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
- ALL CUT AND FILL SLOPES MUST BE SURFACED ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL EROSION & SEDIMENT CONTROL MEASURES AFTER COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

SEEDING GUIDELINES:

FINAL STABILIZATION OF ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, SHALL BE LOAMED AND SEED. LOAM SHALL BE PLACED AT A MINIMUM COMPACTED DEPTH OF 4". RECOMMENDED SEEDING DATES FOR PERMANENT VEGETATION SHALL BE BETWEEN JUNE 15 THROUGH AUGUST 1 AND SEPTEMBER 15 THROUGH OCTOBER 15. TEMPORARY VEGETATIVE MEASURES SHALL CONSIST OF AN ANNUAL OR PERENNIAL RYE GRASS WITH RECOMMENDED SEEDING DATES BEING FROM JUNE 1 THROUGH AUGUST 15 AND SEPTEMBER 30 THROUGH NOVEMBER 30.

EVALUATE PROPOSED COVER MATERIAL

BEFORE SPREADING COVER MATERIAL OVER THE DESIGNATED AREA, OBTAIN A REPRESENTATIVE SOIL SAMPLE AND SUBMIT TO A REPUTABLE SOIL TESTING LABORATORY FOR CHEMICAL AND PHYSICAL ANALYSIS. THE PRELIMINARY TEST IS NECESSARY TO DETERMINE THE REQUIRED INORGANIC AND/OR ORGANIC AMENDMENTS THAT ARE NEEDED TO ASSIST IN ESTABLISHING THE SEED MIXTURE IN AN ENVIRONMENTALLY AND ECONOMICALLY SOUND MANNER. THE RESULTS WILL GIVE THE COVER MATERIAL CHARACTERISTICS SUCH AS pH AND FERTILIZATION NEEDS. THESE RESULTS SHALL BE KEPT ON-SITE BY THE CONTRACTOR AND AVAILABLE FOR REVIEW BY THE COUNTY.

SEED BED PREPARATION

PROPOSED COVER MATERIAL SHOULD BE SPREAD EVENLY OVER THE SITE AREA IN A MINIMUM 4" LIFT VIA BULLDOZER/BUCKET LOADER. USING THE INFORMATION FROM THE SOIL ANALYSIS, CAREFULLY CALCULATE THE QUANTITIES OF LIMESTONE AND PRE-PLANT FERTILIZER NEEDED PRIOR TO APPLYING. PRE-PLANT AMENDMENTS CAN BE APPLIED WITH A BROADCAST AND/OR DROP SEEDER AND INCORPORATED WITH AN OFFSET DISK, YORK RAKE, AND/OR HAND RAKE. AFTER INCORPORATION THE PRE-PLANT SOIL AMENDMENTS, THE SEED BED SHOULD BE SMOOTH AND FIRM PRIOR TO SEEDING. THE FOLLOWING SEED MIXTURES SHALL BE USED AS NOTED:

SEED MIXTURE

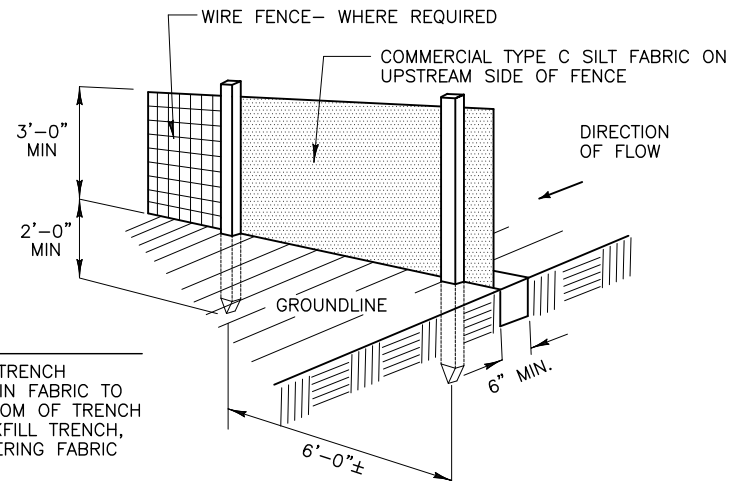
SPECIES/VARIETY	LBS/ACRE
CREeping RED FESCUE	20
KENTUCKY BLUEGRASS	20
PERENNIAL RYEGRASS	5

SEED TIME AND METHOD

THE PREFERRED TIME FOR SEEDING THE COOL SEASON MIXTURE IS LATE SUMMER. SOIL AND AIR TEMPERATURES ARE IDEAL FOR SEED GERMINATION AND SEEDING GROWTH. WEED COMPETITION IS REDUCED BECAUSE SEEDS OF MANY WEED SPECIES GERMINATE EARLIER IN THE GROWING SEASON. ADDITIONALLY, HERBICIDE USE IS GREATLY REDUCED. HOWEVER, SEEDING MAY BE DONE AT ANY OF THE ABOVE NOTED TIMES.

MULCHING

NEWLY SEEDING AREAS SHOULD BE MULCHED TO INSURE ADEQUATE MOISTURE FOR SUCCESSFUL TURF ESTABLISHMENT AND TO PROTECT AGAINST SURFACE MOVEMENT OF SEDIMENT-BOUND AGROCHEMICALS AND SOIL EROSION. IF MULCHING PROCEDURES ARE NOT SPECIFIED ON PLANS, APPLY GOOD QUALITY STRAW OR HAY AT A RATE OF 2 BALES/1000 SQ. FT. OTHER COMMERCIALY AVAILABLE MULCHES CAN BE USED.



- NOTE:
- DIG TRENCH
 - LAY IN FABRIC TO BOTTOM OF TRENCH
 - BACKFILL TRENCH, COVERING FABRIC

1 SILT FENCE DETAIL
NOT TO SCALE

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY POSTS: STEEL EITHER T OR U TYPE. TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE: WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH: FILTER X, MIRAFI 100X' STABILINKA T140N OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
- ALL SILT FENCE MATERIALS MUST BE LISTED ON THE CURRENT STATES. D.O.T. QUALIFIED PRODUCTS LIST.

2	REVISED PER COMMENTS	SKB	8/23/17
1	REVISED ACCESS DRIVE	SKB	12/15/16
0	FOR POWER CO. REVIEW	AJD	9/7/16
No.	Submittal / Revision	App'd	Date

Drawn: AJD Date: 9/7/16
Designed: AJD Date: 9/7/16
Checked: AJD Date: 9/7/16

Project Number: 502-000

Project Title:

GLASTONBURY

CT-0007

63-80 WOODLAND STREET
GLASTONBURY, CT 06073

Prepared For:

Eco-Site

Drawing Title:

GRADING & EROSION CONTROL NOTES

Drawing Scale:

ZD

Date: 8/23/17

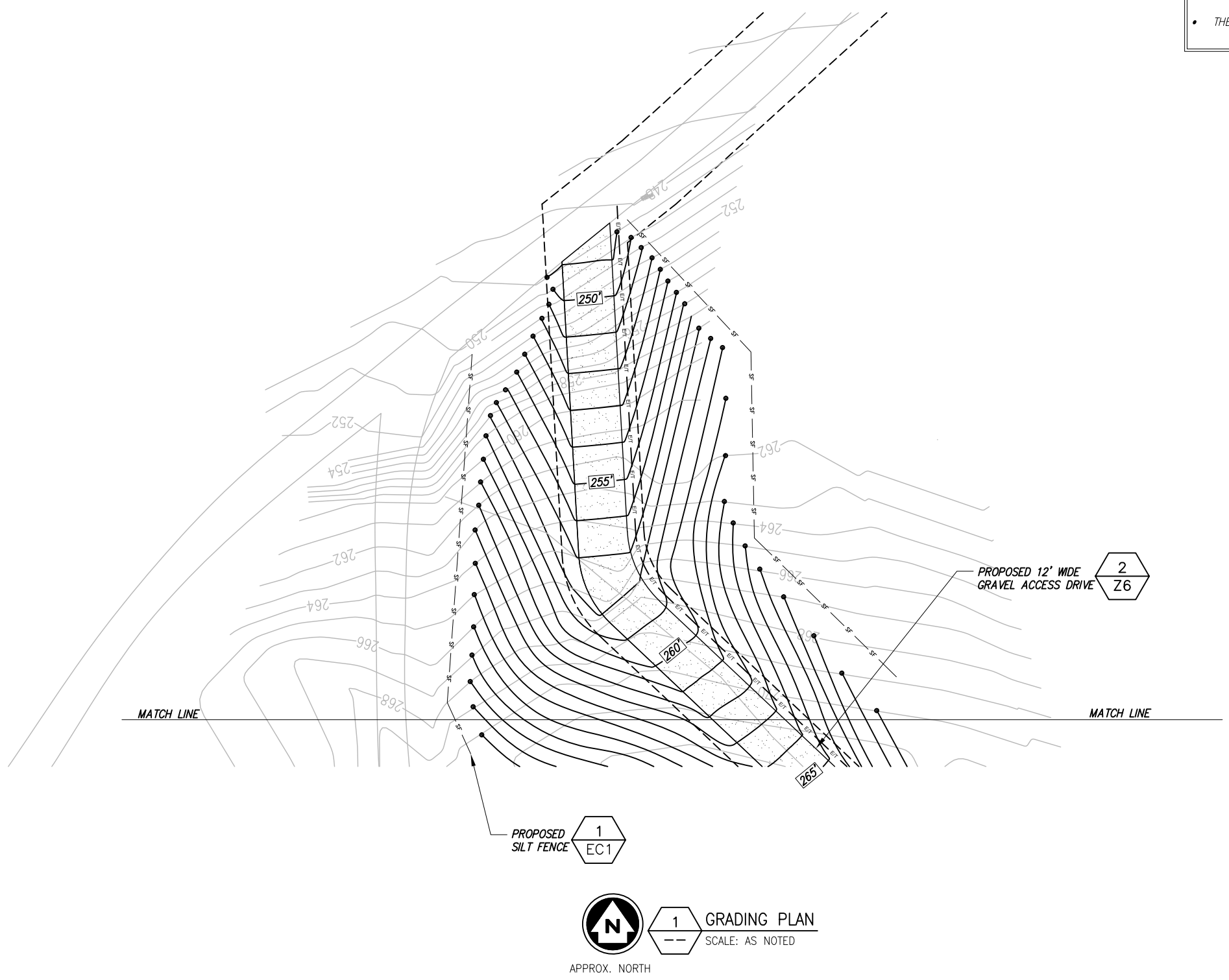
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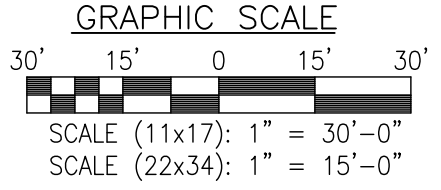
EC1

TREE REMOVAL NOTE:

- IT IS ASSUMED THAT ONE TREE MEASURING 6" DBH OR GREATER EXISTS FOR EVERY 400 SQUARE FEET OF AREA TO BE IMPROVED.
- BASED ON A LEASE AREA OF 100'x100' AND A NEW ACCESS DRIVE CONSISTING OF 40,000 SQFT OF DISTURBANCE, THE TOTAL AREA TO BE CLEARED IS:
 $[(100)(100)] + [40,000] = 50,000$ SQUARE FEET
- ADDING AN APPROXIMATE 10% CONTINGENCY, THE TOTAL AREA TO BE CLEARED IS 55,000 SQUARE FEET.
- THEREFORE THE ESTIMATED NUMBER OF TREES TO BE CLEARED IS:
 $55,000/400 = 138$ TREES



BASEMAPPING INFORMATION BASED ON INFORMATION OBTAINED FROM AERIAL PHOTOGRAPHY, INFORMATION PROVIDED BY ECO-SITE, A SITE WALK COMPLETED BY INFINIGY ENGINEERING ON 5/17/16 AND SURVEY COMPLETED BY CLIMAX DEVELOPMENT, SIGNED AND STAMPED BY EARLE C. NEWMAN ON 11/18/16.



INFINIGY
 1033 Watervliet Shaker Road | Albany, NY 12205
 Phone: 518-690-0790 | Fax: 518-690-0793
 www.infinigy.com

No.	Submittal / Revision	App'd	Date
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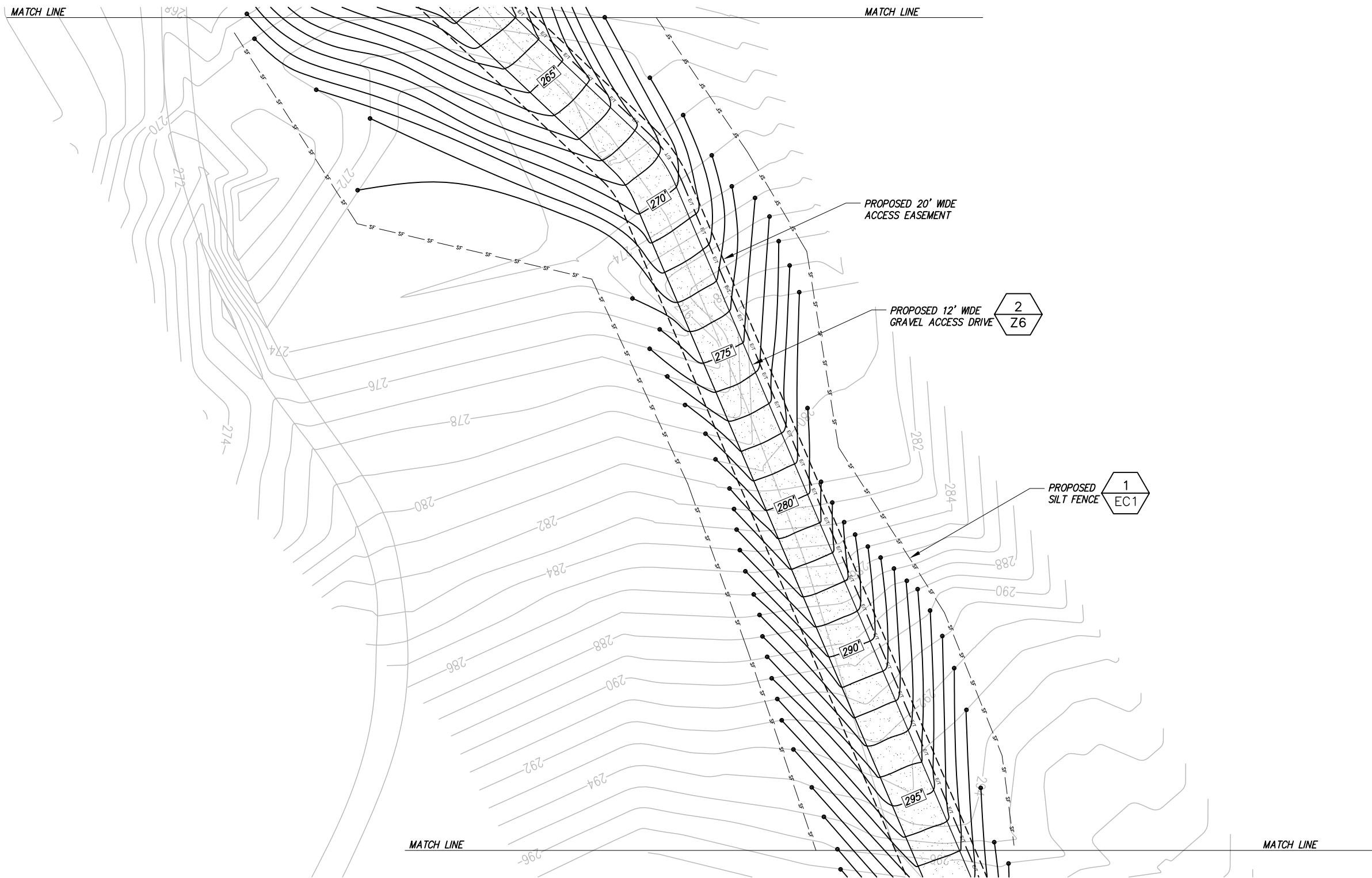
Prepared For:
Eco-Site

Drawing Title:
GRADING PLAN



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Drawing Number:
EC2




BASEMAPPING INFORMATION BASED ON INFORMATION OBTAINED FROM AERIAL PHOTOGRAPHY, INFORMATION PROVIDED BY ECO-SITE, A SITE WALK COMPLETED BY INFINIGY ENGINEERING ON 5/17/16 AND SURVEY COMPLETED BY CLIMAX DEVELOPMENT, SIGNED AND STAMPED BY EARLE C. NEWMAN ON 11/18/16.



1 GRADING PLAN
 SCALE: AS NOTED

APPROX. NORTH

GRAPHIC SCALE

30' 15' 0 15' 30'



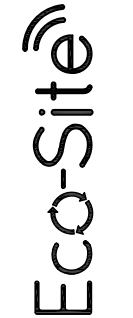
SCALE (11x17): 1" = 30'-0"
 SCALE (22x34): 1" = 15'-0"

No.	Submittal / Revision	App'd	Date
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GLASTONBURY
CT-0007
 63-80 WOODLAND STREET
 GLASTONBURY, CT 06073

Prepared For:


Drawing Title:
GRADING PLAN

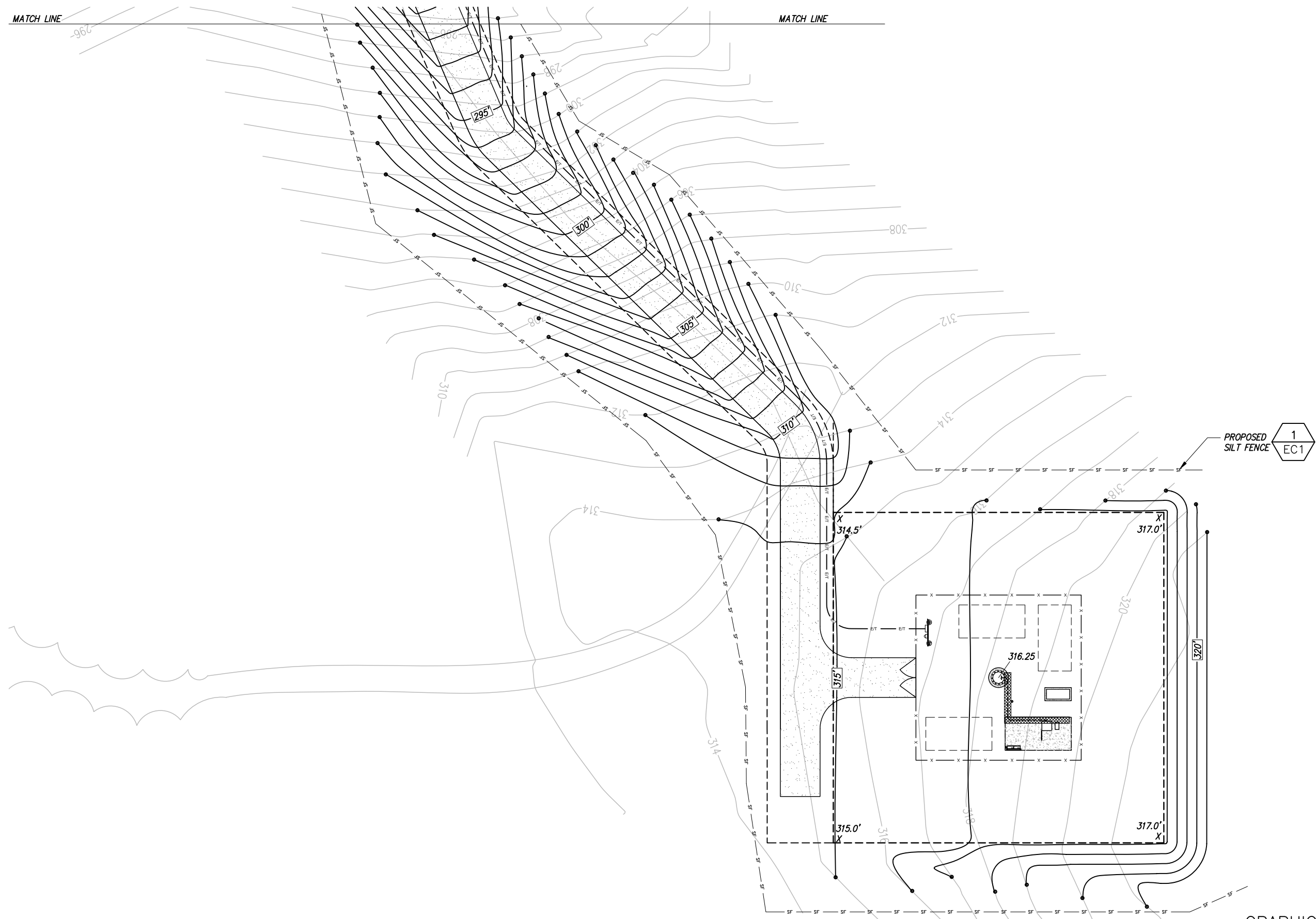
Drawing Scale: **ZD**
 Date: 8/23/17

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Drawing Number:
EC3


MATCH LINE

MATCH LINE



BASEMAPPING INFORMATION BASED ON INFORMATION OBTAINED FROM AERIAL PHOTOGRAPHY, INFORMATION PROVIDED BY ECO-SITE, A SITE WALK COMPLETED BY INFINIGY ENGINEERING ON 5/17/16 AND SURVEY COMPLETED BY CLIMAX DEVELOPMENT OF W.N.Y. TITLED "GLASTONBURY", DATED 6/14/16.

 APPROX. NORTH

 1 GRADING PLAN

SCALE: AS NOTED

GRAPHIC SCALE

30' 15' 0 15' 30'

SCALE (11x17): 1" = 30'-0"

SCALE (22x34): 1" = 15'-0"

INFINIGY

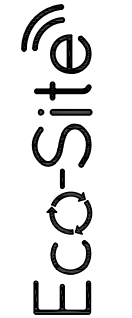
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 GLASTONBURY, CT 06073

Prepared For:


Drawing Title:
GRADING PLAN
CONTINUED

Drawing Scale: **ZD**
 Date: 8/23/17

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Drawing Number:
EC4

TOWAIR Determination Results

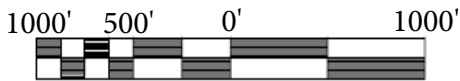
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*** NOTICE ***

TOWAIR's findings are not definitive or binding, and we cannot guarantee that the data in TOWAIR are fully current and accurate. In some instances, TOWAIR may yield results that differ from application of the criteria set out in 47 C.F.R. Section 17.7 and 14 C.F.R. Section 77.13. A positive finding by TOWAIR recommending notification should be given considerable weight. On the other hand, a finding by TOWAIR recommending either for or against notification is not conclusive. It is the responsibility of each ASR participant to exercise due diligence to determine if it must coordinate its structure with the FAA. TOWAIR is only one tool designed to assist ASR participants in exercising this due diligence, and further investigation may be necessary to determine if FAA coordination is appropriate.

DETERMINATION Results	
Structure does not require registration. There are no airports within 8 kilometers (5 miles) of the coordinates you provided.	
Your Specifications	
NAD83 Coordinates	
Latitude	41-39-50.9 north
Longitude	072-34-18.6 west
Measurements (Meters)	
Overall Structure Height (AGL)	45.7
Support Structure Height (AGL)	0
Site Elevation (AMSL)	111.3
Structure Type	
MTOWER - Monopole	



APPROX. NORTH

Aerial Photography

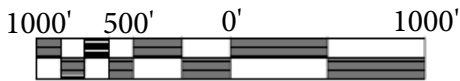
Source: Google Earth Aerial Photo Dated 10/24/2014
 Source: Glastonbury, CT GIS Map

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 S. Glastonbury, CT 06073

Date: 6/22/2016 Rev: 0





APPROX. NORTH

Topography Exhibit

Source: Earth Point Topo Map
 Source: Glastonbury, CT GIS Map

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