

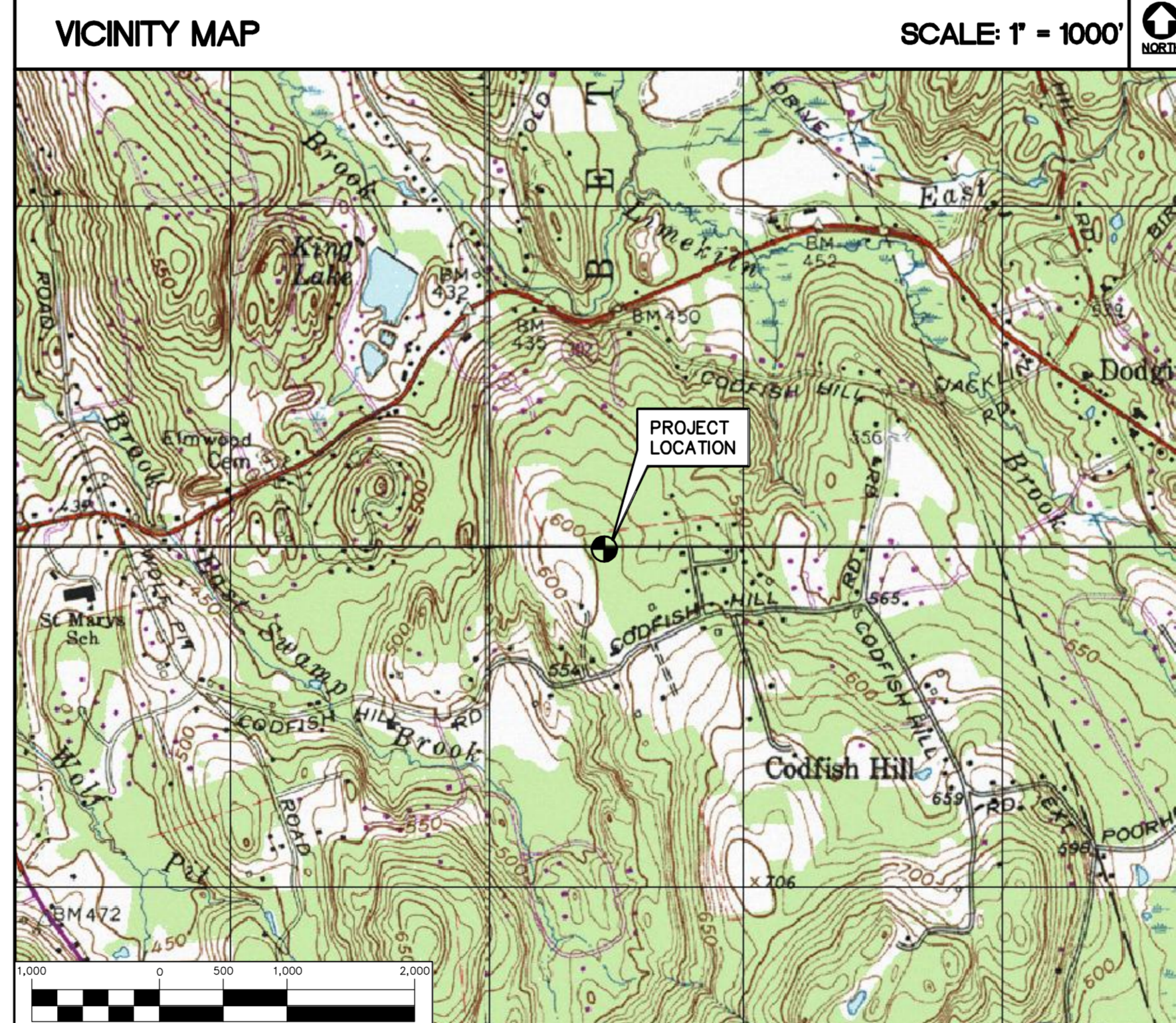
**NORTH ATLANTIC  
TOWERS**

**WIRELESS COMMUNICATIONS FACILITY  
CT1155C  
BETHEL (SITE 1)  
62 + 64 CODFISH HILL ROAD  
BETHEL, CT**

**SITE INFORMATION**

THE SCOPE OF WORK SHALL INCLUDE:

1. THE CONSTRUCTION OF A 75'X75' FENCED WIRELESS COMMUNICATIONS COMPOUND WITHIN A 100'X100' LEASE AREA.
2. A 150'-0"± STEEL MONOPOLE TOWER IS PROPOSED AND WILL BE DESIGNED TO ACCOMMODATE A MINIMUM OF (4) CARRIER ANTENNA ARRAY LOCATIONS.
3. A 1,650'± GRAVEL DRIVEWAY FOR SITE ACCESS OFF OF CODFISH HILL ROAD IS PROPOSED.
4. POWER AND TELCO UTILITIES SHALL BE ROUTED UNDERGROUND FROM EXISTING RESPECTIVE DEMARCS TO THE PROPOSED WIRELESS COMMUNICATIONS SITE. FINAL DEMARC LOCATIONS AND UTILITY ROUTING WILL BE VERIFIED/DETERMINED BY LOCAL UTILITY COMPANIES.
5. FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE D&M PLANS.
6. THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2009 CONNECTICUT SUPPLEMENT.
7. THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
8. THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.



**PROJECT SUMMARY**

**SITE NAME:** CT1155C BETHEL  
**SITE ADDRESS:** 62 & 64 CODFISH HILL ROAD  
**PROPERTY OWNER:** CLAUDIA STONE  
 62 CODFISH HILL ROAD  
 BETHEL, CONNECTICUT  
**LESSEE/TENANT:** NORTH ATLANTIC TOWERS, LLC  
 1001 3RD AVENUE WEST, SUITE 420  
 BRADENTON, FL 34205  
**CONTACT PERSON:** TODD BOWMAN  
 NORTH ATLANTIC TOWERS, L.L.C.  
 1001 3RD AVE WEST, SUITE 420  
 BRADENTON, FL 34205  
**TOWER COORDINATES:** LATITUDE 41°-22'-30.418"  
 LONGITUDE 73°-22'-16.517"  
 GROUND ELEVATION: 595.0'± A.M.S.L.  
 COORDINATES AND GROUND ELEVATION REFERENCED FROM FAA 1-A SURVEY CERTIFICATION AS PREPARED BY MARTINEZ COUCH AND ASSOCIATES LLC, DATED NOVEMBER 14, 2013

**SHEET INDEX**

SHT. NO.	DESCRIPTION	REV. NO.
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DESIGNED BY: HMR	DRAWN BY: HMR																																								
CHK'D BY: DMD																																									
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>ISSUED FOR</th> <th>CHK'D BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>6</td> <td>01/30/15</td> <td>CFC - UPDATED SHEET INDEX</td> <td>DMD</td> <td></td> </tr> <tr> <td>5</td> <td>05/28/14</td> <td>CFC - REVISED</td> <td>HMR</td> <td></td> </tr> <tr> <td>4</td> <td>04/17/14</td> <td>CFC - REVISED TO INCLUDE WETLAND BOUNDARIES</td> <td>DMD</td> <td></td> </tr> <tr> <td>3</td> <td>11/26/13</td> <td>CFC - REVISED</td> <td>DMD</td> <td></td> </tr> <tr> <td>2</td> <td>11/21/13</td> <td>CFC - REVISED</td> <td>DMD</td> <td></td> </tr> <tr> <td>1</td> <td>11/18/13</td> <td>CFC - REVISED</td> <td>HMR</td> <td></td> </tr> <tr> <td>0</td> <td>06/28/13</td> <td>CFC - ISSUED FOR CLIENT REVIEW</td> <td>DMD</td> <td></td> </tr> </tbody> </table>		REV.	DATE	ISSUED FOR	CHK'D BY	DESCRIPTION	6	01/30/15	CFC - UPDATED SHEET INDEX	DMD		5	05/28/14	CFC - REVISED	HMR		4	04/17/14	CFC - REVISED TO INCLUDE WETLAND BOUNDARIES	DMD		3	11/26/13	CFC - REVISED	DMD		2	11/21/13	CFC - REVISED	DMD		1	11/18/13	CFC - REVISED	HMR		0	06/28/13	CFC - ISSUED FOR CLIENT REVIEW	DMD	
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<p><b>NORTH ATLANTIC TOWERS</b>          WIRELESS COMMUNICATIONS FACILITY  <b>SITE NUMBER: CT1155C</b>  <b>SITE NAME: BETHEL (SITE 1)</b>  <b>62 + 64 CODFISH HILL ROAD</b>  <b>BETHEL, CT</b></p>																																									
<p>DATE: 06/27/13          SCALE: AS NOTED          JOB NO. 13116</p>																																									
<p><b>TITLE SHEET</b></p>																																									
<p><b>T-1</b></p>																																									
<p>Sheet No. 1 of 8</p>																																									



WINDAWAY ROAD  
MAP/BLOCK/LOT  
65/57/027  
N/F RAMONA H CLARK  
23 WINDAWAY ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/028  
N/F TATE M RUSSACK, TRUSTEE OF VIRGINIA L. RUSSACK REVOCABLE TRUST  
25 WINDAWAY ROAD, BETHEL, CT 06801  
MAILING ADDRESS:  
104 GREENWOOD AVENUE, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/031  
N/F RICHARD & DORIS E SETTANNI  
31 WINDAWAY ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/032  
N/F JAMES A HAITSCH  
33 WINDAWAY ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/033  
N/F VARTAN & MEGAN ALWORTH KHAZADIAN  
35 WINDAWAY ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
64/57/034  
N/F PETER D & NANCY C OTTERSTROM  
37 WINDAWAY ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
64/57/054B  
N/F CHRISTOPHER OBERHAMMER  
0 DODDINGTOWN ROAD, BETHEL, CT 06801  
MAILING ADDRESS:  
85 ROCKWELL ROAD, BETHEL, CT 06801

CODFISH HILL ROAD  
MAP/BLOCK/LOT  
78/55/28-05  
N/F MARY ANN & ROBERT J SIMONELLI  
23 CODFISH HILL ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/55/028-06  
N/F KENDRA TELHARD  
21 CODFISH HILL ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/114  
N/F MARK E & GILLEAN K REINDERS  
86 CODFISH HILL ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/129  
N/F BRIAN OLSEN & SHARON SMITH  
28 CODFISH HILL ROAD, BETHEL, CT 06801  
MAILING ADDRESS:  
16 COUNTRY WAY, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/116  
N/F LEON KURJAKA  
80 CODFISH HILL ROAD, BETHEL, CT 06801  
MAILING ADDRESS:  
82 CODFISH HILL ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/119  
N/F BTM LIMITED PARTNERSHIP  
74 CODFISH HILL ROAD, BETHEL, CT 06801  
MAILING ADDRESS:  
5 FRANCIS J CLARKE CIRCLE, BETHEL, CT 06801  
98 GREENWOOD AVE, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/121  
N/F BARBARA NEGRI  
70 CODFISH HILL ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/123  
N/F PETER D & DENISE HOWE  
60 CODFISH HILL ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/127  
N/F DAVID G. & MARY F. NORDMANN  
50 CODFISH HILL ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
65/57/129  
N/F BRIAN OLSEN & SHARON SMITH  
28 CODFISH HILL ROAD, BETHEL, CT 06801  
MAILING ADDRESS:  
16 COUNTRY WAY, BETHEL, CT 06801

MAP/BLOCK/LOT  
78/55/028-03  
N/F GREGORY WATERMAN & JENNIFER A. BOYCE  
33 CODFISH HILL ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
78/55/028-04  
N/F YSELA & GREGORY GUION  
25 CODFISH HILL ROAD, BETHEL, CT 06801

SETTLERS ROAD  
MAP/BLOCK/LOT  
77/57/048-10\*  
\*AN OPEN SPACE WITH 1/9 INTEREST

MAP/BLOCK/LOT  
77/57/048-09  
N/F THOMAS S. & ROBIN A. RENNER  
3 SETTLERS ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/048-08  
N/F JOHN F. SCHLIERF  
5 SETTLERS ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/048-07  
N/F THOMAS S. & BARBARA D. NORSWORTHY  
7 SETTLERS ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/048-06  
N/F JOSEPH SCOTT & LISA MARIE PERRY  
9 SETTLERS ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/048-05  
N/F WILLIAM F. & BRIAN F. HAYES, CO-TRUSTEE  
11 SETTLERS ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/048-04  
N/F MICHAEL & ALISON KENNEDY  
13 SETTLERS ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/048-03  
N/F JEFFREY A. & RENEE E. PAGELSON  
8 SETTLERS ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/048-02  
N/F RYAN G. & KELLY P. MARCOUX  
4 SETTLERS ROAD, BETHEL, CT 06801

MAP/BLOCK/LOT  
64/57/057-01  
N/F ANDREW R. & ELEANOR D. MCCLELLAN  
1 SETTLERS ROAD, BETHEL, CT 06801

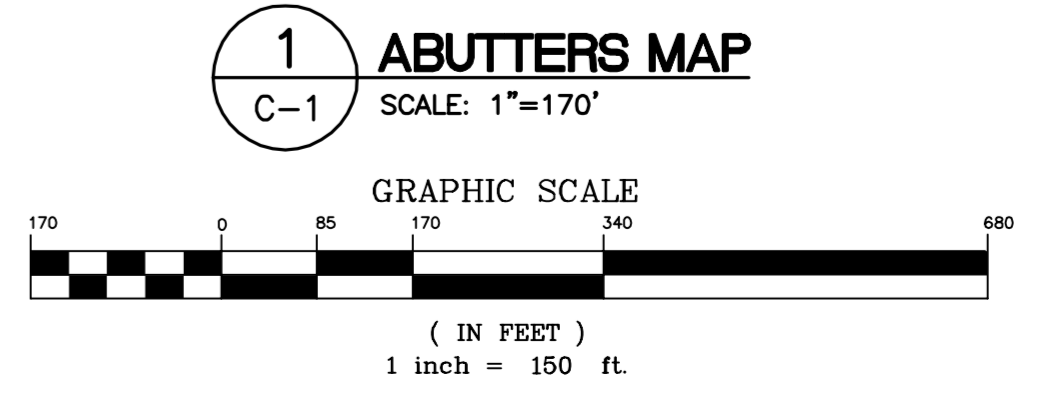
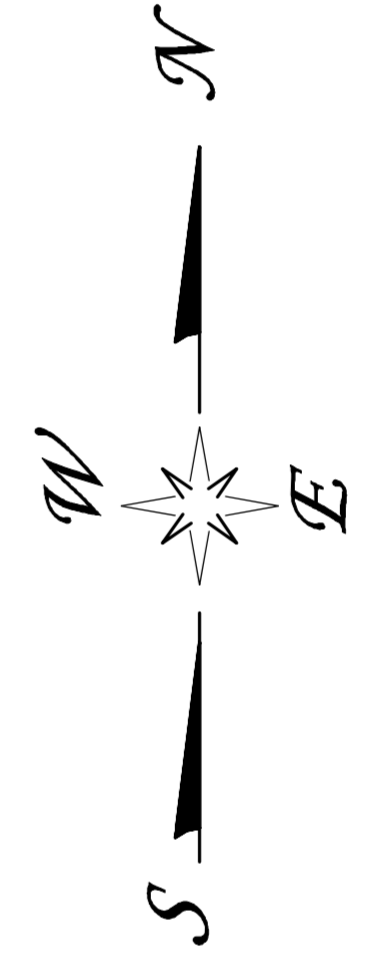
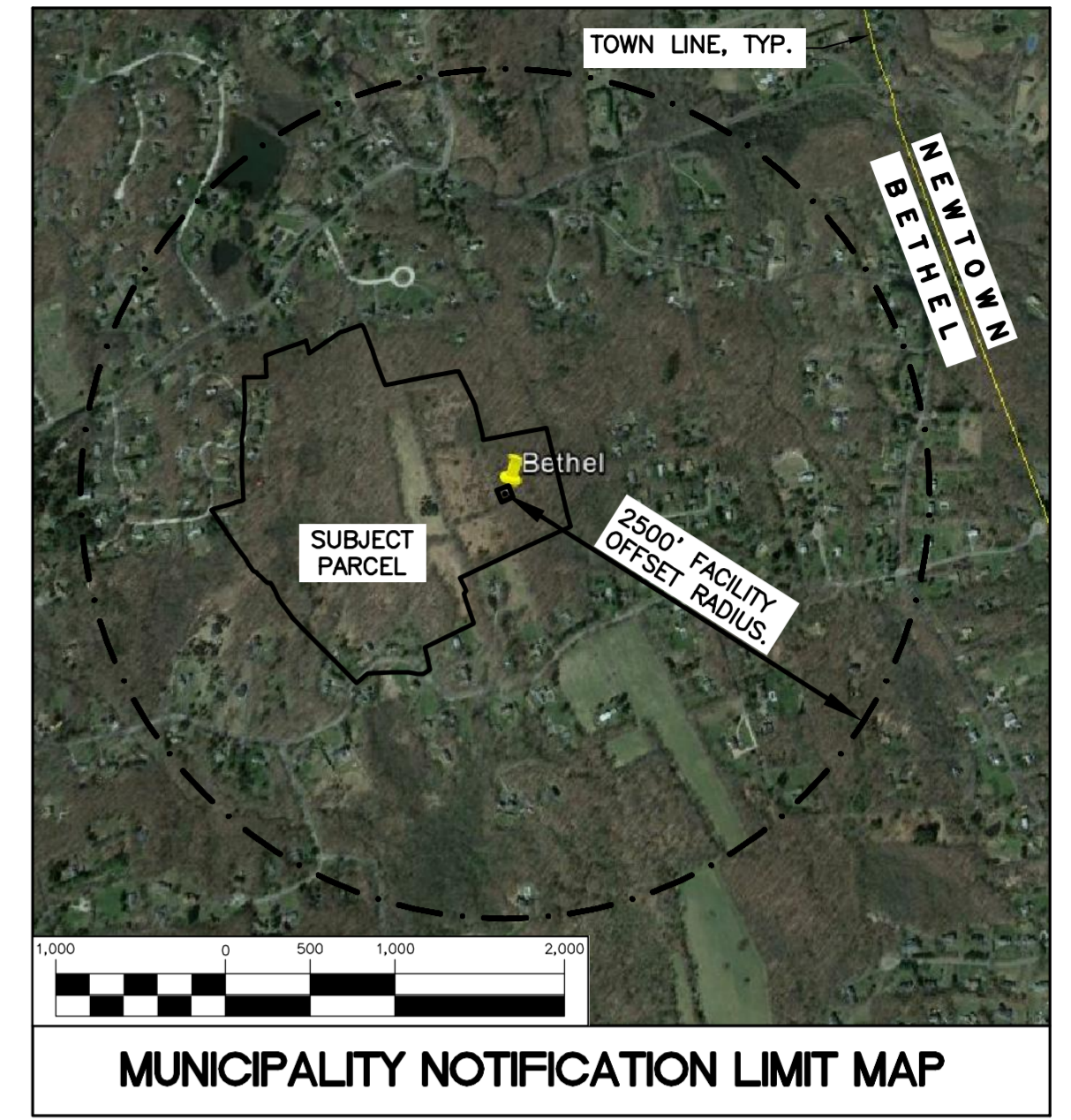
HILLSIDE COURT  
MAP/BLOCK/LOT  
77/57/068\*  
AN OPEN SPACE WITH 1/6 INTEREST

MAP/BLOCK/LOT  
77/57/067  
N/F ROBERT & TRACY L. VANBLARCOM  
5 HILLSIDE COURT, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/069  
N/F KYAW ZWA THANE HTAY PE & SHWE YEE LYNN  
6 HILLSIDE COURT, BETHEL, CT 06801

MAP/BLOCK/LOT  
77/57/065  
N/F DOUGLAS & JOAN F. SUMMERS  
1 HILLSIDE COURT, BETHEL, CT 06801  
MAILING ADDRESS:  
2E-12 ALABANG TOWN CENTER, ALABANG MUNTILUPA CITY, REP. OF THE PHILIPPINES, 01223

MAP/BLOCK/LOT  
77/57/071  
N/F LEJDI VLASH  
2 HILLSIDE COURT, BETHEL, CT 06801



1 ABUTTERS MAP  
C-1 SCALE: 1"=170'

DESIGNED BY: HMR  
DRAWN BY: HMR  
CHK'D BY: DMD

REV.	DATE	DESCRIPTION
0	06/28/13	HMR
1	11/18/13	HMR
2	11/21/13	HMR
3	11/26/13	HMR
4	04/17/14	HMR
5	05/28/14	HMR
6	01/30/15	HMR

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NORTH ATLANTIC TOWERS

WIRELESS COMMUNICATIONS FACILITY  
**SITE NUMBER: CT1155C**  
SITE NAME: BETHEL (SITE 1)  
62 + 64 CODFISH HILL ROAD  
BETHEL, CT

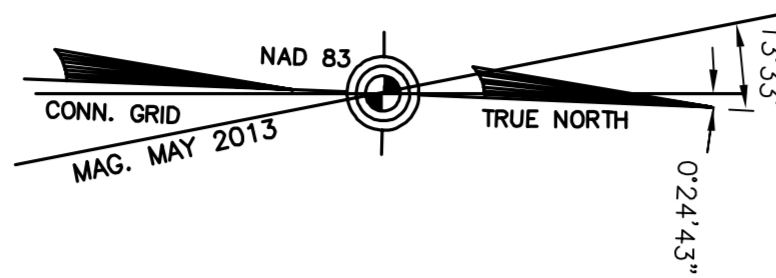
DATE: 06/27/13  
SCALE: AS NOTED  
JOB NO. 13116

ABUTTERS MAP  
**C-1**  
Sheet No. 2 of 8



**MISCELLANEOUS SITE INFORMATION**

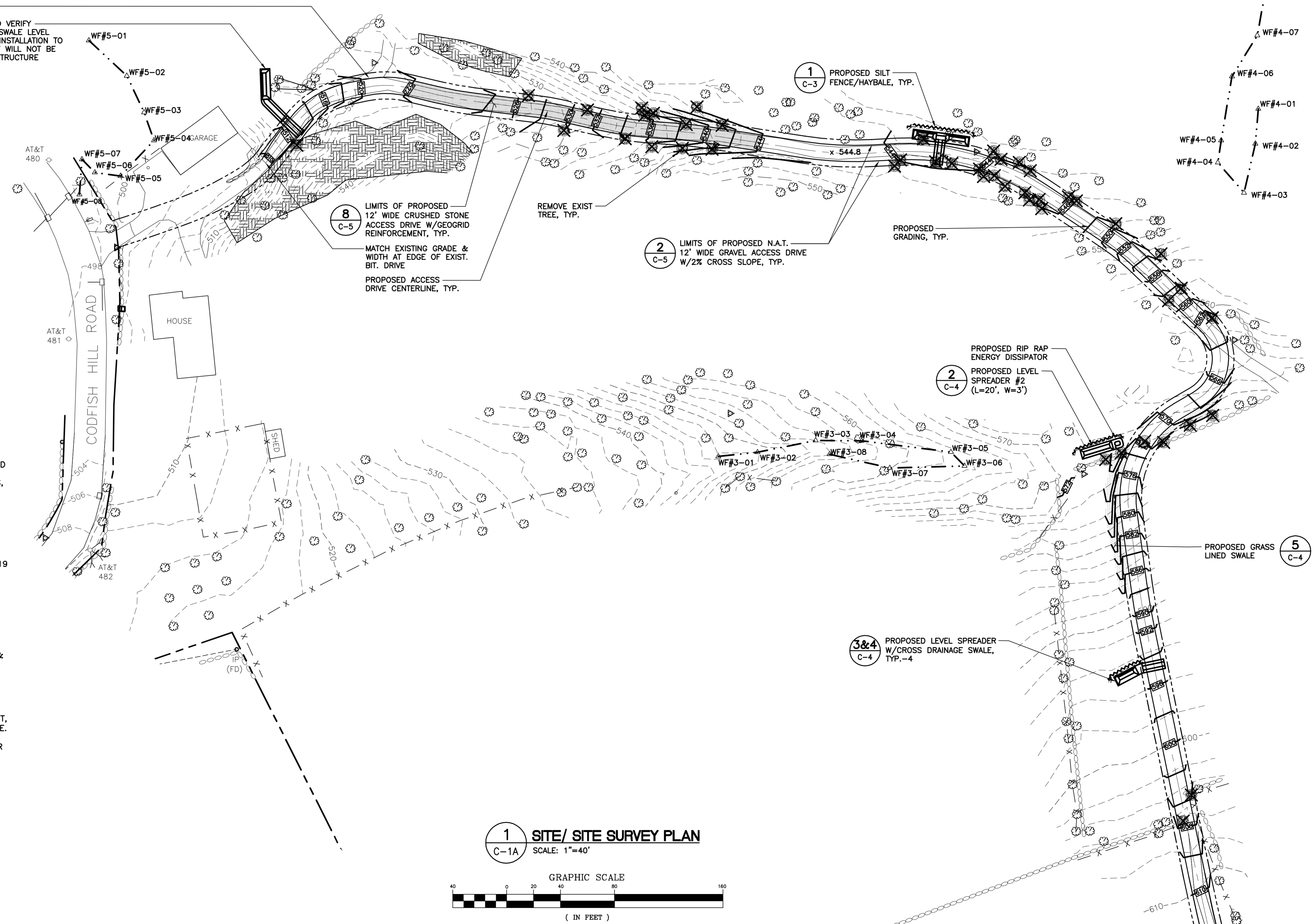
DISTANCE TO NEAREST OFF SITE RESIDENCE	=	495'±
DISTANCE TO NEAREST MUNICIPALITY (NEWTOWN)	=	3,150'±
ACCESS/UTILITY EASEMENT LENGTH OFF CODFISH HILL RD.	=	1,650'±
NUMBER OF RESIDENTIAL STRUCTURES WITHIN 1000' OF TOWER.	=	16
TOTAL NUMBER OF TREES TO BE REMOVED	=	67



**SYMBOLS LEGEND**

- PROPERTY LINE
- - - EASEMENT LINE (PROPOSED)
- DRIVE (PROPOSED)
- - - LEASE AREA
- 650--- CONTOUR LINE
- FENCE LINE (PROPOSED)
- ◇ UTILITY POLE
- X SPOT ELEVATION
- ▭ HAYBALES/ SILT FENCE
- △ SIGN
- IRON PIN
- GUY ANCHOR
- CATCH BASIN
- ⊗ DECIDUOUS TREE
- ○ ○ ○ ○ STONE WALL
- - - DRIVE (EXISTING)
- - - FENCE LINE (EXISTING)
- ▭ SILTATION FENCE
- 532 GRADING (PROPOSED)
- △ WETLAND BOUNDARY

EXISTING DIRT PATH  
 CONTRACTOR TO FIELD VERIFY LOCATION OF CROSS SWALE LEVEL SPREADER PRIOR TO INSTALLATION TO ENSURE THAT RUNOFF WILL NOT BE DIRECTED TO EXIST. STRUCTURE



**SURVEY NOTES**

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. THE TOPOGRAPHIC SURVEY PORTION OF THIS PLAN CONFORMS TO A VERTICAL ACCURACY OF CLASS T-2 AND IS INTENDED TO BE USED TO DEPICT A PROPOSED TELECOMMUNICATION SITE.

THE PROPERTY/BOUNDARY LINES DEPICTED HEREON ARE COMPILED FROM OTHER MAPS, DEEDS AND LIMITED FIELD SURVEY. THESE LINES ARE NOT TO BE CONSTRUED AS A BOUNDARY OPINION AND ARE SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. PROPERTY MAY BE SUBJECT TO ENCUMBRANCES, EASEMENTS, RIGHTS OF WAY AS A TITLE SEARCH REPORT MAY DISCLOSE.

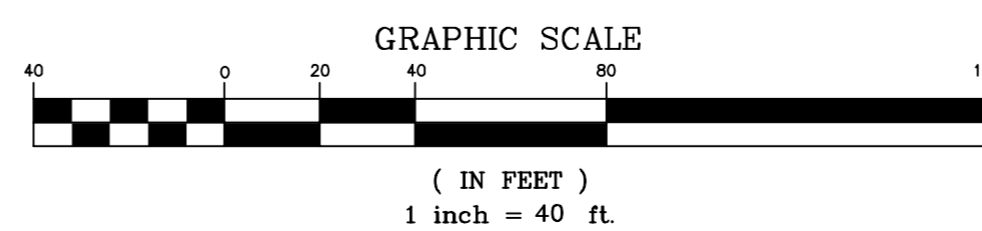
VERTICAL DATUM IS BASED ON NGVD 29.  
 COORDINATES REFER TO NAD 83.  
 PARCEL OWNER OF RECORD: CLAUDIA STONE  
 62 CODFISH HILL ROAD  
 DEED REFERENCES VOL. 992 P. 127, VOL. 514 P. 619  
 PARCEL AREA = 50± ACRES.  
 PARCEL IS IN R80 ZONING DISTRICT.  
 PARCEL ID: MAP 65 BLOCK 57 LOT 122 BETHEL ASSESSOR'S OFFICE.  
 PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, FAIRFIELD COUNTY, ALL JURISDICTIONS, PANELS 144, 163, 232 & 255 OF 626, COMMUNITY PANEL NUMBERS 09001C0144F, 09001C0163F, 09001C0232F & 09001C0255F, EFFECTIVE DATE JUNE 8, 2010, BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

REFERENCE IS MADE TO THE FOLLOWING MAPS:  
 MAP PREPARED FOR ANTHONY CARALLUZZI AND JULIA CARALLUZZI, ELMWOOD DISTRICT, BETHEL, CONNECTICUT, SCALE 1"=40', DATED AUG. 30, 1974, BY HAROLD B. COVILLE.  
 PROPERTY DIVISION MAP, CODFISH HILL ROAD, BETHEL, CONNECTICUT, PREPARED FOR JEFFREY A. PARKER, SCALE 1"=40', DATED 6-16-83, BY KASPER - RYAN ASSOCIATES.  
 MAP PREPARED FOR WALTER W. & ARLENE C. CARLSON, BETHEL, CONNECTICUT, SCALE 1"=40', DATED DEC. 24, 1964, BY HENRICI ASSOCIATES.  
 NOT ALL IMPROVEMENTS SHOWN.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON  
 THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

A. RAFAEL MARTINEZ LLS #18833 DATE

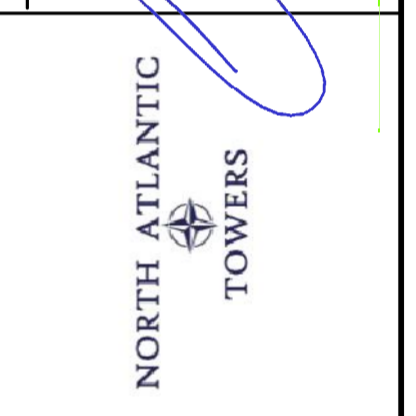
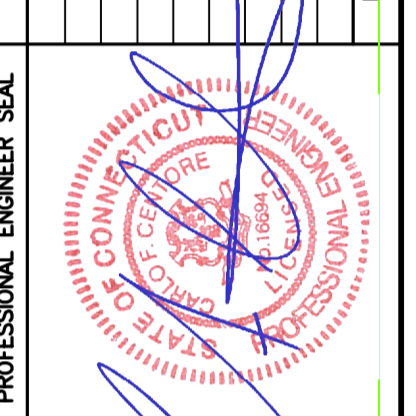
**1 SITE/ SITE SURVEY PLAN**  
 C-1A SCALE: 1"=40'



MATCH LINE SHEET C-1B

DESIGNED BY: HMR  
 DRAWN BY: HMR  
 CHK'D BY: DMG

REV.	DATE	DESCRIPTION
4	04/17/14	DMD
3	11/26/13	DMD
2	11/21/13	DMD
1	06/28/13	HMR



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**NORTH ATLANTIC TOWERS**  
 WIRELESS COMMUNICATIONS FACILITY  
**SITE NUMBER: CT1155C**  
**SITE NAME: BETHEL (SITE 1)**  
**62 + 64 CODFISH HILL ROAD**  
**BETHEL, CT**

DATE: 06/27/13  
 SCALE: AS NOTED  
 JOB NO. 13116

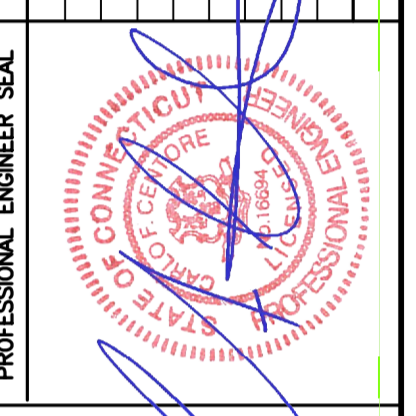
**SITE/ SITE SURVEY PLAN**

**C-1A**  
 Sheet No. 3 of 8



DESIGNED BY: HMR  
 DRAWN BY: HMR  
 CHK'D BY: DMD

REV.	DATE	DESCRIPTION	CHK'D BY
0	06/28/13	ISSUED FOR CLIENT REVIEW	DMD
1	11/18/13	REVISED	HMR
2	11/21/13	REVISED	DMD
3	11/26/13	REVISED	DMD
4	04/17/14	REVISED TO INCLUDE WETLAND BOUNDARIES	DMD



**NORTH ATLANTIC TOWERS**

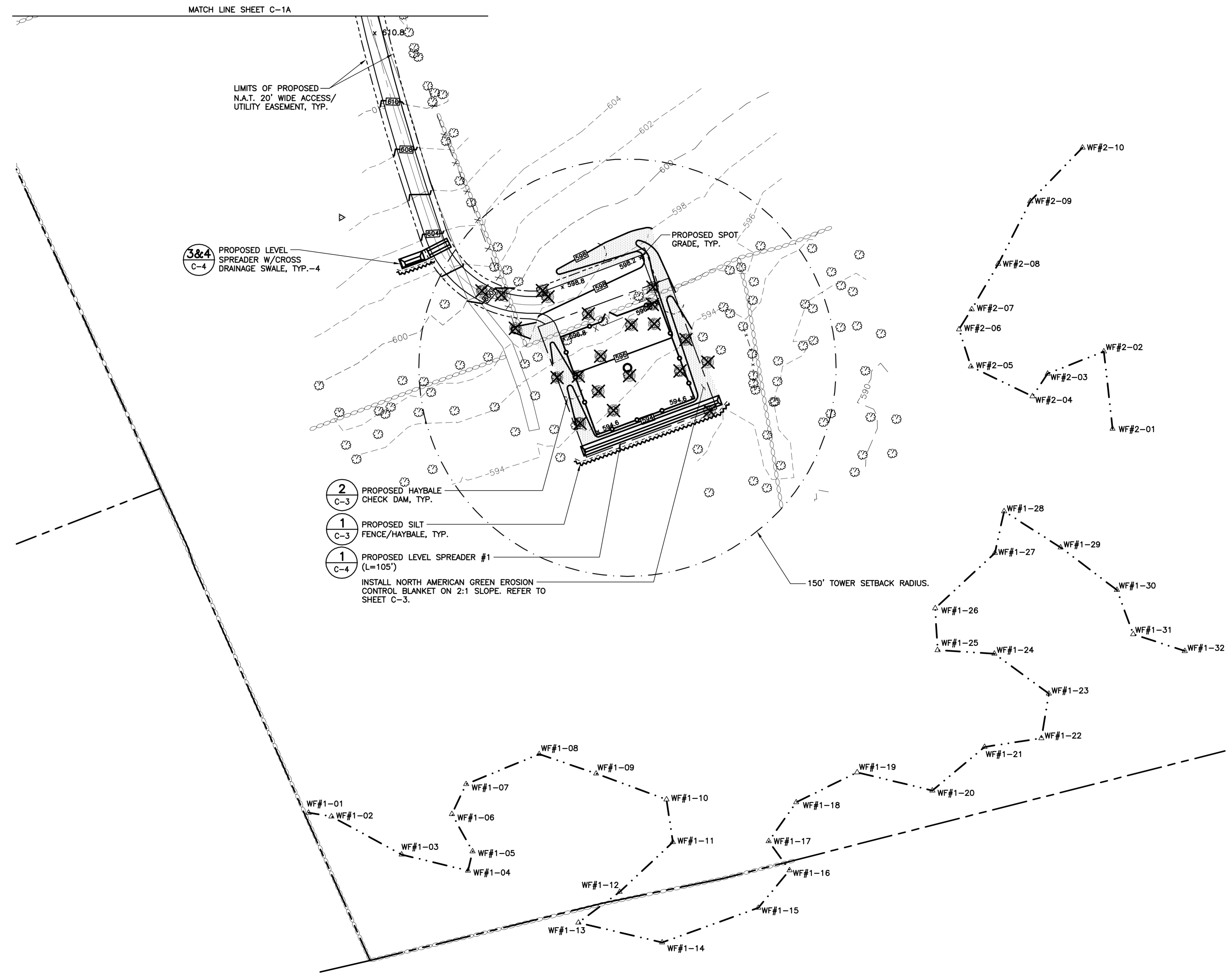
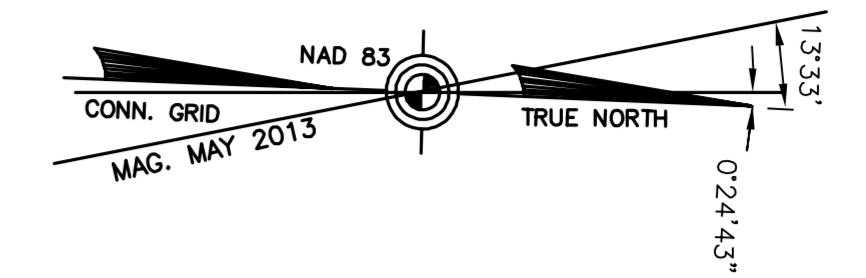
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**NORTH ATLANTIC TOWERS**  
 WIRELESS COMMUNICATIONS FACILITY  
**SITE NUMBER: CT1155C**  
**SITE NAME: BETHEL (SITE 1)**  
**62 + 64 CODFISH HILL ROAD**  
**BETHEL, CT**

DATE: 06/27/13  
 SCALE: AS NOTED  
 JOB NO. 13116

SITE/  
 SITE SURVEY  
 PLAN CONT.

**C-1B**  
 Sheet No. 4 of 8



LIMITS OF PROPOSED  
 N.A.T. 20' WIDE ACCESS/  
 UTILITY EASEMENT, TYP.

**3&4**  
 C-4 PROPOSED LEVEL  
 SPREADER W/CROSS  
 DRAINAGE SWALE, TYP.-4

**2**  
 C-3 PROPOSED HAYBALE  
 CHECK DAM, TYP.

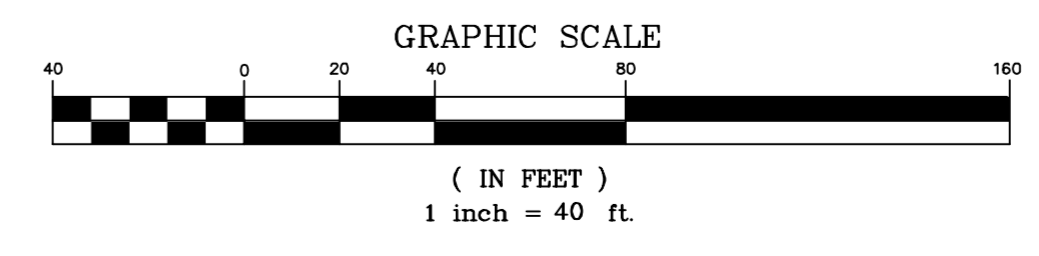
**1**  
 C-3 PROPOSED SILT  
 FENCE/HAYBALE, TYP.

**1**  
 C-4 PROPOSED LEVEL SPREADER #1  
 INSTALL NORTH AMERICAN GREEN EROSION  
 CONTROL BLANKET ON 2:1 SLOPE. REFER TO  
 SHEET C-3.

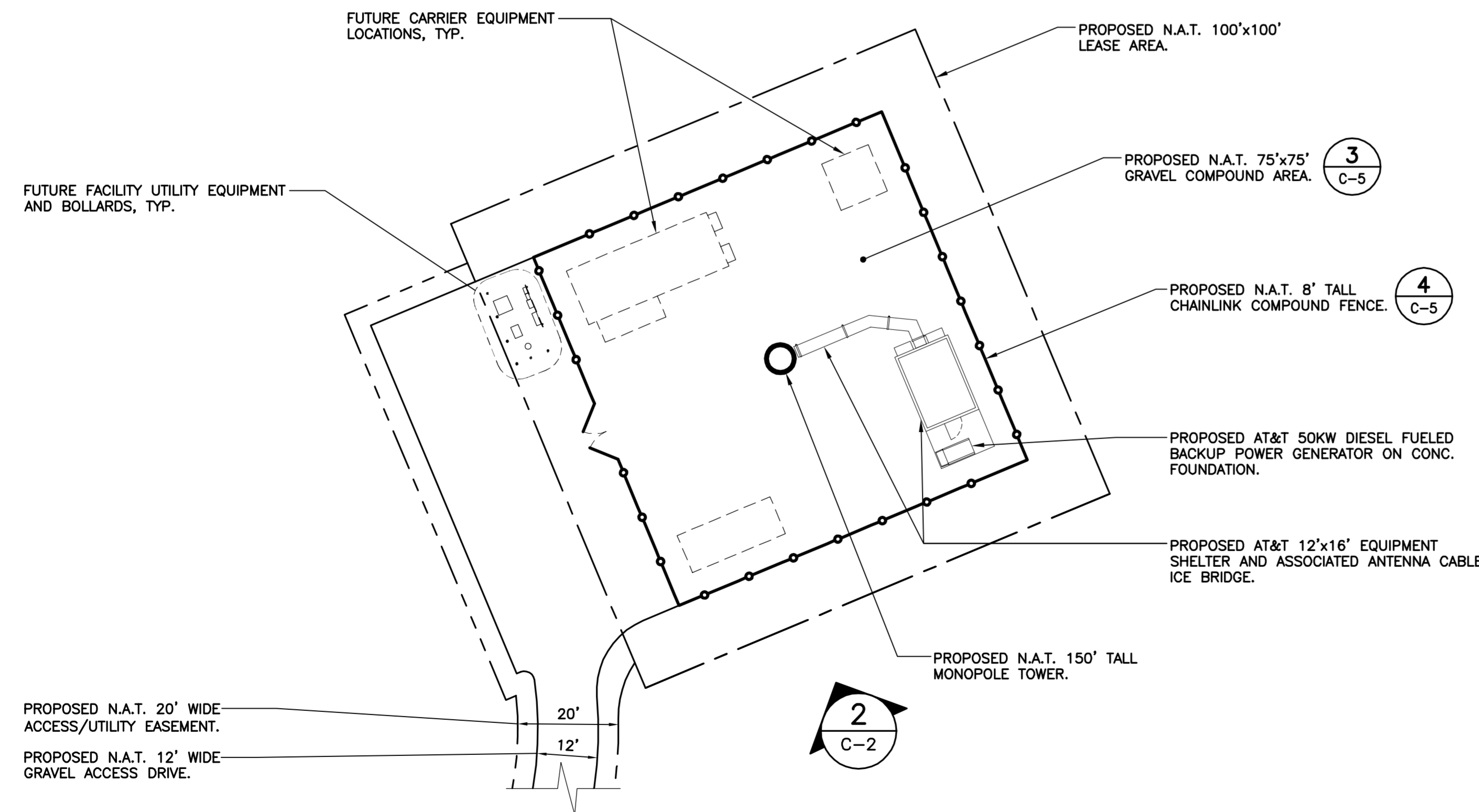
150' TOWER SETBACK RADIUS.

SYMBOLS LEGEND	
---	PROPERTY LINE
---	EASEMENT LINE (PROPOSED)
---	DRIVE (PROPOSED)
---	LEASE AREA
---650---	CONTOUR LINE
---X---	FENCE LINE (PROPOSED)
○	UTILITY POLE
X	SPOT ELEVATION
---X---	HAYBALES/ SILT FENCE
△	SIGN
○	IRON PIN
---	GUY ANCHOR
□	CATCH BASIN
○	DECIDUOUS TREE
○	STONE WALL
---	DRIVE (EXISTING)
---	FENCE LINE (EXISTING)
---X---	SILTATION FENCE
532	GRADING (PROPOSED)
△	WETLAND BOUNDARY

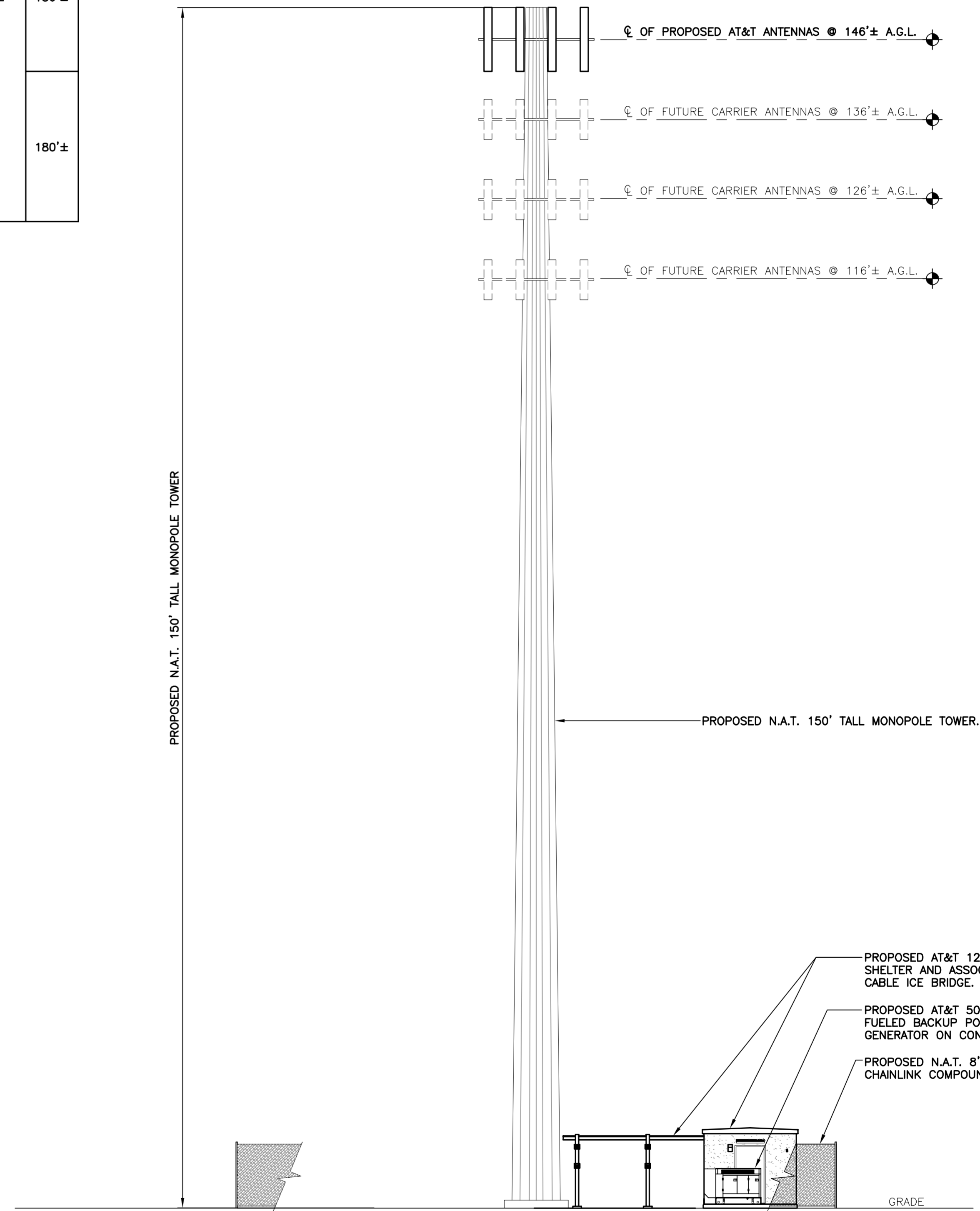
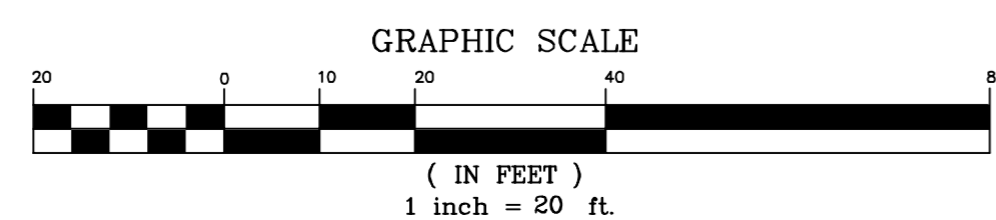
**1**  
 C-1B **SITE/ SITE SURVEY PLAN**  
 SCALE: 1"=40'



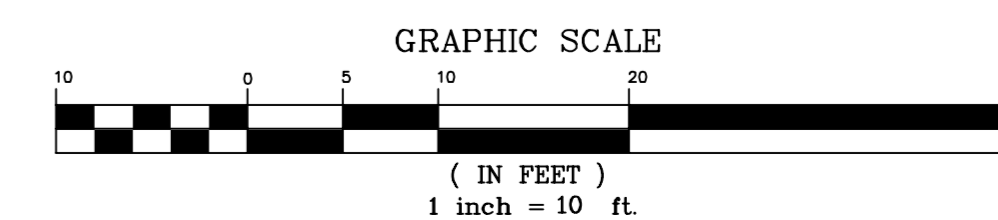
RF EQUIPMENT TABLE																							
SECTOR	PANEL ANTENNAS					FILTER	FROM REMOTE RADIO UNIT					REMOTE RADIO UNIT				FROM SURGE SUPPRESSOR				SURGE SUPPRESSOR	FROM SHELTER		
	AZIMUTH	QTY.	MAKE & MODEL	RAD CENTER (AGL)	DOWNTILT		QTY.	JUMPER QTY.	JUMPER SIZE	COAX LENGTH	RET QTY.	QTY.	MAKE & MODEL	DC QTY.	DC SIZE	FIBER QTY.	DC & FIBER LENGTH	QUANTITY	DC TRUNK QTY.		FIBER TRUNK QTY.	FIBER & DC LENGTH	
ALPHA	30°	4	CCI HPA-65R-BUU-H8	146.0'	0°M 0'/0°E	0	20	1/2" Ø	15' ±	1	1	ERICSSON RRUS-32	7	6MM² PAIR	7	15' ±					180'±		
											2	ERICSSON RRUS-12											
											3	ERICSSON RRUS-11											
											2	ERICSSON RRUS-A2											
											1	ERICSSON RRUS-E2											
BETA	150°	4	CCI HPA-65R-BUU-H8	146.0'	0°M 0'/0°E	0	20	1/2" Ø	15' ±	1	1	ERICSSON RRUS-32	7	6MM² PAIR	7	15' ±	4	8	2	180'±			
											2	ERICSSON RRUS-12											
											3	ERICSSON RRUS-11											
											2	ERICSSON RRUS-A2											
											1	ERICSSON RRUS-E2											
GAMMA	270°	4	CCI HPA-65R-BUU-H8	146.0'	0°M 0'/0°E	0	20	1/2" Ø	15' ±	1	1	ERICSSON RRUS-32	7	6mm² PAIR	7	15' ±				180'±			
											2	ERICSSON RRUS-12											
											3	ERICSSON RRUS-11											
											2	ERICSSON RRUS-A2											
											1	ERICSSON RRUS-E2											



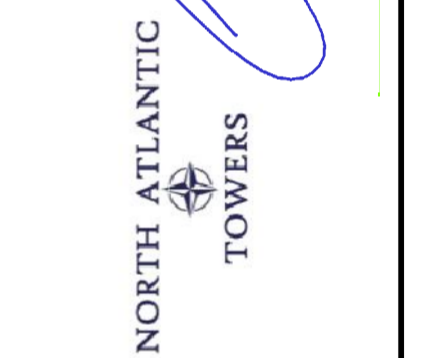
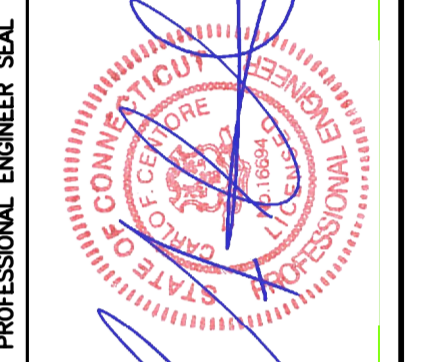
**1**  
C-2  
**COMPOUND PLAN**  
SCALE: 1" = 20'



**2**  
C-2  
**SOUTH ELEVATION**  
SCALE: 1" = 10'



DESIGNED BY:	HMR		
DRAWN BY:	HMR		
CHK'D BY:	DMD		
REV.	DATE	DESCRIPTION	
5	05/28/14	HMR	CSC - REVISED
4	04/17/14	DMD	CSC - REVISED TO INCLUDE WETLAND BOUNDARIES
3	11/26/13	DMD	CSC - REVISED
2	11/21/13	DMD	CSC - REVISED
1	11/18/13	HMR	CSC - REVISED
0	06/28/13	HMR	CSC - ISSUED FOR CLIENT REVIEW



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**NORTH ATLANTIC TOWERS**  
WIRELESS COMMUNICATIONS FACILITY  
**SITE NUMBER: CT1155C**  
**SITE NAME: BETHEL (SITE 1)**  
**62 + 64 CODFISH HILL ROAD**  
**BETHEL, CT**

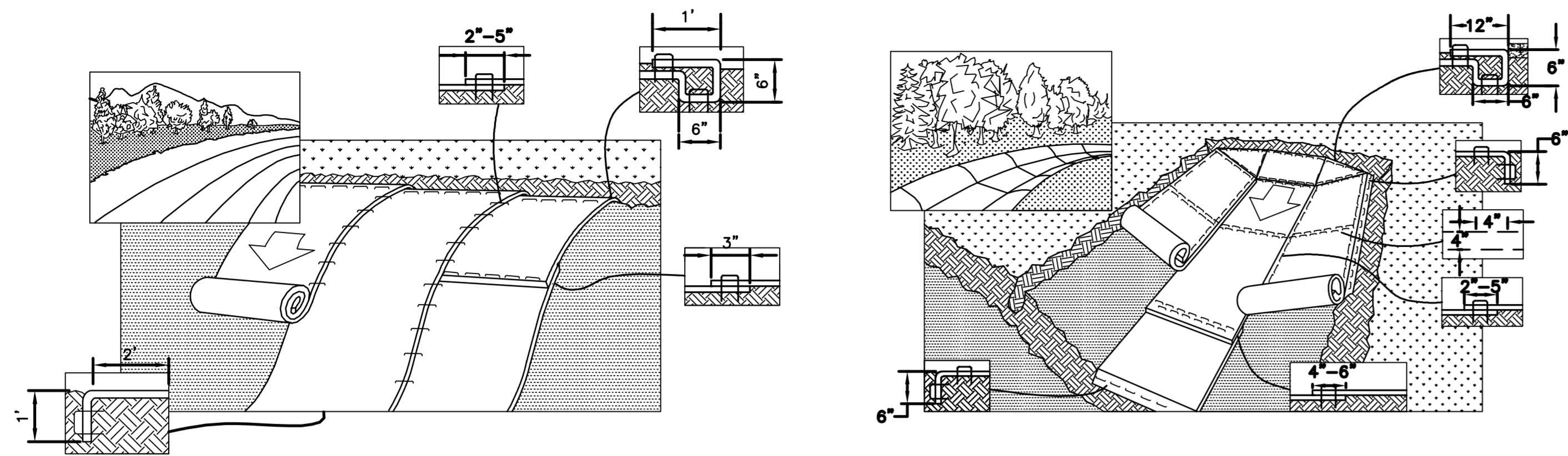
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JOB NO. 13116

COMPOUND  
PLAN AND  
ELEVATION

**C-2**



**EROSION CONTROL BLANKET STABILIZATION**



**3 TYPICAL EROSION MAT INSTALLATION ON SLOPE**  
C-3 NOT TO SCALE

**4 TYPICAL EROSION MAT INSTALLATION IN CHANNEL**  
C-3 NOT TO SCALE

**STABILIZATION CRITERIA**

- CONTRACTOR SHALL IMPLEMENT EROSION CONTROL BLANKET SLOPE STABILIZATION & SWALE CONSTRUCTION WHEN STABLE EARTH CUTS ARE PREVALENT (IN LOCATIONS WITHOUT LEDGE OR LARGE AMOUNTS OF SUBGRADE ROCK)

**STABILIZATION PRODUCT SPECIFICATION**

NORTH AMERICAN GREEN, PRODUCT NUMBER S150BN, 12 MONTH BIODEGRADABLE.

**EROSION MAT ON SLOPES**

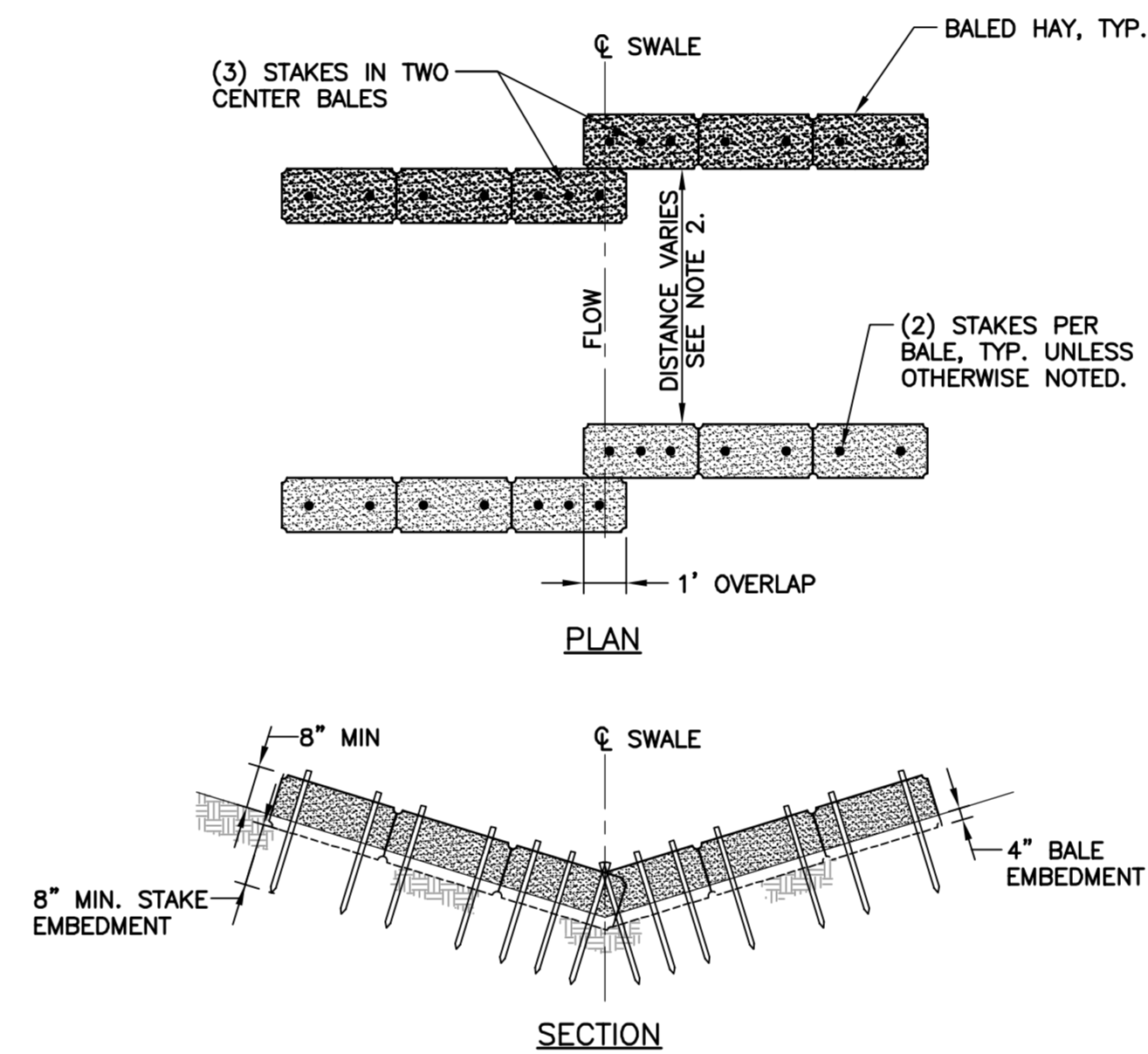
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLE/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKET DOWN OR HORIZONTALLY ACROSS THE SLOPE. BLANKET WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL ROLLED EROSION CONTROL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM[™], STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY A 2"-5" OVERLAP DEPENDING ON BLANKET TYPE.
- CONSECUTIVE ROLLED EROSION CONTROL BLANKET SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.  
\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKET.
- THE EDGE OF THE BLANKET IS TO EXTEND A MINIMUM 24 INCHES BEYOND THE TOE OF THE SLOPE AND ANCHORED BY PLACING THE STAPLES/STAKES IN A 12 INCH DEEP x 6 INCH WIDE ANCHOR TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12 INCH APART IN THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING (STONE OR SOIL MAY BE USED AS BACKFILL).
- REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN. MINIMUM 4 SPIKES PER ONE SQ. FT.

**EROSION MAT IN CHANNEL**

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLE/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM[™], STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"- 5" AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH[™] ON THE BLANKET BEING OVERLAPPED.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN. MINIMUM 4 SPIKES PER ONE SQ. FT. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEED, AND REMULCHED AS DIRECTED.

**MAINTENANCE**

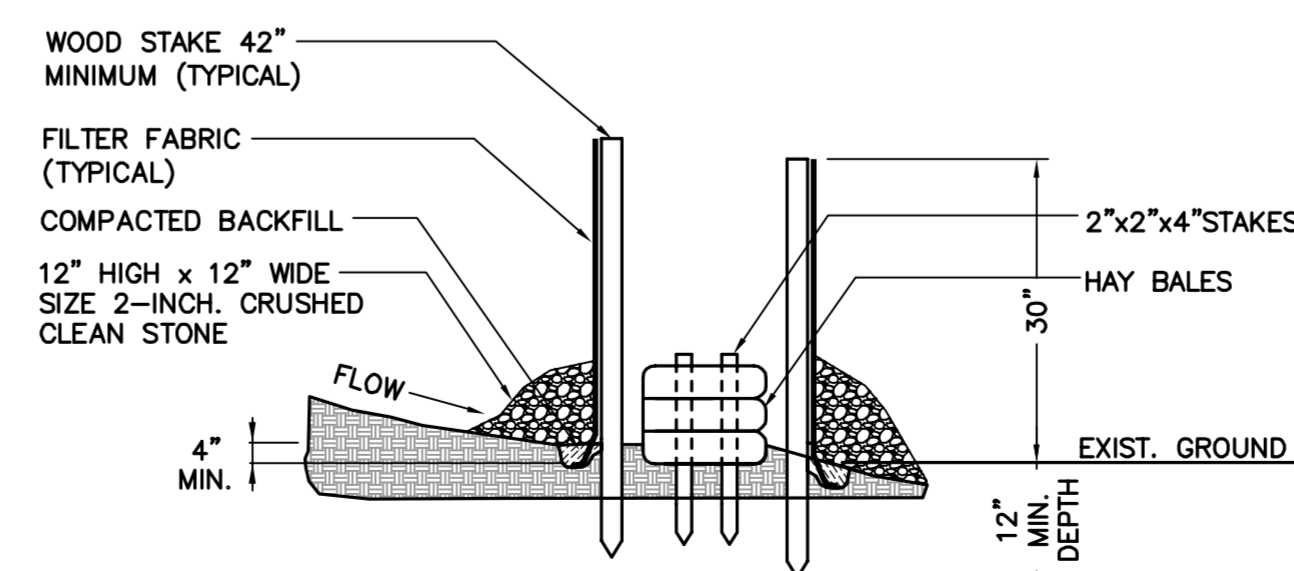
THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEED, AND REMULCHED AS DIRECTED.



**NOTES:**

- CHECKDAM SHALL BE INSTALLED IN LOCATIONS INDICATED ON SITE PLAN (SHEET C-1.1) IN DRAINAGE SWALE WITH BED WIDTHS OF 2 FEET OR LESS.
- THE DISTANCE BETWEEN HAYBALE CHECKDAMS SHALL BE DETERMINED BY THE SLOPE OF THE SWALE. CHECKDAMS SHALL BE SET AT EVERY 2 FEET DROP IN SWALE ELEVATION.
- BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
- INSTALL 3 STAKES PER BALE WITHIN SWALE BED AREAS.
- HAYBALES CAN BE SUBSTITUTED WITH EITHER STRAW WATTLE OR COMPOST SOCK/FILTER (E.G., SILTSOXX™ OR APPROVED EQUIVALENT).

**2 TYP. HAYBALE CHECKDAM (NARROW SWALE)**  
C-3 NOT TO SCALE



**1 SILTATION FENCE/HAY BALE SILTATION FENCE 'SANDWICH' EROSION CONTROL**  
C-3 NOT TO SCALE

**GENERAL CONSTRUCTION / PRE-CONSTRUCTION NOTES**

- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, A MANDATORY ON-SITE PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED WITH THE VERIZON WIRELESS CONSTRUCTION MANAGER, CONTRACTOR'S CONSTRUCTION MANAGER, THE PROJECT EROSION AND SEDIMENTATION CONTROL/ENVIRONMENTAL MONITOR AND THE ENGINEER OF RECORD.
- THE SOUTHERN PROPERTY LINE ADJACENT TO THE PROPOSED ACCESS DRIVE IS STAKED IN FIELD. THE CONTRACTOR SHALL MAINTAIN THE PROPERTY LINE STAKE LOCATIONS DURING THE ENTIRE PERIOD OF CONSTRUCTION. ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED ON THE SUBJECT PROPERTY.

**GENERAL CONSTRUCTION SEQUENCE**

THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.

- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
- CONSTRUCT CLOSED DRAINAGE SYSTEM. PRECEPT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
- CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- INSTALL UNDERGROUND UTILITIES.
- BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
- DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
- FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGARDED AREAS.
- AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

**SOIL EROSION AND SEDIMENT CONTROL SEQUENCE**

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS CONSTRUCTION ENTRANCE / ANTI TRACKING PAD, SILTATION FENCE, AND SILTATION FENCE / HAY BALE SHALL BE IN PLACE PRIOR TO ANY GRADING ACTIVITY. INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES. MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR AREA IS STABILIZED.
- THE ENTRANCE TO THE PROJECT SITE IS TO BE PROTECTED BY STONE ANTI TRACKING PAD OF ASTM C-33, SIZE NO. 2 OR 3, OR D.O.T. 2" CRUSHED GRAVEL. THE STONE ANTI TRACKING PAD IS TO BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- THE ENTRANCE TO THE PROJECT SITE IS TO BE PROTECTED BY STONE ANTI TRACKING PAD OF ASTM C-33, SIZE NO. 2 OR 3, OR D.O.T. 2" CRUSHED GRAVEL. THE STONE ANTI TRACKING PAD IS TO BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- LAND DISTURBANCE WILL BE KEPT TO A MINIMUM AND RESTABILIZATIONS WILL BE SCHEDULED AS SOON AS PRACTICAL.
- ALL SOIL EROSION AND SEDIMENT CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL INCLUDING THE LATEST DATE FROM THE COUNCIL ON SOIL AND WATER CONSERVATION.
- ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL DEEMED NECESSARY BY TOWN STAFF DURING CONSTRUCTION, SHALL BE INSTALLED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN STAFF.
- IN ALL AREAS, REMOVAL OF TREES, BUSHES AND OTHER VEGETATION AS WELL AS DISTURBANCE OF THE SOIL IS TO BE KEPT TO AN ABSOLUTE MINIMUM WHILE ALLOWING PROPER DEVELOPMENT OF THE SITE. DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.
- SILTATION FENCE SHALL BE PLACED AS INDICATED BEFORE A CUT SLOPE HAS BEEN CREATED. SEDIMENT DEPOSITS SHOULD BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDES OF SILTATION FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT ON. SILTATION FENCE IS TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. THE FENCE IS TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE EROSION CHECKS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- SWALE DISCHARGE AREA WILL BE PROTECTED WITH RIP RAP SPLASH PAD/ ENERGY DISSIPATER.
- ALL FILL AREAS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
- THE SOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING OR SEEDING.
- AFTER CONSTRUCTION IS COMPLETE AND GROUND IS STABLE, REMOVE SILTS IN THE RIP RAP ENERGY DISSIPATERS. REMOVE OTHER EROSION AND SEDIMENT DEVICES.

**CONSTRUCTION SPECIFICATIONS - SILT FENCE**

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

**MAINTENANCE - SILT FENCE**

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

DESIGNED BY: HMR  
DRAWN BY: HMR  
CHK'D BY: DMD

REV.	DATE	DESCRIPTION
3	11/26/13	CFC - REVISED
2	11/21/13	CFC - REVISED
1	11/18/13	DMD
0	06/28/13	HMR - ISSUED FOR CLIENT REVIEW

PROFESSIONAL ENGINEER SEAL

NORTH ATLANTIC TOWERS

WIRELESS COMMUNICATIONS FACILITY

**SITE NUMBER: CT1155C**

**SITE NAME: BETHEL (SITE 1)**

**62 + 64 CODFISH HILL ROAD**

**BETHEL, CT**

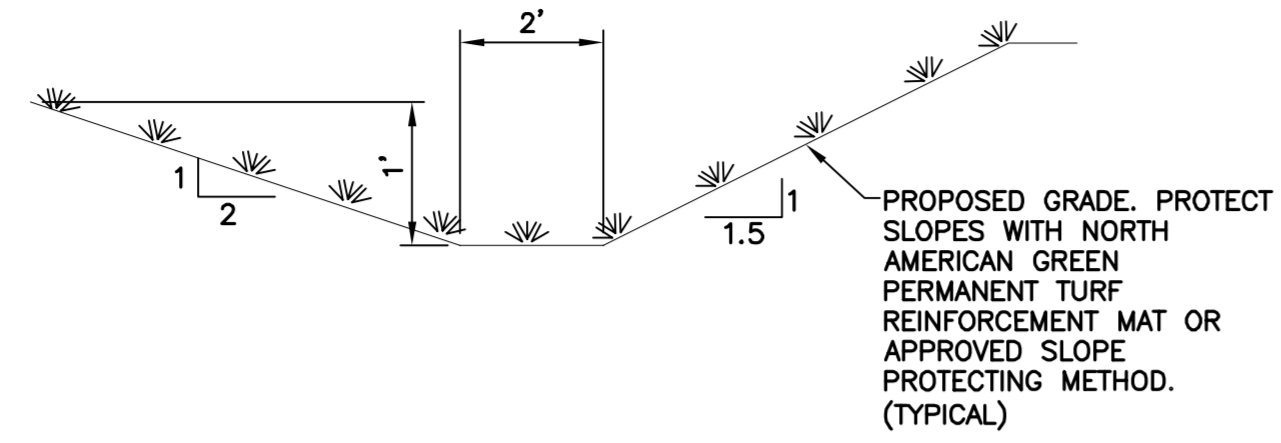
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JOB NO. 13116

SITE CONSTRUCTION, S&E AND DRAINAGE CONTROL NOTES AND DETAILS

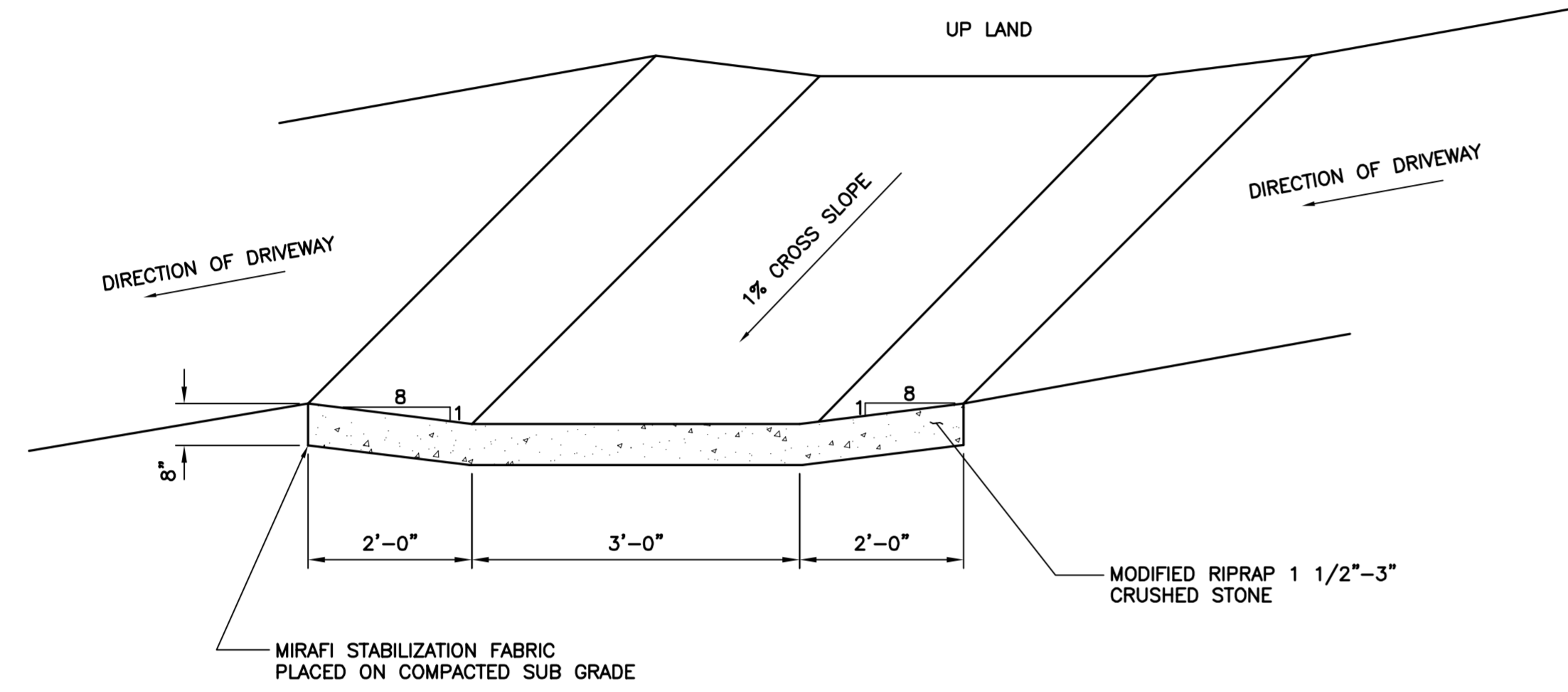
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Sheet No. 6 of 8

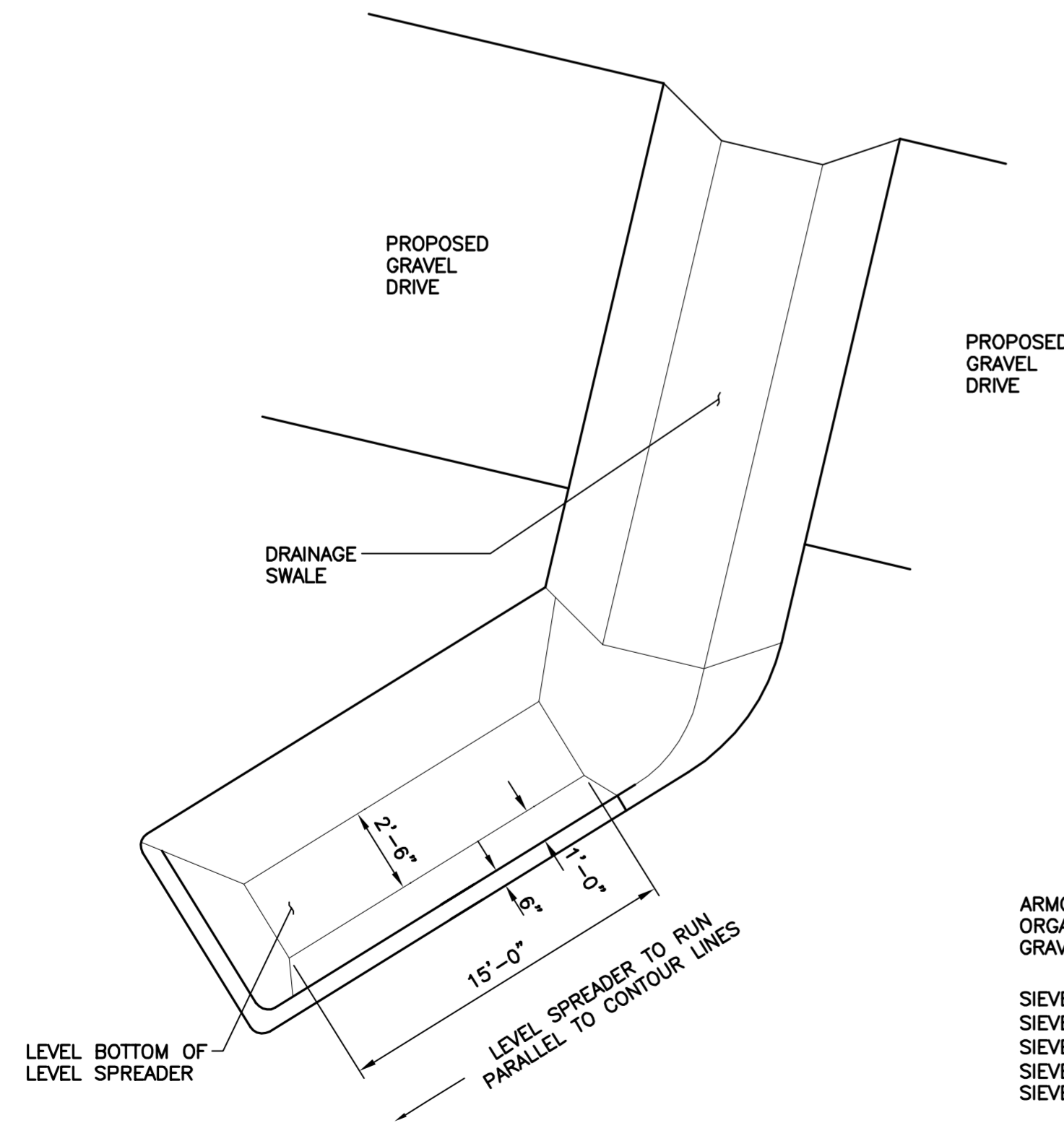




**5 TYPICAL SWALE SECTION**  
C-4 NOT TO SCALE



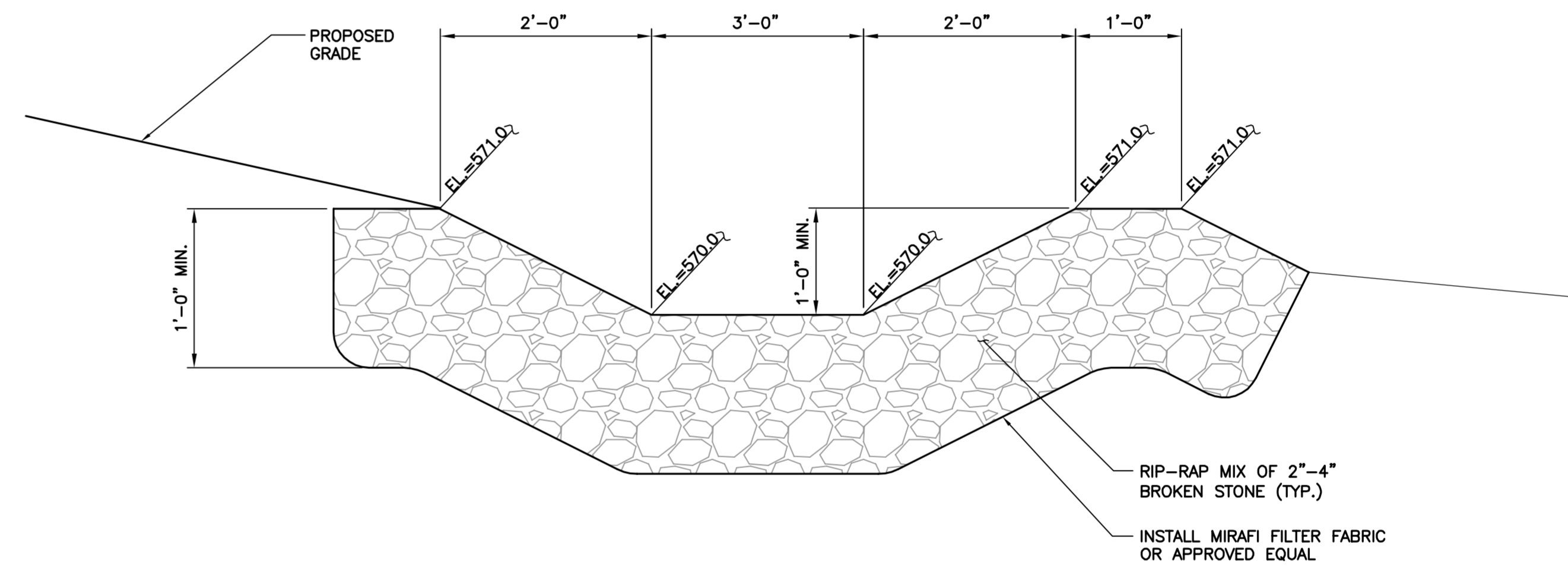
**4 CROSS DRAINAGE SWALE**  
C-4 NOT TO SCALE



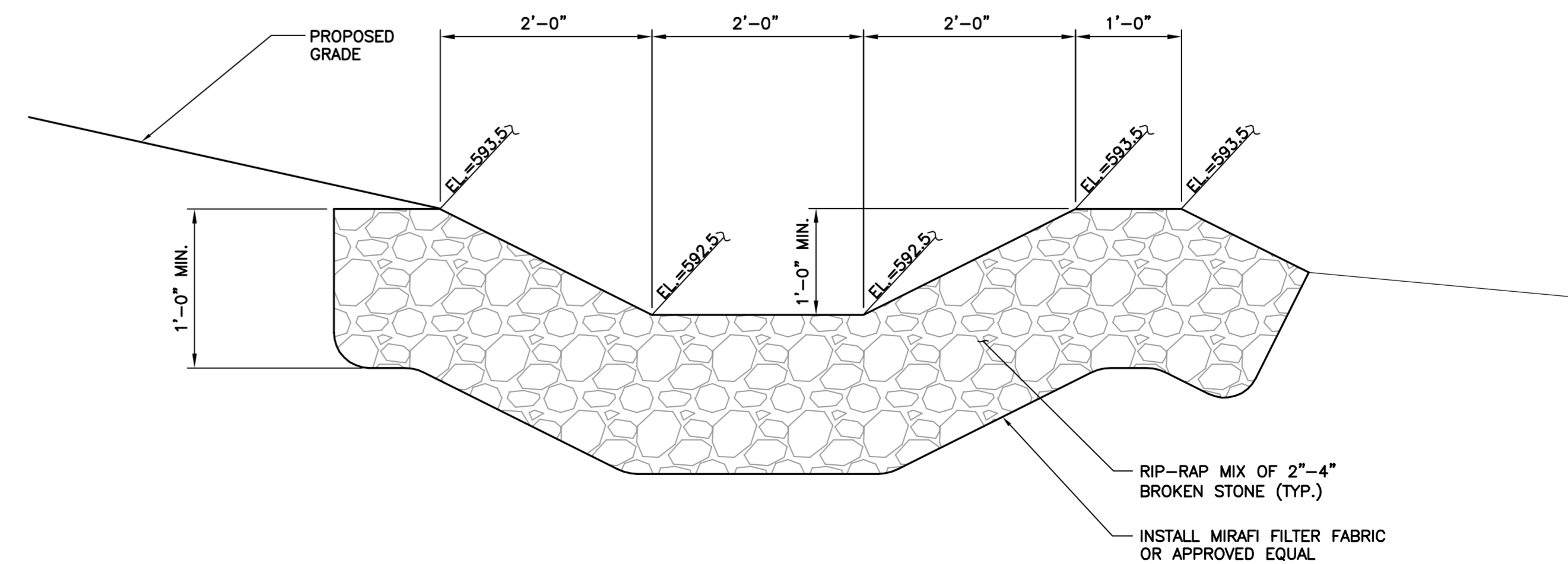
ARMORED STONE SURFACE SHALL BE FREE OF ORGANICS AND CONSIST SOLELY OF CRUSHED GRAVEL WITH THE FOLLOWING GRADATION:

SIEVE: 3 1/2"	% PASSING: 100
SIEVE: 2"	% PASSING: 35-70
SIEVE: 1 1/2"	% PASSING: 0-15
SIEVE: 1/2"	% PASSING: 0-5
SIEVE: NO. 4	% PASSING: 0

**3 LEVEL SPREADER W/ CROSS DRAINAGE SWALE**  
C-4 NOT TO SCALE



**2 LEVEL SPREADER #2 TYPICAL SECTION**  
C-4 NOT TO SCALE



**1 LEVEL SPREADER #1 TYPICAL SECTION**  
C-4 NOT TO SCALE

DESIGNED BY:	HMR		
DRAWN BY:	HMR		
CHK'D BY:	DMD		
REV.	DATE	BY	DESCRIPTION
3	11/26/13	DMD	CFC - REVISED
2	11/21/13	DMD	CFC - REVISED
1	11/18/13	DMD	CFC
0	06/28/13	HMR	CSC - ISSUED FOR CLIENT REVIEW

PROFESSIONAL ENGINEER SEAL  
  
**NORTH ATLANTIC TOWERS**  
 62 + 64 CODFISH HILL ROAD  
 BETHEL, CT  
**CENTEK engineering**  
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 632 North Branford Road  
 Branford, CT 06405  
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**NORTH ATLANTIC TOWERS**  
 WIRELESS COMMUNICATIONS FACILITY  
**SITE NUMBER: CT1155C**  
**SITE NAME: BETHEL (SITE 1)**  
 62 + 64 CODFISH HILL ROAD  
 BETHEL, CT

DATE: 06/27/13  
 SCALE: AS NOTED  
 JOB NO. 13116

DRAINAGE CONTROL DETAILS

**C-4**  
 Sheet No. 7 of 8







SITE EVALUATION REPORT  
**CT1155C – Bethel (Site 1)**

I. LOCATION

- A. COORDINATES: 41° 22' 30.418" 73° 22' 16.517"
- B. EXISTING GROUND ELEVATION: 595.0
- C. USGS MAP: 41073C4-TF-024 (1970)
- D. SITE ADDRESS: 62 & 64 Codfish Hill Road Bethel, CT
- E. ZONING WITHIN ¼ MILE OF SITE: Residential 80,000 and Residential 40,000

II. DESCRIPTION

- A. SITE SIZE: 10,000 square feet (Lease area size)
- B. LESSOR'S PARCEL: 49.8 acres
- C. TOWER TYPE/HEIGHT: Monopole 150'
- D. SITE TOPOGRAPHY AND SURFACE: 11% average grade along access drive, 3% grade in compound area. Thick till surface.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: Moderately wooded. Wetlands nearby 200'+/- to the Northeast and 240'+/- to the North from the tower centerline. Wetlands also exist nearby along the access drive, see CSC Drawings for location.
- F. LAND USE WITHIN ¼ MILE OF SITE: Residential

III. FACILITIES

- A. POWER COMPANY: CL&P
- B. POWER PROXIMITY TO SITE: Existing Utility pole ±1,200 feet SW of proposed tower.
- C. TELEPHONE COMPANY: SNET d/b/a Frontier Communications



- D. PHONE SERVICE PROXIMITY: Existing Utility pole  $\pm$ 1,200 feet SW of proposed tower.
- E. VEHICLE ACCESS TO SITE: 12' wide gravel access drive
- F. OBSTRUCTION: None
- G. CLEARING AND FILL REQUIRED: Approximately 67 trees to be removed for site and access construction.  
Overall Site Cut = 625.53 cu. yards, Overall Site Fill = 405.25 cu. yards, Net = 220.28 cu. Yards cut.

IV. LEGAL

- A. PURCHASE [ ] LEASE [X]
- B. OWNER: Claudia Stone
- C. ADDRESS: 62-64 Codfish Hill Road
- D. DEED ON FILE AT: Town of Bethel