

ATTACHMENT 4

| PROJECT INFORMATION | |
|----------------------------|---|
| SCOPE OF WORK: | <ul style="list-style-type: none"> NEW TOWERCO COLOCATION 3,600± SQ.FT. FENCED LEASE AREA NEW TOWERCO 134'± MONOPOLE WITH LIGHTNING ROD AND FAA BEACON LIGHT NEW TOWERCO ACCESS ROAD AND UTILITIES NEW AT&T ANTENNAS: (4) ANTENNAS PER SECTOR WITH (3) SECTORS, FOR A TOTAL OF (12) ANTENNAS NEW AT&T (9) RRUS PER SECTOR WITH (3) SECTORS, FOR A TOTAL OF (27) RRUS (4) NEW AT&T RAYCAP SURGE SUPPRESSORS ITEMS LISTED ABOVE TO BE MOUNTED ON THE PROPOSED 134' MONOPOLE <ul style="list-style-type: none"> NEW AT&T 11'-5" x 16'-0" EQUIPMENT SHELTER WITH 8'x11' PATIO FOR GENERATOR ON 11'-5" x 24'-0" CONCRETE PAD (1) NEW AT&T GPS ANTENNA TO BE MOUNTED ON THE PROPOSED AT&T EQUIPMENT SHELTER ITEMS LISTED ABOVE TO BE INSTALLED WITHIN THE PROPOSED COMPOUND <ul style="list-style-type: none"> (4) NEW AT&T EQUIPMENT RACK (1) NEW DC POWER PLANT (1) NEW BATTERY RACK ITEMS LISTED ABOVE TO BE INSTALLED INSIDE THE PROPOSED AT&T 11'-5" X 16'-0" EQUIPMENT SHELTER |
| SITE ADDRESS: | 45 ROSE HILL ROAD BRANFORD, CT 06405 |
| LATITUDE: | 41.273044° N |
| LONGITUDE: | 72.856269° W |
| TOWER OWNER: | TOWERCO 2013 LLC 5000 VALLEYSTONE DRIVE CARY, NC 27519 |
| TYPE OF SITE: | RAW LAND COLLOCATION MONOPOLE/INDOOR EQUIPMENT |
| TOWER HEIGHT: | 134'-0"± |
| ANTENNA CENTERLINE HEIGHT: | 130'-0"± |
| CURRENT USE: | TELECOMMUNICATIONS FACILITY |
| PROPOSED USE: | TELECOMMUNICATIONS FACILITY |



SITE NAME: CT0016

SITE NAME: BRANFORD-ROSE HILL ROAD

| PROJECT TEAM | |
|--------------------|---|
| COMPANY: | TOWERCO 2013 LLC 5000 VALLEYSTONE DRIVE CARY, NC 27519 |
| <u>ENGINEERING</u> | COMPANY: HUDSON DESIGN GROUP, LLC. ADDRESS: 1600 OSGOOD STREET BUILDING 20 NORTH, SUITE 3090 NORTH ANDOVER, MA 01845 CITY, STATE, ZIP: NORTH ANDOVER, MA 01845 CONTACT: DANIEL P. HAMM, PE PHONE: (978) 557-5553 X222 E-MAIL: daniel.hamm@hudsondesigngroupllc.com |
| <u>SURVEY</u> | COMPANY: NORTHEAST SURVEY CONSULTANTS 116 PLEASANT ST. SUITE 302 P.O. BOX 109 CITY, STATE, ZIP: EASTHAMPTON, MA 01027 PHONE: (413) 203-5144 |



TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NC 27519

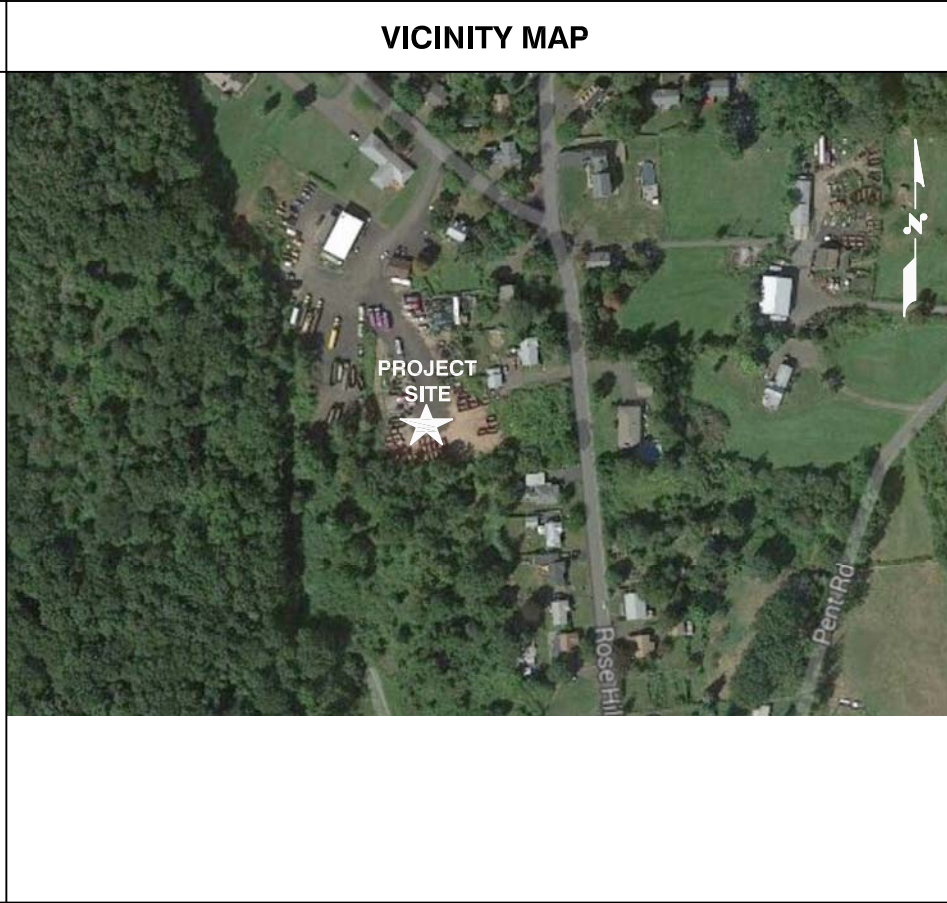


1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5586



LICENSED ENGINEER DATE

| DRAWING INDEX | REV |
|---------------------------------------|-----|
| T-1 TITLE SHEET | 5 |
| C-1 ABUTTERS PLAN | 1 |
| C-2 EXISTING CONDITIONS | 1 |
| C-3 SITE PLAN | 5 |
| A-1 COMPOUND PLAN & ELEVATION | 5 |
| A-2 SHELTER DETAILS | 5 |
| A-3 EROSION CONTROL NOTES AND DETAILS | 5 |
| A-4 TREE PLANTING DETAIL | 5 |



| GENERAL NOTES | |
|---------------|--|
| 1. | THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF TOWERCO. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED. DUPLICATION AND USE BY GOVERNMENT AGENCIES FOR THE PURPOSES OF CONDUCTING THEIR LAWFULLY AUTHORIZED REGULATORY AND ADMINISTRATIVE FUNCTIONS IS SPECIFICALLY ALLOWED. |
| 2. | THE FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS. |
| 3. | CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE TOWERCO REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME. |

| REVISIONS | | |
|-----------|----------|----------------------|
| 5 | 05/06/15 | REVISED PER COMMENTS |
| 4 | 03/30/15 | REVISED PER COMMENTS |
| 3 | 10/24/14 | REVISED PER COMMENTS |
| 2 | 10/15/14 | REVISED PER COMMENTS |
| 1 | 10/09/14 | ISSUED FOR REVIEW |
| 0 | 10/02/14 | ISSUED FOR REVIEW |
| REV. # | DATE | DESCRIPTION |

| | | |
|-----------------------|--|--------------------|
| PROJECT NO. CT0016 | DESIGNED BY: DJR DRAWN BY: KMS CHECKED BY: DPH | SCALE: AS SHOWN |
|-----------------------|--|--------------------|

SITE NAME:
CT0016
BRANFORD -
ROSE HILL ROAD

SITE ADDRESS:
45 ROSE HILL ROAD
BRANFORD, CT 06405

SHEET TITLE:
TITLE SHEET

SHEET NO.:
T-1

ABUTTER'S LIST

A8-0-3-15
41 ROSE HILL ROAD
DIANE R.
SANTA BARBARA
41 ROSE HILL ROAD
BRANFORD, CT 06405

A8-0-3-17
51 ROSE HILL ROAD
PAUL SANTA BARBARA
51 ROSE HILL ROAD
BRANFORD, CT 06405

A8-0-3-18
53 ROSE HILL ROAD
PASQUALE SANTA
BARBARA, JR.
53 ROSE HILL ROAD
BRANFORD, CT 06405

A8-0-4-8
81 PINSKI DRIVE
EDGAR R. SURPRENANT
81 PINSKI DRIVE
BRANFORD, CT 06405

A8-0-4-9
85 PINSKI DRIVE
KEITH BERTRAND
1 SPARROW HAWK CIRCLE
CLIFTON PARK, NY 12065

A8-0-4-10
44 ROSE HILL ROAD
ROBERT P. SANTA
BARBARA
44 ROSE HILL ROAD
BRANFORD, CT 06405

A8-0-6-23
50 ROSE HILL ROAD
EDWARD J. PARZYCH
56 ROSE HILL ROAD
BRANFORD, CT 06405

A8-0-6-23.1
88 PINSKI DRIVE
MARK A. BALZANO
88 PINSKI DRIVE
BRANFORD, CT 06405

A8-0-6-24
56 ROSE HILL ROAD
EDWARD J. PARZYCH
56 ROSE HILL ROAD
BRANFORD, CT 06405

A8-0-6-26
58 ROSE HILL ROAD
JACKSON PEIRRE-LOUIS
58 ROSE HILL ROAD
BRANFORD, CT 06405

A8-0-6-27
68 ROSE HILL ROAD
JACKSON PEIRRE-LOUIS
734 EAST MAIN STREET
BRANFORD, CT 06405

A8-A9-3-3.2
1 BEACON HILL ROAD
SHEARWATER PROPERTIES
INC.
8 WILFORD ROAD
BRANFORD, CT 06405

A8-A9-3-4
61 ROSE HILL ROAD
CHRISTOPHER GARGAMELLI
61 ROSE HILL ROAD
BRANFORD, CT 06405



LOCUS
A8-0-3-16
45 ROSE HILL ROAD
PAUL SANTA BARBARA
51 ROSE HILL ROAD
BRANFORD, CT 06405
DEED 627-346
AREA = 2 AC. ±

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S26°44'14"W | 198.11' |
| L2 | S02°29'16"E | 30.72' |
| L3 | S02°28'49"E | 339.88' |
| L4 | N88°09'04"E | 182.14' |
| L5 | N89°12'09"E | 125.48' |
| L6 | N05°47'57"W | 151.70' |
| L7 | S84°12'03"W | 125.00' |
| L8 | N05°47'57"W | 100.00' |
| L9 | S84°12'03"W | 30.00' |
| L10 | N05°47'57"W | 92.02' |
| L11 | N56°43'08"E | 54.68' |
| L12 | N39°13'08"E | 81.22' |
| L13 | N49°50'01"W | 186.54' |

- FIELD SURVEY DATE: 9/17/2014
 - HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83 2011)
 - VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM (NAVD88)
 - ZONING: R-4
 - OWNER: PAUL SANTA BARBARA
51 ROSE HILL ROAD
BRANFORD, CT 06405
 - SITE NAME: BRANFORD ROSE HILL ROAD
 - SITE NUMBER: CT0016
 - SITE ADDRESS: 45 ROSE HILL ROAD
BRANFORD, CT 06405
 - APPLICANT: TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NH 27519
 - PARCEL AREA IS: 2 ACRES ±
 - TAX ID: A8-0-3-16
 - DEED REFERENCE: BOOK 627 PAGE 349
 - PLAN REFERENCES: PLAN 3223
- PLAN ENTITLED "PROPERTY OF THOMAS SANTA BARBARA JR., ROSE HILL ROAD, BRANFORD, CONNECTICUT SURVEYED DECEMBER 6, 1979" ON FILE AT BRANFORD TOWN OFFICES.

- THE HORIZONTAL DATUM AND VERTICAL DATUM WERE DERIVED FROM A POST-PROCESSED STATIC DUAL FREQUENCY GPS SURVEY.
- ALL UNDERGROUND UTILITY INFORMATION PRESENTED HEREON WAS DETERMINED FROM SURFACE EVIDENCE AND PLANS OF RECORD. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIGSAFE 1-800-322-4844 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY ARE LOCATED IN AN AREA DESIGNATED AS ZONE X (NO SHADING), AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.
COMMUNITY PANEL NO. 09009 C 0463 J
EFFECTIVE DATE: JULY 8, 2013
- FIELD SURVEY BY EDM TOTAL STATION.
- THIS IS NOT A BOUNDARY SURVEY.**
- LOCUS PROPERTY LINES ARE BASED UPON PLANS AND DEEDS OF RECORD, MONUMENTS FOUND AND THE TOWN OF BRANFORD GIS. ABUTTING PROPERTY LINES ARE FROM THE CITY OF BRANFORD GIS AND ARE APPROXIMATE ONLY.
- WETLANDS WERE OBSERVED BY NORTHEAST LAND & WATER, LLC.

LEGEND

- LOCUS PROPERTY LINE
- ABUTTERS PROPERTY LINE ±
- ZONING LINE
- - - - - 1,000' RADIUS LINE
- IPF/IRF ○ — IRON PIPE/ROD FOUND
- — CONC. BOUND FOUND
- △ — CALCULATED POINT
- ⊙ — TOWER CONTROL POINT

SIGNATURE

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. ON SEPTEMBER 26, 1997.

TYPE OF SURVEY: IMPROVEMENT LOCATION SURVEY
BOUNDARY SURVEY CATEGORY: DEPENDENT RESURVEY

CLASS OF ACCURACY: HORIZONTAL CLASS D
VERTICAL CLASS V-2
PURPOSE OF SURVEY: PROPOSED CELLULAR MONOPOLE

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE LIVE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED PROFESSIONAL. UNAUTHORIZED ALTERATIONS RENDER ANY DECLARATION NULL AND VOID.

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Charles G. Gidman
CHARLES G. GIDMAN, P.L.S.
#70103

TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NC 27519

1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5586

NORTHEAST SURVEY CONSULTANTS
116 PLEASANT ST. SUITE 302
P.O. BOX 109
EASTHAMPTON, MA 01027
(413) 203-5144

REVISIONS

| REV. # | DATE | DESCRIPTION |
|--------|----------|----------------------|
| 1 | 10/24/14 | LEGAL DESCRIPTIONS |
| 0 | 10/22/14 | SUBMITTED FOR REVIEW |

PROJECT NO. 14-164
DESIGNED BY: -
DRAWN BY: JGG
CHECK'D BY: CGG

SCALE: 1" = 150'

SITE NAME: CT0016
BRANFORD ROSE HILL ROAD

LAND OWNER OF RECORD:
PAUL SANTA BARBARA
51 ROSE HILL ROAD
BRANFORD, CT 06405
ASSESSOR'S ID: A8-0-3-16
DEED BOOK 627 PAGE 348

SITE ADDRESS:
45 ROSE HILL ROAD
BRANFORD, CT 06405

SHEET TITLE:
ABUTTERS PLAN

SHEET NO.:
C-1





LEASE AREA DESCRIPTION:

A certain lease area being part of tax lot AB-0-3-16 and described in deed 627-348, lying westerly of the right of way line of Rose Hill Road in the town of Branford, CT, and being further described as follows:
Beginning at a point, said point being the northeast corner of the lease area to be described, said point also being S68°00'32"W a distance of 185.18' from an iron pipe found at the northeast corner of land now or formerly Paul Santa Barbara, running thence;

S 01°50'56" E a distance of 60.00', thence;
S 88°09'04" W a distance of 90.00', thence;
N 01°50'56" W a distance of 30.00', thence;
N 88°09'04" E a distance of 60.00', thence;
N 01°50'56" W a distance of 30.00', thence;
N 88°09'04" E a distance of 30.00', thence;
to the point of beginning, having an area of 3600 square feet or 0.083 acres, more or less.

15' WIDE ACCESS EASEMENT DESCRIPTION:

A certain 15' wide access easement lying on the westerly right of way line of Rose Hill Road in the town of Branford, CT, and being further described as follows:
Beginning at a point, said point being the northeast corner of the access easement to be described, said point also being S05°47'57"E a distance of 77.02' from an iron pipe found at the northeast corner of land now or formerly Paul Santa Barbara, running thence;

S 05°47'57" E a distance of 15.00', thence;
S 84°22'07" W a distance of 109.62', thence;
S 80°48'37" W a distance of 71.33', thence;
N 01°50'56" W a distance of 15.12', thence;
N 80°48'37" E a distance of 16.10', thence;
N 09°11'23" W a distance of 20.00', thence;
N 80°48'37" E a distance of 15.00', thence;
S 09°11'23" E a distance of 20.00', thence;
N 80°48'37" E a distance of 38.77', thence;
N 84°22'07" E a distance of 110.04', thence;
to the point of beginning, having an area of 3007 square feet or 0.069 acres, more or less.

10' WIDE UTILITY EASEMENT DESCRIPTION:

A certain 10' wide utility easement lying on the westerly right of way line of Rose Hill Road in the town of Branford, CT, and being further described as follows:
Beginning at a point, said point being the northeast corner of the access easement to be described, said point also being S05°45'21"E a distance of 92.02' from an iron pipe found at the northeast corner of land now or formerly Paul Santa Barbara, running thence;

S 05°47'57" E a distance of 10.00', thence;
S 84°22'07" W a distance of 109.34', thence;
S 80°48'37" W a distance of 72.31', thence;
N 01°50'56" W a distance of 10.08', thence;
N 80°48'37" E a distance of 71.33', thence;
N 84°22'07" E a distance of 109.62', thence;
to the point of beginning, having an area of 1813 square feet or 0.042 acres, more or less.

PROPOSED CENTER OF TOWER
LAT: 41°16'22.96"
LON: 72°51'22.57"
N: 660231.20
E: 970787.66
GROUND EL: 118'±

15' WIDE ACCESS EASEMENT LINE TABLE

| | | |
|----|-------------|--------|
| A1 | S05°47'57"E | 15.00' |
| A2 | N01°50'56"W | 15.12' |
| A3 | N80°48'37"E | 16.10' |
| A4 | N09°11'23"W | 20.00' |
| A5 | N80°48'37"E | 15.00' |
| A6 | S09°11'23"E | 20.00' |

10' WIDE UTILITY EASEMENT LINE TABLE

| | | |
|----|-------------|--------|
| U1 | S05°47'57"E | 10.00' |
| U2 | N01°50'56"W | 10.08' |

LEGEND

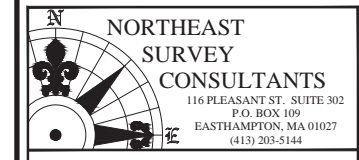
- LOCUS PROPERTY LINE
- ABUTTERS PROPERTY LINE ±
- TREE LINE
- WETLAND DELINEATION
- CONTOUR LINE
- IPF/IRF ○ — IRON PIPE/ROD FOUND
- CBF □ — CONC. BOUND FOUND
- ⊙ — TOWER CONTROL POINT
- ⊕ — DECIDUOUS TREE
- ⊞ — CATCH BASIN



TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NC 27519



1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5586



REVISIONS

| REV. # | DATE | DESCRIPTION |
|--------|----------|----------------------|
| 1 | 10/24/14 | LEGAL DESCRIPTIONS |
| 0 | 10/13/14 | SUBMITTED FOR REVIEW |

| | | |
|-------------|-----------------|----------|
| PROJECT NO. | DESIGNED BY: - | SCALE: |
| 14-164 | DRAWN BY: JGG | 1" = 30' |
| | CHECK'D BY: CGG | |

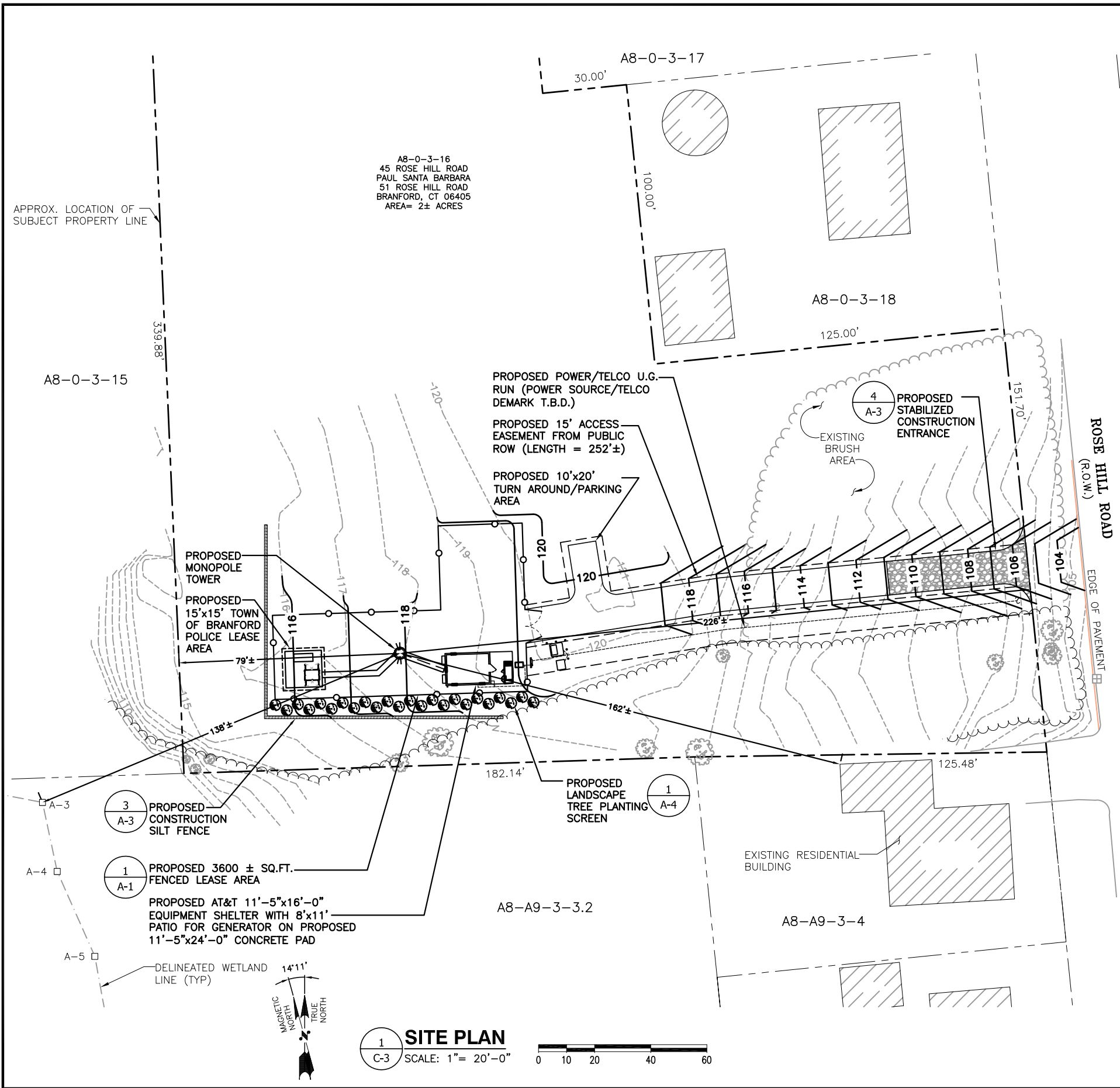
SITE NAME: CT0016
BRANFORD ROSE HILL ROAD
LAND OWNER OF RECORD:
PAUL SANTA BARBARA
51 ROSE HILL ROAD
BRANFORD, CT 06405
ASSESSOR'S ID: AB-0-3-16
DEED BOOK 627 PAGE 348

SITE ADDRESS:
45 ROSE HILL ROAD
BRANFORD, CT 06405

SHEET TITLE:
EXISTING
CONDITIONS

SHEET NO.:
C-2





1 SITE PLAN
C-3 SCALE: 1" = 20'-0"
0 10 20 40 60

GENERAL NOTES:

- CENTER OF TOWER: CENTER OF PROPOSED MONOPOLE
LATITUDE: N 41° 16' 22.96"
LONGITUDE: W 72° 51' 22.57"
- PROPERTY OWNER (N/F): PAUL SANTA BARBARA
51 ROSE HILL ROAD
BRANFORD, CT 06405
- SITE NUMBER: CT0016
- SITE ADDRESS: 45 ROSE HILL ROAD
BRANFORD, CT 06405
- APPLICANT: TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NC 27519
- TAX ID: A8-0-3-16
- DEED REFERENCE: BOOK 627 PAGE 349
- PLAN REFERENCE: PLAN 3223
- ZONING: R-4
- ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY:
DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233
CALL BEFORE YOU DIG (CT): 1-800-922-4455
- PROPERTY LINE INFORMATION IS COMPILED FROM ASSESSORS PLAN AND RECORD DOCUMENTS AND IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD BOUNDARY SURVEY, AND IS SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. A BOUNDARY SURVEY WAS NOT PERFORMED.
BEARING SYSTEM OF THIS PLAN IS BASED ON TRUE NORTH. TRUE NORTH WAS ESTABLISHED FROM EXISTING PLAN REFERENCE. IT IS NOT INTENDED TO BE AN EXACT REPRESENTATION OF TRUE NORTH.

LEGEND

- PROPERTY LINE-SUBJECT PARCEL
- PROPERTY LINE-ABUTTERS
- TOWN BOUNDARY LINE
- CONTOUR LINE
- DELINEATED WETLAND LINE
- (E) BUILDING
- xxx-xx ASSESSORS MAP-BLOCK-LOT NO.
- (E) TREE LINE

SOURCE: ABUTTERS PLAN AND EXISTING CONDITIONS PLAN BY NORTHEAST SURVEY CONSULTANTS DATED 9/30/14.

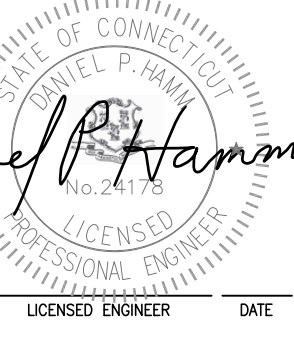
DISTANCE CHART

| DISTANCE TO CLOSEST: | PROPOSED DISTANCE: |
|-------------------------|----------------------------------|
| SCHOOL | 5289' (ROBERT W. CARBONE SCHOOL) |
| RESIDENTIAL BUILDING | 162' ± |
| MUNICIPALITY | 1716' (EAST HAVEN) |
| WETLAND | 138' ± |
| HOUSES WITHIN 1000' | 77 |
| NUMBER OF TREES REMOVED | 0 |

SQUARE FOOTAGE OF PROPOSED STRUCTURES + IMPERVIOUS SURFACES = 300 ± SQ.FT.



TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NC 27519



REVISIONS

| REV. # | DATE | DESCRIPTION |
|--------|----------|----------------------|
| 5 | 05/06/15 | REVISED PER COMMENTS |
| 4 | 03/30/15 | REVISED PER COMMENTS |
| 3 | 10/24/14 | REVISED PER COMMENTS |
| 2 | 10/15/14 | REVISED PER COMMENTS |
| 1 | 10/09/14 | ISSUED FOR REVIEW |
| 0 | 10/02/14 | ISSUED FOR REVIEW |

| | | |
|-----------------------|--|--------------------|
| PROJECT NO. CT0016 | DESIGNED BY: DJR DRAWN BY: KMS CHECKED BY: DPH | SCALE: AS SHOWN |
|-----------------------|--|--------------------|

SITE NAME:
CT0016
BRANFORD -
ROSE HILL ROAD

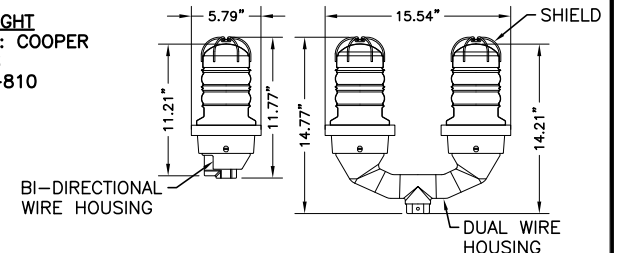
SITE ADDRESS:
45 ROSE HILL ROAD
BRANFORD, CT 06405

SHEET TITLE:
SITE PLAN

SHEET NO.:
C-3

NOTE:
AN ANALYSIS FOR THE CAPACITY OF THE PROPOSED STRUCTURES TO SUPPORT THE PROPOSED EQUIPMENT SHALL BE DETERMINED PRIOR TO CONSTRUCTION.

FAA BEACON LIGHT
MANUFACTURER: COOPER
CROUSE-HINDS
MODEL No.: L-810



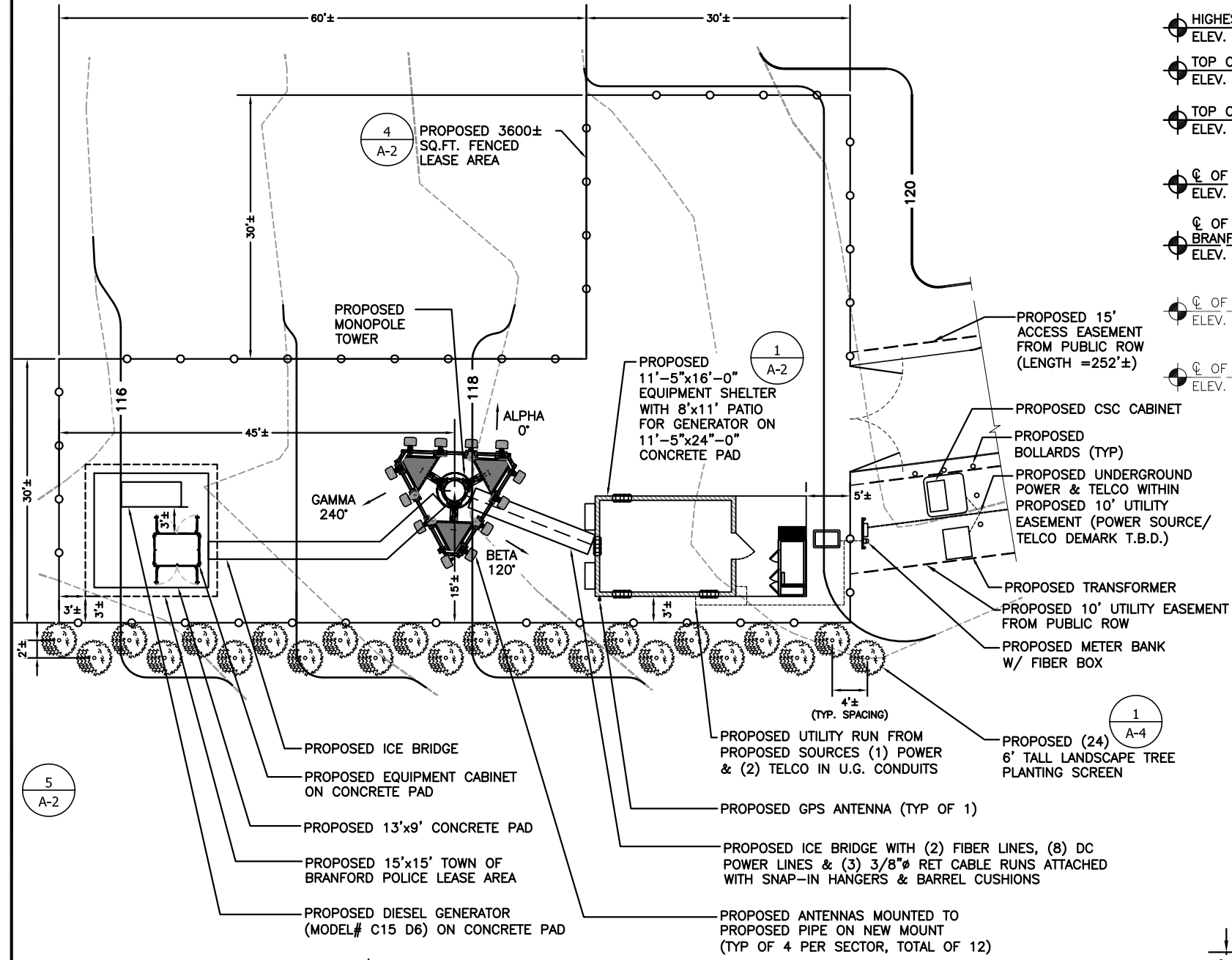
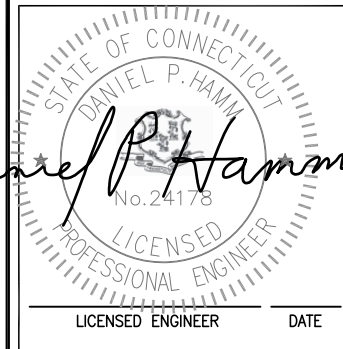
DUAL BEACON LIGHT DETAIL
SCALE: N.T.S.



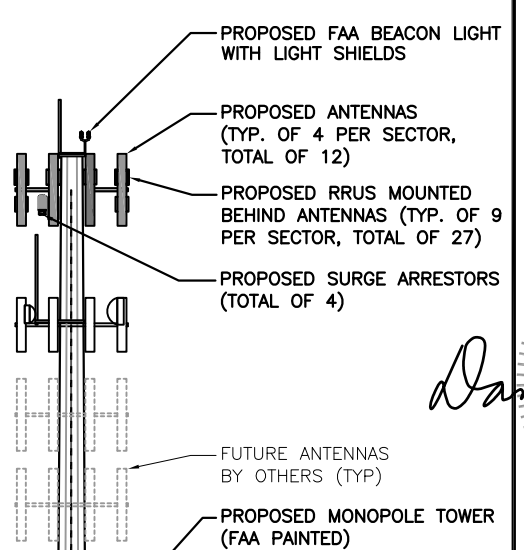
TOWERCO 2013 LLC
5000 VALLEYSIDE DRIVE
CARY, NC 27519



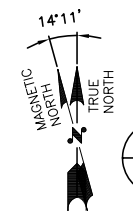
1400 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5586



- HIGHEST APPURTENANCE
ELEV. = 140'-0" A.G.L
- TOP OF PROPOSED MONOPOLE
ELEV. = 134'-0" A.G.L
- TOP OF PROPOSED ANTENNAS
ELEV. = 134'-0" A.G.L
- CL OF PROPOSED ANTENNAS
ELEV. = 130'-0" A.G.L
- CL OF PROPOSED TOWN OF BRANFORD POLICE ANTENNAS
ELEV. = 115'-0"± A.G.L.
- CL OF FUTURE ANTENNAS BY OTHERS
ELEV. = 105'-0" A.G.L
- CL OF FUTURE ANTENNAS BY OTHERS
ELEV. = 95'-0" A.G.L



- PROPOSED 15' ACCESS EASEMENT FROM PUBLIC ROW (LENGTH = 252'±)
- PROPOSED CSC CABINET
- PROPOSED BOLLARDS (TYP)
- PROPOSED UNDERGROUND POWER & TELCO WITHIN PROPOSED 10' UTILITY EASEMENT (POWER SOURCE/ TELCO DEMARK T.B.D.)
- PROPOSED TRANSFORMER
- PROPOSED 10' UTILITY EASEMENT FROM PUBLIC ROW
- PROPOSED METER BANK W/ FIBER BOX
- PROPOSED UTILITY RUN FROM PROPOSED SOURCES (1) POWER & (2) TELCO IN U.G. CONDUITS
- PROPOSED GPS ANTENNA (TYP OF 1)
- PROPOSED ICE BRIDGE WITH (2) FIBER LINES, (8) DC POWER LINES & (3) 3/8" RET CABLE RUNS ATTACHED WITH SNAP-IN HANGERS & BARREL CUSHIONS
- PROPOSED ANTENNAS MOUNTED TO PROPOSED PIPE ON NEW MOUNT (TYP OF 4 PER SECTOR, TOTAL OF 12)
- PROPOSED CHAIN LINK FENCE (TYP)
- PROPOSED TOWN OF BRANFORD POLICE DIESEL GENERATOR ON CONCRETE PAD
- PROPOSED EQUIPMENT CABINET ON CONCRETE PAD
- PROPOSED GPS ANTENNA (TYP OF 1)
- PROPOSED 11'-5" x 16'-0" EQUIPMENT SHELTER WITH 8' x 11' PATIO FOR GENERATOR ON 11'-5" x 24'-0" CONCRETE PAD
- PROPOSED (8) DC POWER LINES TO BE ROUTED IN PROPOSED 3" FLEX CONDUIT, (3) 3/8" RET & (2) FIBER LINES TO BE ROUTED ALONG SIDE THE 3" FLEX CONDUIT INSIDE MONOPOLE



1 COMPOUND PLAN
A-1 SCALE: 1/8" = 1'-0"
0 4'-0" 8'-0" 16'-0" 24'-0"

2 PROPOSED SOUTH ELEVATION
A-1 SCALE: 3/32" = 1'-0"
0 5'-4" 10'-8" 21'-4" 32'-0"

| REVISIONS | | |
|-----------|----------|----------------------|
| REV. # | DATE | DESCRIPTION |
| 5 | 05/06/15 | REVISED PER COMMENTS |
| 4 | 03/30/15 | REVISED PER COMMENTS |
| 3 | 10/24/14 | REVISED PER COMMENTS |
| 2 | 10/15/14 | REVISED PER COMMENTS |
| 1 | 10/09/14 | ISSUED FOR REVIEW |
| 0 | 10/02/14 | ISSUED FOR REVIEW |

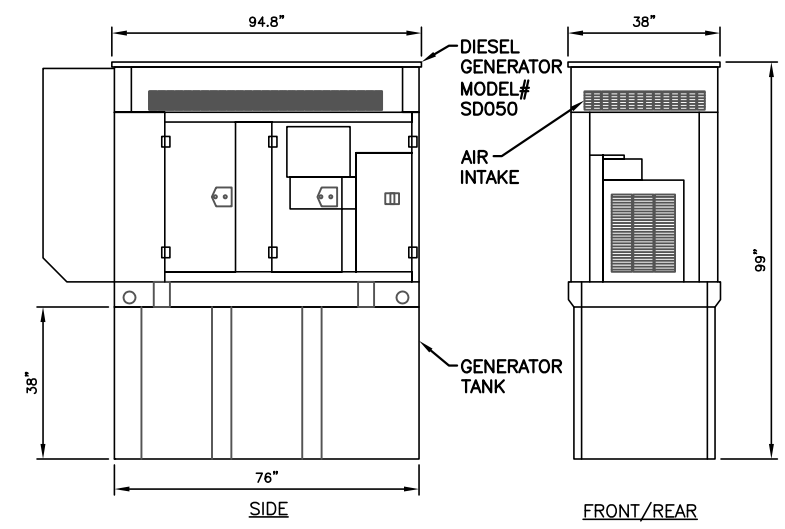
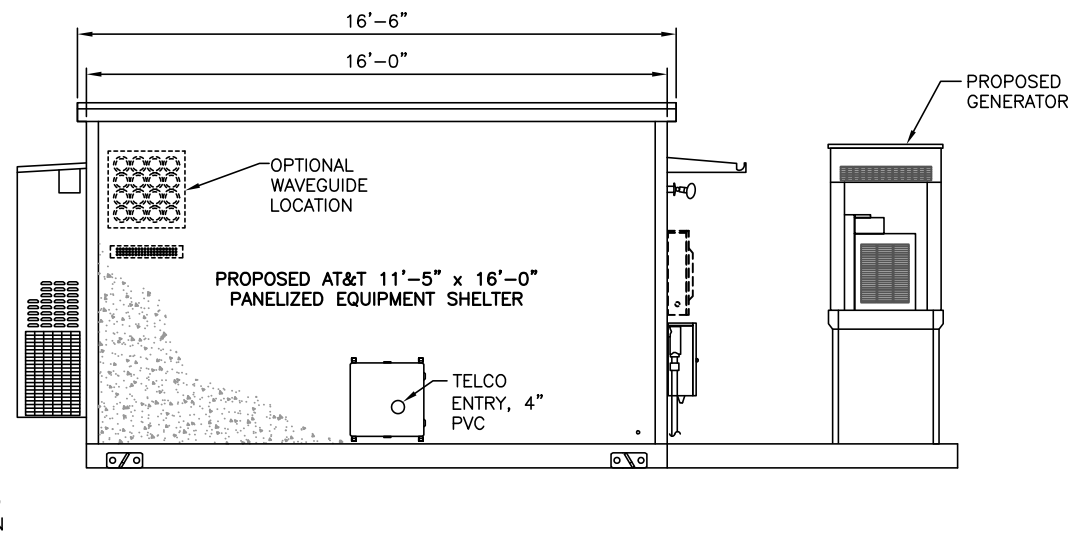
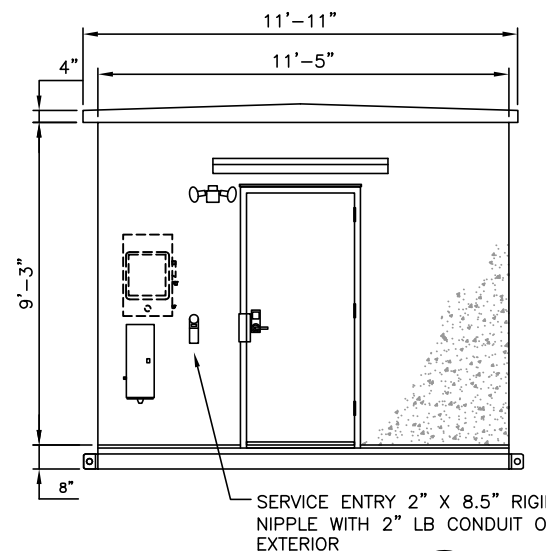
| | | |
|-----------------------|--|--------------------|
| PROJECT NO. CT0016 | DESIGNED BY: DJR DRAWN BY: KMS CHECKED BY: DPH | SCALE: AS SHOWN |
|-----------------------|--|--------------------|

SITE NAME:
**CT0016
BRANFORD -
ROSE HILL ROAD**

SITE ADDRESS:
45 ROSE HILL ROAD
BRANFORD, CT 06405

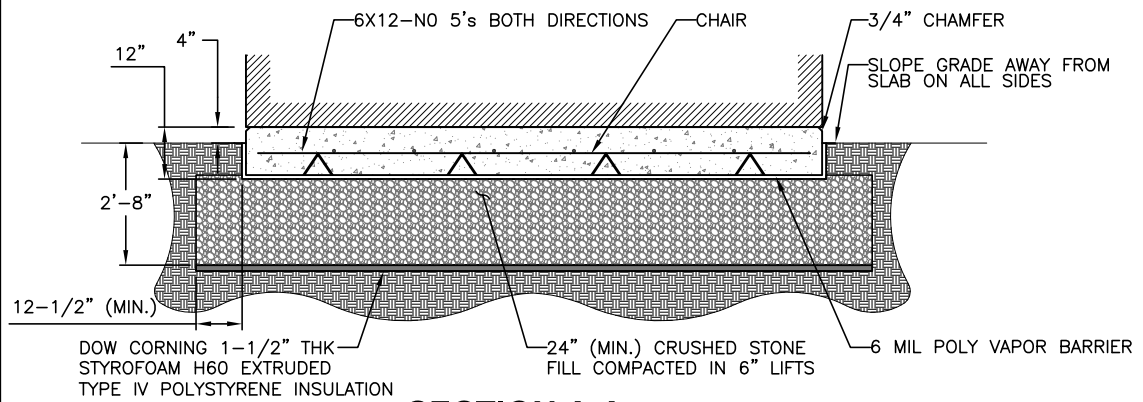
SHEET TITLE:
**COMPOUND PLAN AND
ELEVATION**

SHEET NO:
A-1



1 TYPICAL SHELTER DETAILS
A-2 SCALE: N.T.S.

2 GENERATOR DETAIL
A-2 SCALE: N.T.S.



3 SHELTER FOUNDATION DETAIL
A-2 SCALE: 1/2" = 1'-0"

FENCE NOTES

- ALTERNATE FOOTINGS FOR ALL FENCE POSTS IN LEDGE: IF LEDGE IS ENCOUNTERED AT GRADE, OR AT A DEPTH SHALLOWER THAN 3'-6", CORE DRILL AN 8" DIA HOLE 18" INTO THE LEDGE. CENTER POST IN THE HOLE AND FILL WITH CONCRETE OR GROUT. IF LEDGE IS BELOW FINISH GRADE, COAT BACKFILLED SECTION OF POST WITH COAL TAR, AND BACKFILL WITH WELL-DRAINING GRAVEL.
- ATTACH EACH GATE WITH 1-1/2" PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON OR FORGING, PIN-TYPE HINGES. ASSEMBLIES SHALL ALLOW FOR 180° OF GATE TRAVEL.

NOTE:
ALL STEEL IS GALVANIZED. ALL BOLTS TO BE FURNISHED W/ WASHERS AND NUTS.

ANDREW ICE BRIDGE SUPPORT P/N WB-LB12-3 AND 12" CHANNEL P/N MT-F501 OR EQUAL

ANDREW TRAPEZE KIT FOR 2 RUNGS P/N WB-TD12 OR EQUAL

3" STD. (3.5" O.D.) PIPE COLUMN, ANDREW P/N MF-273 OR EQUAL (10' O.C.)

ANCHORED INTO CONCRETE EQUIPMENT PAD/TOWER/MONOPOLE FOUNDATION W/ 5/8" HILTI-KWIK BOLTS 4 TOTAL (6" MIN. EMBEDMENT)

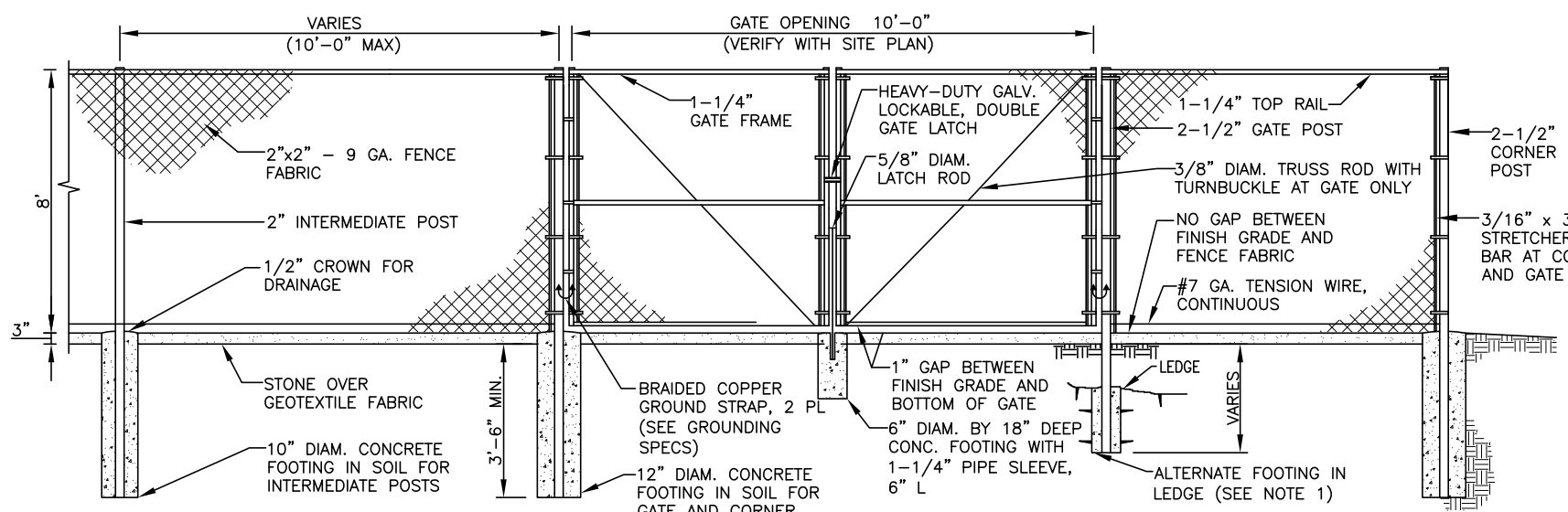
12"x12"x1/2" PLATE (TYP.)

EXISTING CONCRETE PAD

5/8" BOLT, NUT, WASHER & LOCK WASHER
12"x12"x1/2" PLATE (TYP.)

EXISTING GRATING

5 ICE BRIDGE DETAIL
A-2 SCALE: N.T.S.



4 CHAIN LINK DETAIL
A-2 SCALE: N.T.S.

TowerCo

TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NC 27519

Hudson Design Group

1400 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845

TEL: (978) 557-5553
FAX: (978) 336-5586

STATE OF CONNECTICUT
DANIEL P. HAMM
No. 24178
LICENSED PROFESSIONAL ENGINEER

LICENSED ENGINEER DATE

REVISIONS

| REV. # | DATE | DESCRIPTION |
|--------|----------|----------------------|
| 5 | 05/06/15 | REVISED PER COMMENTS |
| 4 | 03/30/15 | REVISED PER COMMENTS |
| 3 | 10/24/14 | REVISED PER COMMENTS |
| 2 | 10/15/14 | REVISED PER COMMENTS |
| 1 | 10/09/14 | ISSUED FOR REVIEW |
| 0 | 10/02/14 | ISSUED FOR REVIEW |

PROJECT NO. CT0016
DESIGNED BY: DJR
DRAWN BY: KMS
CHECKED BY: DPH

SCALE: AS SHOWN

SITE NAME:
**CT0016
BRANFORD -
ROSE HILL ROAD**

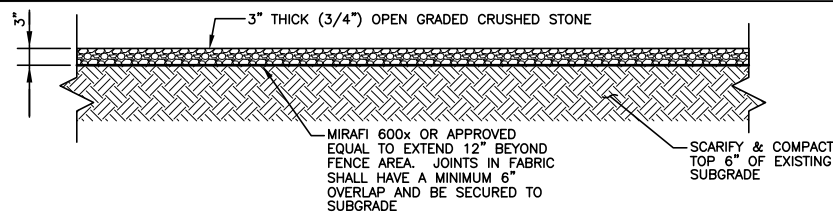
SITE ADDRESS:
45 ROSE HILL ROAD
BRANFORD, CT 06405

SHEET TITLE:
SHELTER DETAILS

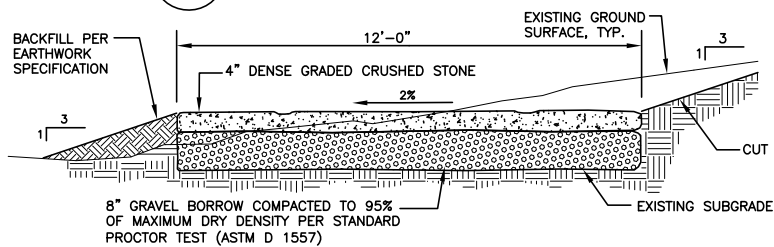
SHEET NO:
A-2

Daniel P. Hamm

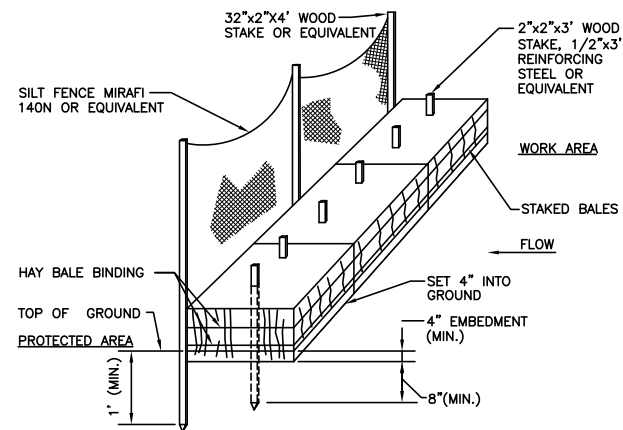
6'-8" MIN. IN AREAS SUBJECT TO PEDESTRIAN TRAFFIC



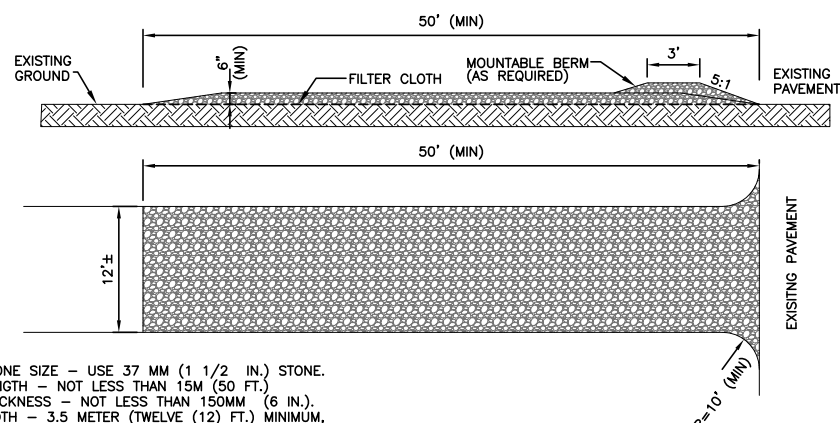
1 COMPOUND PAVING DETAIL
A-3 SCALE: N.T.S.



2 GRAVEL DRIVE DETAIL
A-3 SCALE: N.T.S.



3 HAYBALE/SILT FENCE DETAIL
A-3 SCALE: N.T.S.



- NOTES:
- STONE SIZE - USE 37 MM (1 1/2 IN.) STONE.
 - LENGTH - NOT LESS THAN 15M (50 FT.)
 - THICKNESS - NOT LESS THAN 150MM (6 IN.)
 - WIDTH - 3.5 METER (TWELVE (12) FT.) MINIMUM.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

4 STABILIZED CONSTRUCTION ENTRANCE DETAIL
A-3 SCALE: N.T.S.

EROSION CONTROL

CONSTRUCTION SEQUENCE

- 1) NOTIFY THE TOWN INLAND WETLANDS AGENT AT LEAST ONE WEEK PRIOR TO THE PRE-CONSTRUCTION MEETING.
- 2) COMPLETE A "CALL BEFORE YOU DIG" PRIOR TO ANY ON SITE ACTIVITY. RECALL EVERY 30 DAYS.
- 3) CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- 4) INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- 5) WOOD CHIPS GENERATED FROM CLEARING ACTIVITIES MAY BE USED AS A TEMPORARY STABILIZATION MEASURE IN ADDITION TO SILT FENCING & HAY BALES.
- 6) INSTALL HAY BALES TO "BACK UP" SILTATION FENCE ALONG ALL DOWNGRADIENT WETLANDS BOUNDARIES.
- 7) ESTABLISH ROADWAY CENTERLINE WITH GRADE STAKES AND OFF SETS.
- 8) STOCKPILE EXCAVATED SOILS A MINIMUM OF 75 FEET FROM ANY WETLAND AREA.
- 9) CONSTRUCT CLOSED DRAINAGE SYSTEM. PROTECT CULVERT INLETS WITH SEDIMENTATION BARRIERS.
- 10) ROUGH GRADE DITCH STARTING FROM THE DOWNGRADIENT LOCATION
- 11) INSTALL STONE LINING AND LEVEL SPREADERS AT CULVERT OUTLETS
- 12) STABILIZE GRADED SLOPES.
- 13) CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- 14) EXCAVATE FOR ANY SUBSURFACE UTILITIES.
- 15) STOCKPILE EXCAVATED SOILS A MINIMUM OF 75 FEET FROM ANY WETLAND AREA.
- 16) ESTABLISH SEDIMENT AND EROSION CONTROLS AROUND STOCKPILE SOILS.
- 17) INSTALL UTILITY SERVICES
- 18) INSTALL STORM DRAINAGE STARTING AT THE MOST DOWNGRADIENT LOCATION.
- 19) INSTALL ALL RIP RAP AT OUTLETS FOR STORM DRAINAGE.
- 20) INSTALL HAY BALE PROTECTION TO STORM DRAINAGE INLETS.
- 21) INSTALL ROAD
- 22) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
- 23) DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- 24) BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
- 25) FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
- 26) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 27) NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGRADED AREAS.
- 28) AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

IMPACT OF STORMWATER DURING CONSTRUCTION ACTIVITY

ALL SEDIMENT CONTROLS, INCLUDING SILTATION FENCES AND HAY BALES MUST BE INSPECTED WEEKLY OR IMMEDIATELY AFTER A STORMWATER RUNOFF GENERATING EVENT. ALL SEDIMENT CONTROLS MUST BE MAINTAINED IN AN EFFECTIVE CONDITION.

IN THE EVENT THAT STORMWATER IS FLOWING IN THE EXISTING/PROPOSED DRAINAGE SWALE, THE FOLLOWING MUST BE NOTED:

- 1) BY INSTALLING THE STORM DRAINAGE STARTING AT THE MOST DOWNGRADIENT LOCATION, AND BY CONSTRUCTION OF THE DITCH STARTING AT THE MOST DOWNGRADIENT LOCATION, STORMWATER FLOW WILL NOT BE IMPOUNDED DURING THE CONSTRUCTION ACTIVITY.
- 2) ADDITIONAL MEASURES MUST BE TAKEN DURING TIMES OF RAIN OR FLOW. THESE INCLUDE THE CESSATION OF ALL CONSTRUCTION ACTIVITY IN THE DRAINAGE SWALES AT TIMES OF "HEAVY RAIN" OR "SIGNIFICANT FLOW" WHICH HAVE THE POTENTIAL TO CAUSE SOIL SCOURING. IN THE ABSENCE OF AN ON SITE AGREEMENT WITH THE TOWN INLAND WETLANDS AGENT.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

- 1) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- 2) THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- 3) WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- 4) FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- 5) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- 6) FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- 7) MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SILT FENCE

- 1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 2) IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3) SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 4) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

EROSION CONTROL MEASURES:

THE CONTRACTOR (TO BE NAMED PRIOR TO ANY WORK BEING PERFORMED) IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

- 1) DISTURBED AREAS SHALL BE KEPT TO THE MINIMUM AREA NECESSARY TO CONSTRUCT THE ROADWAYS AND ASSOCIATED DRAINAGE FACILITIES.
- 2) HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 3) BALED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 4) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 5) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN NON RESTRICTED WETLAND AREAS ON PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 6) ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. SLOPES 2:1 OR GRATED TO BE STABILISED WITH TURF REINFORCEMENT MAT TYPE P300 NORTH AMERICAN GREEN (1-800-772-2040), OR ENGINEER APPROVED EQUAL.
- 7) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

LIMESTONE: 75-100 LBS./1,000 SQUARE FEET.
FERTILIZER: RATE RECOMMENDED BY MANUFACTURER.
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE UNLESS EROSION CONTROL MATTING IS USED.

| SEED MIX (SLOPES LESS THAN 4:1) | LBS./ACRE |
|---------------------------------|-----------|
| CREeping RED FESCUE | 20 |
| TALL FESCUE | 20 |
| RED TOP | 2 |
| | 42 |

| SLOPE MIX (SLOPES GREATER TAN 4:1) | LBS./ACRE |
|------------------------------------|-----------|
| CREeping RED FESCUE | 20 |
| TALL FESCUE | 20 |
| BIRDSFOOT TREEFOIL | 8 |
| | 48 |

- 8) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 9) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 10) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
- 11) ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 12) ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 13) NO DISCHARGE SHALL BE DIRECTED TOWARDS ANY PROPOSED DITCHES, SWALES, OR PONDS UNTIL THEY HAVE BEEN PROPERLY STABILIZED.

CONSTRUCTION SPECIFICATIONS - STRAW OR HAY BALES

- 1) BALES SHALL BE PLACED IN A ROW WITH THE ENDS TIGHTLY ADJOINING.
- 2) EACH BALE SHALL BE EMBEDDED IN THE GROUND A MINIMUM OF 4 INCHES.
- 3) BALES SHALL BE ANCHORED IN PLACE BY AT LEAST TWO STAKES DRIVEN THROUGH THE BALE. THE STAKES SHALL BE DRIVEN AT LEAST 18 INCHES INTO THE GROUND.
- 4) BARRIERS SHALL BE INSPECTED AFTER EVERY RAINFALL AND PROMPTLY REPAIRED FOR REPLACED AS NECESSARY.
- 5) BALES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED OF PROPERLY.

MAINTENANCE - STRAW OR HAY BALES

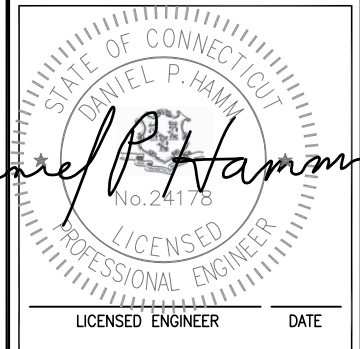
- 1) STRAW OR HAY BALES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- 2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, UNDERCUTTING BENEATH THE BALES, AND FLOW AROUND THE END OF THE BALES.
- 3) NECESSARY REPAIRS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
- 4) SEDIMENT DEPOSITS SHOULD BE CHECKED AFTER EACH RAINFALL. THE DEPOSITS SHOULD BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE TABLE.
- 5) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.



TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NC 27519



1400 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5586



Daniel P. Hamm

| REVISIONS | | |
|-----------|----------|----------------------|
| REV. # | DATE | DESCRIPTION |
| 5 | 05/06/15 | REVISED PER COMMENTS |
| 4 | 03/30/15 | REVISED PER COMMENTS |
| 3 | 10/24/14 | REVISED PER COMMENTS |
| 2 | 10/15/14 | REVISED PER COMMENTS |
| 1 | 10/09/14 | ISSUED FOR REVIEW |
| 0 | 10/02/14 | ISSUED FOR REVIEW |

| PROJECT NO. | DESIGNED BY: | SCALE: |
|-------------|-----------------|----------|
| CT0016 | DJR | AS SHOWN |
| | DRAWN BY: KMS | |
| | CHECKED BY: DPH | |

SITE NAME:
**CT0016
BRANFORD -
ROSE HILL ROAD**

SITE ADDRESS:
45 ROSE HILL ROAD
BRANFORD, CT 06405

SHEET TITLE:
**EROSION CONTROL
NOTES AND DETAILS**

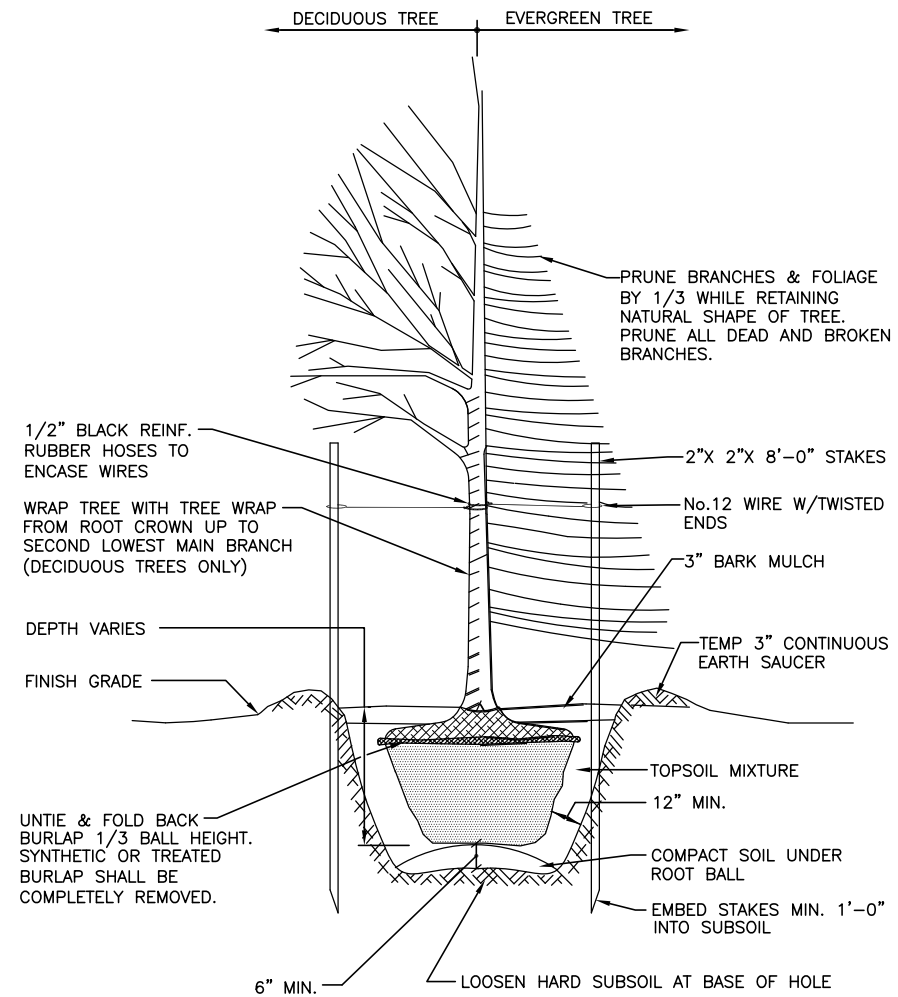
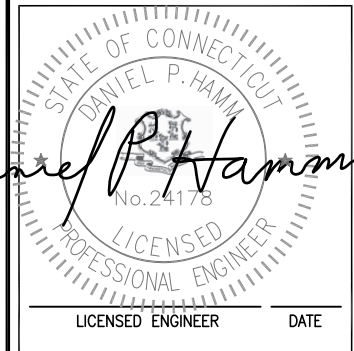
SHEET NO:
A-3



TOWERCO 2013 LLC
5000 VALLEYSTONE DRIVE
CARY, NC 27519



1400 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5586



NOTES:

1. LANDSCAPE TREES SHALL BE A MINIMUM OF 6'-0" IN HEIGHT WHEN PLANTED.
2. SPECIES PROPOSED THUJA OCCIDENTALIS PYRAMIDAL (PYRAMIDAL ARBORVITAE)

PLANTING DETAIL

SCALE: N.T.S.



REVISIONS

| REV. # | DATE | DESCRIPTION |
|--------|----------|----------------------|
| 5 | 05/06/15 | REVISED PER COMMENTS |
| 4 | 03/30/15 | REVISED PER COMMENTS |
| 3 | 10/24/14 | REVISED PER COMMENTS |
| 2 | 10/15/14 | REVISED PER COMMENTS |
| 1 | 10/09/14 | ISSUED FOR REVIEW |
| 0 | 10/02/14 | ISSUED FOR REVIEW |

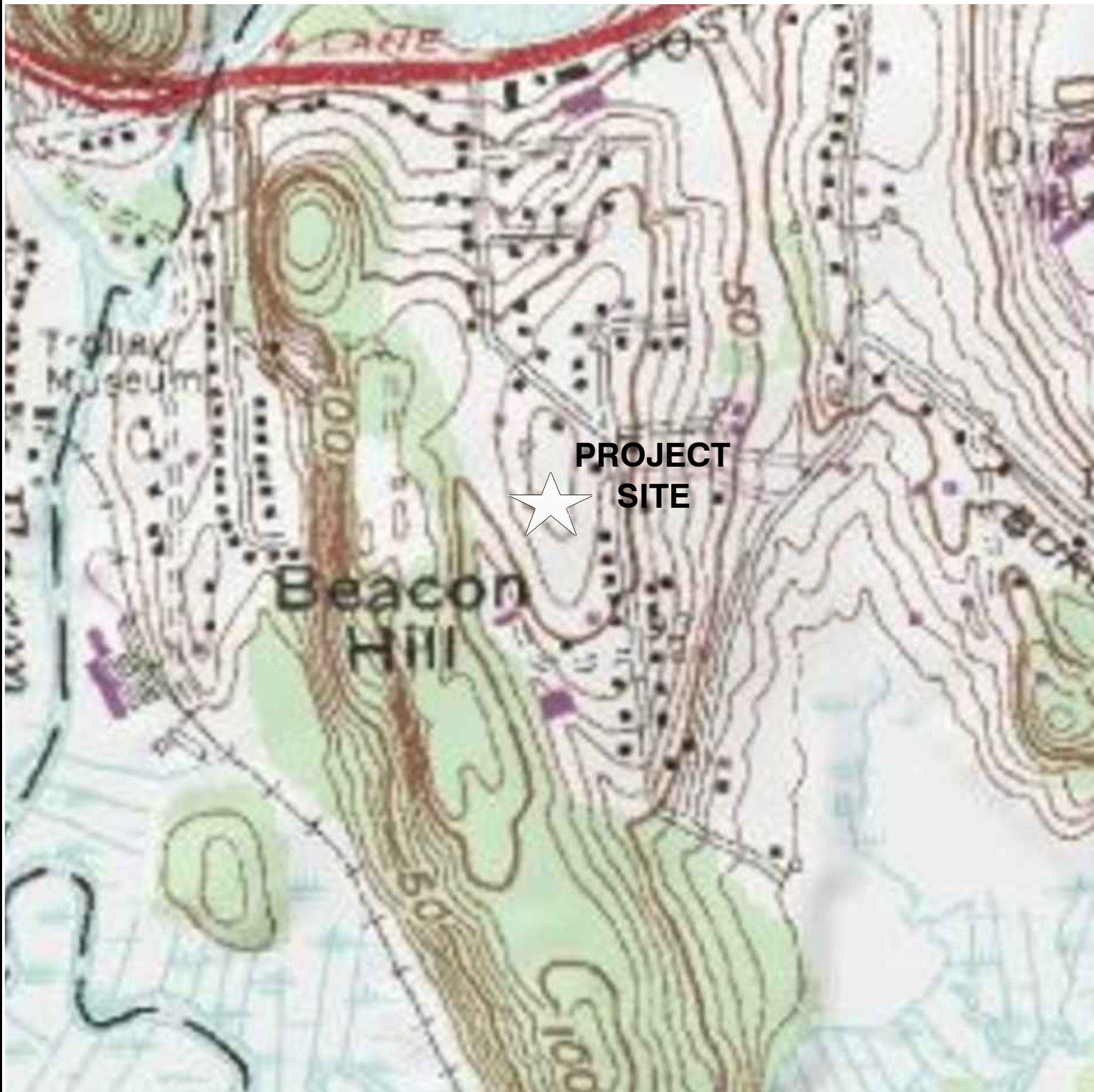
| | | |
|-----------------------|--|--------------------|
| PROJECT NO. CT0016 | DESIGNED BY: DJR DRAWN BY: KMS CHECKED BY: DPH | SCALE: AS SHOWN |
|-----------------------|--|--------------------|

SITE NAME:
**CT0016
BRANFORD -
ROSE HILL ROAD**

SITE ADDRESS:
45 ROSE HILL ROAD
BRANFORD, CT 06405

SHEET TITLE:
TREE PLANTING DETAIL

SHEET NO:
A-4



SOURCE: TERRAIN NAVIGATOR

SCALE: 1"=500'-0"



APPROX.
TRUE NORTH



SITE NO: CT0016
SITE NAME: BRANFORD ROSE HILL ROAD

ADDRESS: 45 ROSE HILL ROAD
BRANFORD, CT 06405



TOWERCO 2013 LLC
5000 VALLESTONE DRIVE
CARY, NC 27519



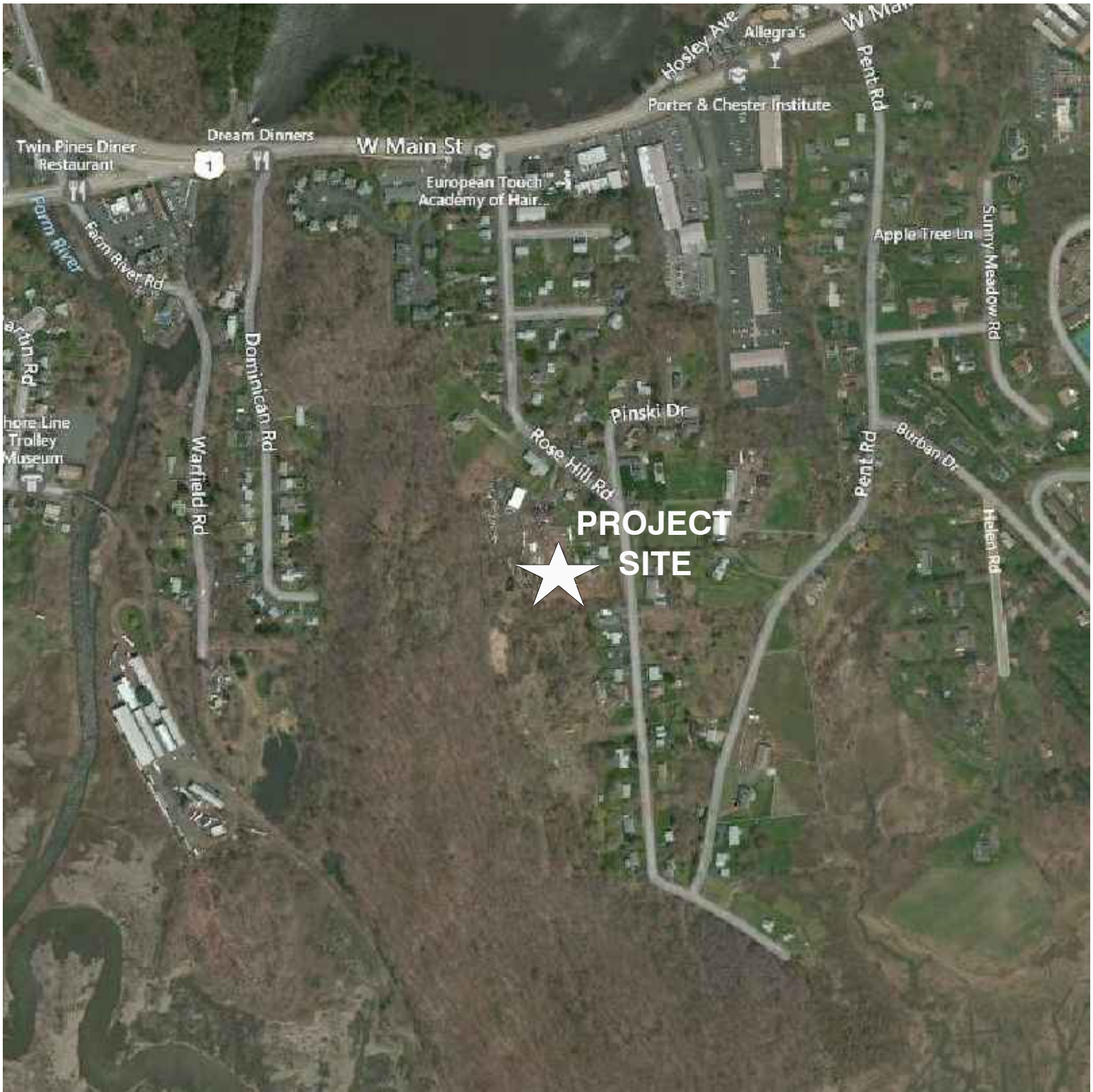
1400 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5555
FAX: (978) 336-5566

TOPOGRAPHY
MAP

DRAWN BY:
KMS

DATE:
10/01/2014

SCALE:
1"=500'



SOURCE: BING MAPS

SCALE: 1"=500'-0"



APPROX.
TRUE NORTH



SITE NO: CT0016
SITE NAME: BRANFORD ROSE HILL ROAD
ADDRESS: 45 ROSE HILL ROAD
 BRANFORD, CT 06405



TOWERCO 2013 LLC
 5000 VALLESTONE DRIVE
 CARY, NC 27519



1400 OSGOOD STREET
 BUILDING 20 NORTH, SUITE 3090
 N. ANDOVER, MA 01845
 TEL: (978) 557-5553
 FAX: (978) 336-5566

AERIAL PHOTO

DATE:
10/01/2014

DRAWN BY:
KMS

SCALE:
1"=500'



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76193

Aeronautical Study No.
 2013-ANE-2363-OE

Issued Date: 06/05/2014

Amanda V. Fry
 TowerCo 2013 LLC
 5000 Valleystone Drive
 Suite 200
 Cary, NC 27519

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole CT0016 Rose Hill
 Location: Branford, CT
 Latitude: 41-16-22.96N NAD 83
 Longitude: 72-51-22.57W
 Heights: 118 feet site elevation (SE)
 140 feet above ground level (AGL)
 258 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is marked/lighted in accordance with FAA Advisory circular 70/7460-1 K Change 2, Obstruction Marking and Lighting, paint/red lights - Chapters 3(Marked),4,5(Red),&12.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Any height exceeding 140 feet above ground level (258 feet above mean sea level), will result in a substantial adverse effect and would warrant a Determination of Hazard to Air Navigation.

This determination expires on 12/05/2015 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before July 05, 2014. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager, Airspace Regulations & ATC Procedures Group, Federal Aviation Administration, 800 Independence Ave, SW, Room 423, Washington, DC 20591.

This determination becomes final on July 15, 2014 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Airspace Regulations & ATC Procedures Group via telephone -- 202-267-8783 - or facsimile 202-267-9328.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact Cindy Whitten, at (816) 329-2528. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2013-ANE-2363-OE.

Signature Control No: 203767476-220079795

(DNH)

John Page

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Frequency Data

Map(s)

cc: FCC

Additional information for ASN 2013-ANE-2363-OE

Proposal: To construct a(n) Monopole to a height of 140 feet above ground level, 258 feet above mean sea level.

Location: The structure will be located 1.49 nautical miles east of HVN Airport reference point.

Part 77 Obstruction Standard(s) Exceeded:

Section 77.17 (a) (5) a height that affects an Airport Surface by penetrating

Section 77.19 (a) Horizontal Surface by 96 feet as applied to HVN.

Preliminary FAA study indicates that the above mentioned structure would:

have no effect on any existing or proposed arrival, departure, or en route instrument flight rules (IFR) operations or procedures.

have no effect on any existing or proposed arrival, departure, or en route instrument/visual flight rules (IFR/VFR) minimum flight altitudes.

not exceed traffic pattern airspace

have no physical or electromagnetic effect on the operation of air navigation and communications facilities.

have no effect on any airspace and routes used by the military.

No objections were received from the public comment period.

Frequency Data for ASN 2013-ANE-2363-OE

| LOW FREQUENCY | HIGH FREQUENCY | FREQUENCY UNIT | ERP | ERP UNIT |
|--------------------------|---------------------------|---------------------------|------------|---------------------|
| 698 | 806 | MHz | 1000 | W |
| 806 | 824 | MHz | 500 | W |
| 824 | 849 | MHz | 500 | W |
| 851 | 866 | MHz | 500 | W |
| 869 | 894 | MHz | 500 | W |
| 896 | 901 | MHz | 500 | W |
| 901 | 902 | MHz | 7 | W |
| 930 | 931 | MHz | 3500 | W |
| 931 | 932 | MHz | 3500 | W |
| 932 | 932.5 | MHz | 17 | dBW |
| 935 | 940 | MHz | 1000 | W |
| 940 | 941 | MHz | 3500 | W |
| 1850 | 1910 | MHz | 1640 | W |
| 1930 | 1990 | MHz | 1640 | W |
| 2305 | 2310 | MHz | 2000 | W |
| 2345 | 2360 | MHz | 2000 | W |

