

ADJACENT PROPERTY OWNERS

SITE NAME: PLYMOUTH WEST RELO

OWNER NAME: TOWN OF PLYMOUTH

OWNER ADDRESS: 33 KEEGAN ROAD, PLYMOUTH, CT 06782

ASSESSOR'S REFERENCE: MAP: 54 BLOCK: 065 LOT: 016A-1

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TAX ASSESSOR'S RECORDS AND LAND RECORDS OF PLYMOUTH TOWN HALL. THE INFORMATION IS CURRENT AS OF JANUARY 16, 2015.

THE PARCEL IS ZONED R-40.

	<u>Map/Block/Lot</u>	<u>Property Address</u>	<u>Owner and Mailing Address</u>
1.	044/065/014	127 South Street	Ibrahim A. Doar 127 South Street Plymouth, CT 06782
2.	055/065/021A	134 Todd Hollow Road	Kevin Gallagher 164 Litchfield Street Thomaston, CT 06787
3.	054/065/015	11 Keegan Road	Ryan G. and Jennifer E. Oberndorfer 11 Keegan Road Plymouth, CT 06782
4.	054/065/016B	23 Keegan Road	Holly M. Smith 23 Keegan Road Plymouth, CT 06782
5.	054/065/016A	41 Keegan Road	Steven A. Westall 41 Keegan Road Plymouth, CT 06782
6.	054/065/016	55 Keegan Road	Steven A. Westall 41 Keegan Road Plymouth, CT 06782
7.	054/110/001-7	44 Keegan Road	Jeffrey L. and Leigh A. Griffin 44 Keegan Road Plymouth, CT 06782

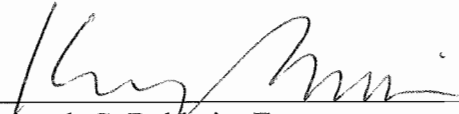
	<u>Map/Block/Lot</u>	<u>Property Address</u>	<u>Owner and Mailing Address</u>
8.	054/110/001-9	181 South Street	HSBC Bank US NA 636 Grand Regency Brandon, FL 33510
9.	054/109/001	155 South Street	James A. and Louise M. Dubay 155 South Street Plymouth, CT 06782

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached list of abutting landowners.

2-9-15

Date



Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103

Attorneys for CELLCO PARTNERSHIP d/b/a
VERIZON WIRELESS

KENNETH C. BALDWIN

280 Trumbull Street
Hartford, CT 06103-3597
Main (860) 275-8200
Fax (860) 275-8299
kbaldwin@rc.com
Direct (860) 275-8345

Also admitted in Massachusetts

February 9, 2015

Via Certified Mail Return Receipt Requested

«Name_and_Address»

Re: **Cellco Partnership d/b/a Verizon Wireless – Proposed Telecommunications Facility at 33 Keegan Road, Plymouth, Connecticut**

Dear «Salutation»:

Cellco Partnership d/b/a Verizon Wireless (“Cellco”) will be submitting an application to the Connecticut Siting Council (“Council”) on or about February 13, 2015, for approval of the construction of a telecommunications facility in the Town of Plymouth, Connecticut.

The proposed facility would consist of a new 140-foot tower in the western portion of an approximately 12.4 acre parcel at 33 Keegan Road in Plymouth. Cellco’s radio equipment and a diesel-fueled back-up generator would be installed inside a 12’ x 30’ shelter located at the base of the tower. Access to the facility would extend from Keegan Road along a new 12-foot wide gravel driveway a distance of approximately 525 feet to the cell site. Site plan drawings for the proposed facility are attached for your review. The location and other features of the proposed facilities are subject to change under the provisions of Connecticut General Statutes § 16-50g et seq.

State law provides that owners of record of property which abuts a parcel on which a facility is proposed to be located must receive notice of the submission of this application. This notice is directed to you either because you may be an abutting land owner or as a courtesy notice.

February 9, 2015
Page 2

If you have any questions concerning the application, please direct them to either the Connecticut Siting Council or me. My address and telephone number are listed above. The Siting Council may be reached at its New Britain, Connecticut office at (860) 827-2935.

Very truly yours,

A handwritten signature in black ink, appearing to read "Kenneth C. Baldwin". The signature is fluid and cursive, with a long horizontal stroke at the end.

Kenneth C. Baldwin

KCB/kmd
Attachment

Cellco Partnership



d.b.a. **verizon** wireless
WIRELESS COMMUNICATIONS FACILITY
PLYMOUTH WEST RELO.
33 KEEGAN ROAD
PLYMOUTH, CT 06782

SITE DIRECTIONS

FROM:	TO:
89 EAST RIVER DRIVE EAST HARTFORD, CONNECTICUT	33 KEEGAN ROAD PLYMOUTH, CONNECTICUT
1. Head EAST on E. RIVER DR toward DANBURY ST	0.3 mi.
2. Turn RIGHT onto DANBURY ST	0.2 mi.
3. Turn LEFT onto CONNECTICUT BLVD	0.2 mi.
4. Turn RIGHT onto W. MAIN ST	0.3 mi.
5. Turn LEFT onto W. MAIN ST and merge onto CT-72 W	0.3 mi.
6. Turn RIGHT onto CT-72	0.4 mi.
7. Turn RIGHT onto W. MAIN ST	0.4 mi.
8. Turn RIGHT onto W. MAIN ST	0.4 mi.
9. Turn RIGHT onto W. MAIN ST	0.4 mi.
10. Turn RIGHT onto W. MAIN ST	0.4 mi.
11. Turn RIGHT onto W. MAIN ST	0.4 mi.
12. Sign RIGHT onto W. MAIN ST	0.4 mi.
13. Turn RIGHT onto W. MAIN ST	0.4 mi.
14. Continue onto S. WINDSOR AVE	0.8 mi.
15. Turn LEFT onto W. MAIN ST	0.8 mi.
16. Turn LEFT onto W. MAIN ST	0.8 mi.
17. Sign LEFT onto W. MAIN ST, and the destination will be on the LEFT	0.3 mi.

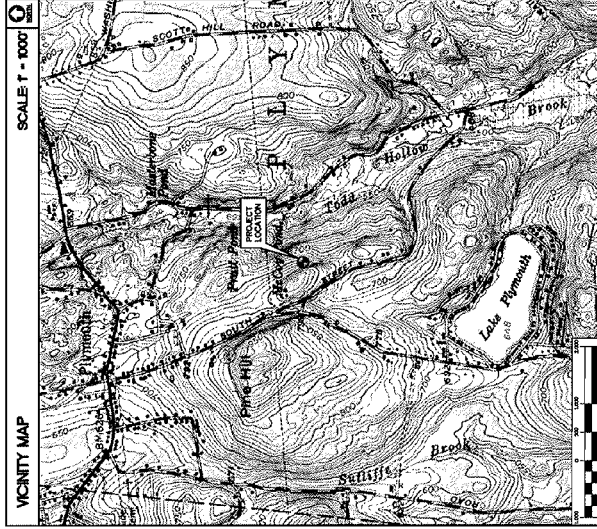
GENERAL NOTES

1. PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

SITE INFORMATION

THE SCOPE OF WORK SHALL INCLUDE:

1. THE CONSTRUCTION OF A 30'x50' FENCED WIRELESS COMMUNICATIONS COMPOUND WITHIN A 100'x100' LOT.
2. A 10'x10' LOT WITHIN THE 100'x100' LOT. ALL UTILITIES AND STRUCTURES ARE TO BE MAINTAINED AS EXISTING.
3. TOTAL ACCESS DRIVE LENGTH IS 525'± OFF OF KEEGAN ROAD VIA A PROPOSED 12' WIDE GRAVEL ACCESS DRIVE.
4. UTILITIES SHALL BE LOCATED AND MARKED BY THE PROPERTY OWNER. THE PROPOSED UTILITY LOCATIONS AND UTILITY ROUTING TO THE PROPOSED FENCED COMPOUND, FINAL DEMARC LOCATION AND UTILITY ROUTING TO PROPOSED BACKHOARD WILL BE DETERMINED BY THE PROPERTY OWNER. THE PROPOSED UTILITY LOCATIONS AND UTILITY ROUTING TO THE PROPOSED NORMAL 12'x30' WIRELESS EQUIPMENT SHELTER LOCATED WITHIN FENCED COMPOUND AREA.
5. FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE DEMO PLANS.
6. THE PROPOSED WIRELESS FACILITY REGULATIONS WILL BE OBSERVED IN ACCORDANCE WITH THE FEDERAL COMMUNICATIONS COMMISSION (FCC) REGULATIONS.
7. THERE WILL NOT BE ANY WORKING UNLESS REQUIRED BY THE FCC OR THE FAA.
8. THERE WILL NOT BE ANY SIGNS OR ADVERTISEMENTS ON THE ANTENNAS OR EQUIPMENT.



PROJECT SUMMARY

SITE NAME:	PLYMOUTH WEST RELO.
SITE ADDRESS:	33 KEEGAN ROAD PLYMOUTH, CT 06782
PROPERTY OWNER:	STEVEN A. WESTALL 100 DANBURY ST PLYMOUTH, CT 06782
LESSEE/TELECOM:	CELCO PARTNERSHIP 48 S. VERIZON WIRELESS EAST HARTFORD, CT 06108
CONTACT PERSON:	SANDY CARTER CELCO PARTNERSHIP 48 S. VERIZON WIRELESS EAST HARTFORD, CT 06108
TOWER COORDINATES:	UTM EASTING: 672427.44±0.01' NORTHING: 727027.44±0.01' GROUND ELEVATION: 828.17±0.1' A.M.S.L. CORRIDOR AND GROUND ELEVATION REFERENCED FROM NAD 83 DATUM. THE GROUND ELEVATION WAS OBTAINED FROM CONDUCT AND ASSOCIATES LLC, DATED JUNE 5, 2014. REVISION: NOVEMBER 18, 2014.

SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	0
C-1	ARBITERS MAP	0
C-1A	PARTIAL SITE PLAN	0
C-2	COMPOUND PLAN, ELEVATION AND ANTENNA MOUNTING CONFIGURATION	0
C-3	SITE CONSTRUCTION, SEE CONTRACT, NOTES AND DETAILS	0
C-4	DRAINAGE CONTROL, DETAILS	0
C-5	SITE DETAILS	0
C-6	SITE DETAILS AND SHELTER ELEVATIONS	0
C-7	SITE DETAILS AND SHELTER ELEVATIONS	0
C-8	SHELTER FOUNDATION PLAN, DETAILS AND NOTES	0

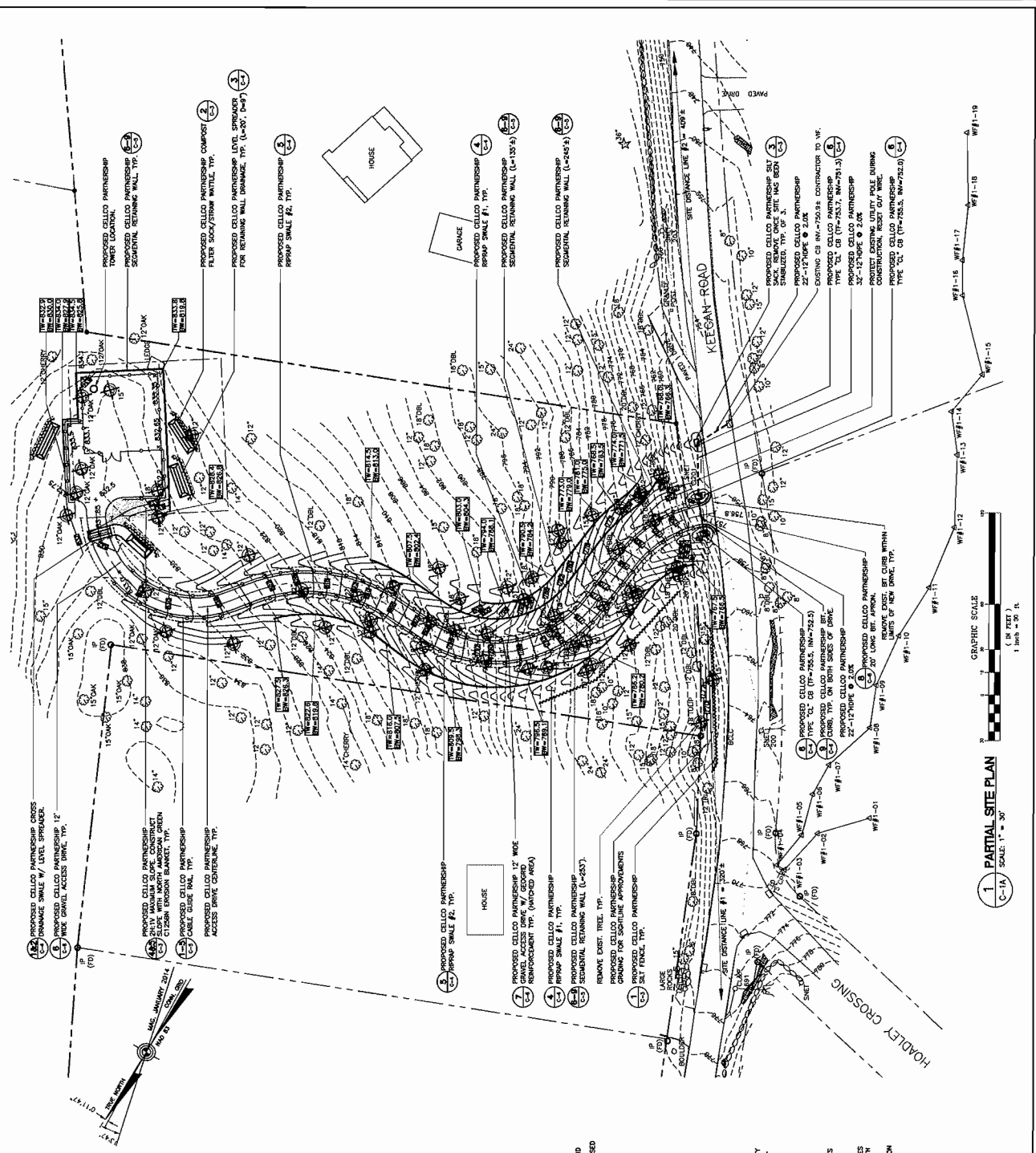
REV.	DATE	BY	CHKD BY	DESCRIPTION
0	12/17/14	MMB	QMO	C95 - ISSUED FOR CLIENT REVIEW

CELLCO PARTNERSHIP
 233 N. MAIN ST., SUITE 200
 HARTFORD, CT 06108
 TEL: 860.234.4400
 FAX: 860.234.4400
 WWW.CELCOPARTNERSHIP.COM

d.b.a. Verizon Wireless

WIRELESS COMMUNICATIONS FACILITY
 PLYMOUTH WEST RELO.
 33 KEEGAN ROAD
 PLYMOUTH, CT 06782

TITLE SHEET
 T-1
 1 of 8



MISCELLANEOUS SITE INFORMATION

DISTANCE TO NEAREST OFF SITE RESIDENCE*	215'±
DISTANCE TO NEAREST JURISDICTIONAL AGENCY	4010'±
ACCESS LENGTH OFF KEEGAN RD.	523'±
NUMBER OF INDIVIDUAL STRUCTURES WITHIN 100' OF TOWER	11±
TOTAL NUMBER OF TREES TO BE REMOVED	35
DISTANCE TO NEAREST PROPERTY LINE*	38'±

* DISTANCES TAKEN FROM CENTER OF TOWER

SYMBOLS LEGEND

---	PROPERTY LINE
---	EASEMENT LINE (PROPOSED)
---	EXISTING ROAD
---	ACCESS DRIVE (PROPOSED)
---	LEASE AREA (PROPOSED)
---	BOUNDARY LINE
---	GRADING LINE
○	UTILITY POLE
○	EXISTING DECIDUOUS TREE
○	EXISTING CONIFEROUS TREE
○	EXISTING DISJUNCTIVE TREE TO BE REMOVED
○	EXISTING CONIFEROUS TREE TO BE REMOVED
○	COMPOST FILTER SOCK/STRAW MAT/PILE
---	EXISTING TREE LINE
---	FENCE LINE
X	SPOT ELEVATION (PROPOSED)
---	EXISTING STONE WALL
---	WETLAND BOUNDARY
---	SALTATION FENCE

NOTES

THIS SURVEY MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-30B-1 THRU 20-30B-20 OF THE REGULATIONS OF THE CONNECTICUT STATE PLANNING AND ZONING COMMISSION. THE SURVEY MAP IS BASED ON THE SURVEY DATA AS PROVIDED BY THE CLIENT AND THE SURVEYOR'S FIELD NOTES AND IS BASED UPON A DEPENDENT SURVEY CONFORMING TO SURVEYING PRACTICES AND STANDARDS AS APPLICABLE TO THIS TYPE OF SURVEY. THE SURVEYOR HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE TO VERIFY THE ACCURACY OF THE SURVEY DATA PROVIDED BY THE CLIENT.

VERTICAL DATUM IS BASED ON NAVD 83.

COORDINATES REFER TO MAD 83.

PANEL, OWNER OF RECORD: STEVEN A. WESTALL, 100 MAIN STREET, PLYMOUTH, CT 06782.

PANEL AREA = 12.4± ACRES.

PANEL TO MAP 547, BLOCK 65 LOT 10A-1 PLYMOUTH ASSESSOR'S OFFICE.

PANELS LIES WITHIN A 1A1 ZONING DISTRICT.

EXISTING DRIVE BETWEEN LOTS 10A-1 & 18 IS BASED ON CORRECTED PLOT PLAN SUBMITTED TO THE PLANNING AND ZONING COMMISSION IN 1998 BY PLANNING AND ZONING DEPARTMENT.

PANEL IS NOT IN A FLOOD HAZARD ZONE ON THE FLOOD INSURANCE RATE MAP. THE FLOOD INSURANCE RATE MAP IS AVAILABLE AT THE PLANNING AND ZONING DEPARTMENT, 100 MAIN STREET, PLYMOUTH, CT 06782. THE PANEL NUMBER 0001138 0003 C. MAY REVEAL NOVEMBER 6, 1998, BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

NOT ALL IMPROVEMENTS SHOWN.

MAP REFERENCES:

1) MAP NO. 1001138, PROPERTY OF VULVA, A. WESTALL SOUTH STREET EXTENSION, PLYMOUTH, CONN. SCALE: 1"=200'. DATED: SEPT. 22, 1982. BY WATSON ASSOCIATES LAND SURVEYORS & CIVIL ENGINEERS.

2) MAP SHOWING PROPERTY OF STEVEN A. WESTALL SOUTH STREET EXTENSION, PLYMOUTH, CONN. SCALE: 1"=200'. DATED: SEPT. 22, 1982. BY WATSON ASSOCIATES LAND SURVEYORS & CIVIL ENGINEERS. THIS MAP WAS NOT FOUND IN THE PLYMOUTH LAND RECORDS, PLANNING OR ZONING DEPARTMENTS.

3) PROPERTY SURVEY MAP SHOWING REVISIONS TO LOT LINES PROPERTY SUBDIVISION, PLYMOUTH, CONN. SCALE: 1"=100'. DATED: APRIL 22, 1998. BY ROBERT GREEN ASSOCIATES L.L.C. SURVEYORS & ENGINEERS.

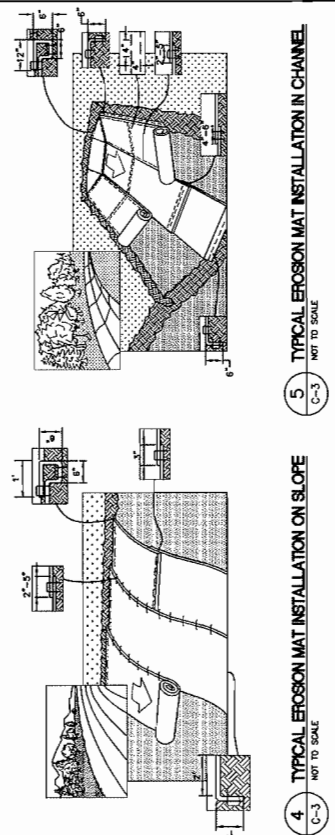
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID WITHOUT A LICENSE AND SEAL.

A. RAFAEL MARTINEZ, L.S. #18833

DATE: _____

EROSION CONTROL BLANKET STABILIZATION



- 4** TYPICAL EROSION MAT INSTALLATION ON SLOPE
NOT TO SCALE
- 5** TYPICAL EROSION MAT INSTALLATION IN CHANNEL
NOT TO SCALE
- STABILIZATION CRITERIA**
- CONTRACTOR SHALL IMPLEMENT EROSION CONTROL BLANKET SLOPE STABILIZATION & SMALL CONSTRUCTION WHEN STABLE EARTH CUTS ARE PREVALENT (IN LOCATIONS WITHOUT LARGE OR LARGE AMOUNTS OF SUBGRADE ROCK)
- STABILIZATION PRODUCT SPECIFICATION**
- NORTH AMERICAN GREEN, PRODUCT NUMBER C1289N, 24 MONTH BIODEGRADABLE.

- EROSION MAT ON SLOPES**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 - NOTE: WHEN USING CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE EDGE OF THE TRENCH. AFTER STAPLING, APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKET DOWN OR HORIZONTALLY ACROSS THE SLOPE. BLANKET WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL ROLLED EROSION CONTROL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY A 2'-5" OVERLAP DEPENDING ON BLANKET TYPE.
 - CONSECUTIVE ROLLED EROSION CONTROL BLANKET SPACED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 - * IN LARGE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKET.
 - THE EDGE OF THE BLANKET IS TO EXTEND A MINIMUM 24 INCHES BEYOND THE TOE OF THE SLOPE AND ANCHORED BY PLACING THE STAPLES/STAKES IN A 12 INCH DEEP x 6 INCH WIDE ANCHOR TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12 INCH APART IN THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING (STONE OR SOIL MAY BE USED AS BACKFILL).
 - REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN, MINIMUM 4 SPICES PER ONE SQ. FT.

- EROSION MAT IN CHANNEL**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 - BEGIN AT THE TOP OF THE CHANNEL, BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING; APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2'-5" AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH(TM) ON THE BLANKET BEING OVERLAPPED.
 - THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN. MINIMUM 4 SPICES PER ONE SQ. FT. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY MEANS. AREAS DAMAGED SHALL BE RE-INSTALLED, RESEED, AND REMOVED AS DIRECTED.

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN THE BLANKET WITH ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY MEANS. AREAS DAMAGED SHALL BE RE-INSTALLED, RESEED, AND REMOVED AS DIRECTED.

GENERAL CONSTRUCTION / PRE-CONSTRUCTION NOTES

- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, A MAJORITY ON-SITE PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED WITH THE VERTEON WIRELESS CONSTRUCTION MANAGER, CONTRACTOR'S CONSTRUCTION SUPERVISOR, THE PROJECT DESIGN AND SEDIMENTATION CONTROL/ENVIRONMENTAL MONITOR AND THE ENGINEER OF RECORD.

THIS IS A GENERAL CONSTRUCTION SCHEDULE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.

- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.
- CONSTRUCT CLOSED DRAINAGE SYSTEM, PRECIPITATION COLLECTOR INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS. CONSTRUCT ROWWAYS AND PERFORM SITE GRADING, PLACING MAT BARS AND SITUATION FENCES AS REQUIRED TO MAINTAIN THE PROPOSED CONSTRUCTION AREA.
- INSTALL UNDERGROUND UTILITIES.
- SMALT, OR AS REQUIRED, CONDUCT INSPECTION AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DUMPS, AND FENCES AND SEDIMENTATION CONTROL MEASURES INCLUDING STAPLING AND SEEDING. REPAIR AND MAINTAIN IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS.
- FINISH PAVING ALL ROADS, DRIVES, AND FINISH AREAS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REQUIRED AREAS.
- ALL MEASURES HAS BEEN FULLY DETAILED IN ALL SEEDING AREAS. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

SOIL EROSION AND SEDIMENT CONTROL SEQUENCE

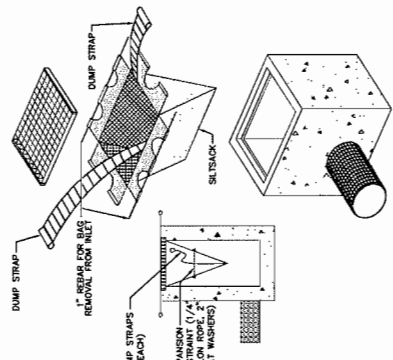
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS CONSTRUCTION ENTRANCE / ANTI TRACKING PAD, SITUATION FENCE, AND STAKE FENCE, / ANY BALE SHALL BE IN PLACE PRIOR TO ANY GRADING ACTIVITY. CONSTRUCTION IS COMPLETED AND/OR AREA IS STABILIZED.
- THE ENTRANCE TO THE PROJECT SITE IS TO BE PROTECTED BY STONE ANTI TRACKING PAD OF ASTM C-33, SIZE NO. 2 OR 3, OR 3/4" TO 1 1/2" CRUSHED GRAVEL. THE STONE ANTI TRACKING PAD IS TO BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- CONFORMANCE WILL BE KEPT TO A MINIMUM AND RESTORATIONS WILL BE SCHEDULED AS SHOWN AS PRACTICAL.
- ALL SOIL EROSION AND SEDIMENT CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL, INCLUDING THE LATEST DATE FROM THE COUNCIL ON SOIL AND WATER CONSERVATION.
- ANY SPECIAL EROSION/SEDIMENTATION CONTROL MEASURES NECESSARY BY TOWN SOLELY DURING CONSTRUCTION, SHALL BE INSTALLED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EROSION/SEDIMENTATION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN ENGINEER.
- IN ALL AREAS, REMOVE ALL BRUSH AND OTHER VEGETATION AS WELL AS DISTURBANCE OF THE SOIL IS TO BE KEPT TO AN ABSOLUTE MINIMUM. WHERE ALLOWED, PROPER DEVELOPMENT OF THE SITE, DURING CONSTRUCTION, SHOULD BE MAINTAINED AS FAR AS POSSIBLE FOR AS LONG AS POSSIBLE.
- ALL EROSION/SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL AREAS WHERE THE EROSION/SEDIMENTATION CONTROL MEASURES HAVE BEEN DISTURBED.
- SMALL DISCHARGE AREA WILL BE PROTECTED WITH RIP RAP (SHOULDER PAD) ENERGY DISSIPATOR.
- ALL EROSION/SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL AREAS WHERE THE EROSION/SEDIMENTATION CONTROL MEASURES HAVE BEEN DISTURBED.
- THE SOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MOIST CONDITION, WHICH THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SEEDING OR SEEDING.
- MAINTENANCE IS REQUIRED FOR AREAS IS STABLE. REMOVE SEEDS IN THE RIP RAP ENERGY DISSIPATORS.

CONSTRUCTION SPECIFICATIONS - SALT FENCE

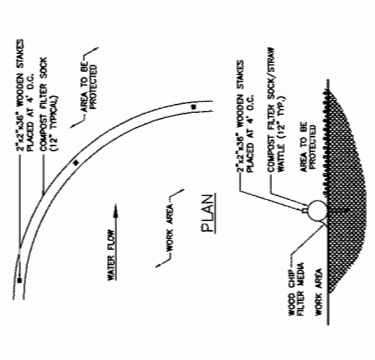
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SALT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE FABRIC.
- WORKER WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- WHEN TWO SECTIONS OF FENCE JOIN ALONG EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 38 INCHES LONG AND BURNED A MINIMUM OF 16 INCHES INTO THE GROUND. FENCE POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO PREVENT BUILD UP IN THE SALT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SALT FENCE

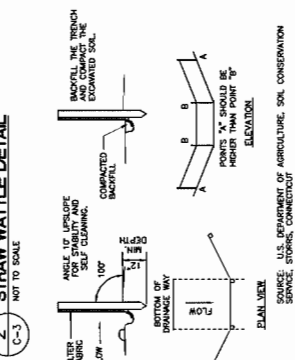
- SALT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DURING PROLONGED PERIODS OF DRY WEATHER. ANY DAMAGE TO THE FABRIC SHALL BE REPAIRED PROMPTLY.
- IF THE FABRIC ON A SALT FENCE SHOULD BECOME PROTRUDING DURING THE EXPECTED USE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- AREAS TO BE REMOVED SHALL BE REMOVED ON LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE CURED TO FURNISH WITH THE GEOTEXTILE, TEMPORARY PAD AND VEGETATION.



3 SILT SACK AT CATCH BASIN
NOT TO SCALE



2 TYP. COMPOST FILTER SOCK/
STRAW WATTLE DETAIL
NOT TO SCALE



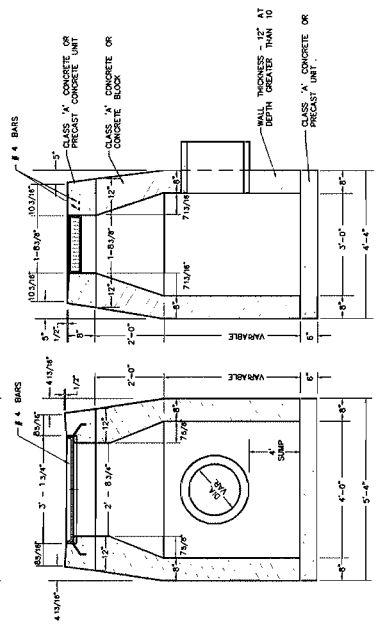
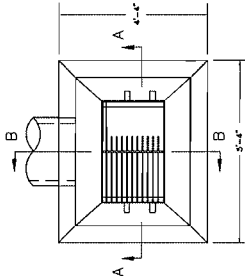
1 PLACEMENT AND CONSTRUCTION
OF SILTATION FENCE
NOT TO SCALE

Colco Partnership d/b/a Vertzon Wireless
VERTZON COMMUNICATIONS FACILITY
33 KEENEY ROAD
PLYMOUTH WEST RELO.
PLYMOUTH, CT 06782

www.Colco.com
www.Vertzon.com

REV.	DATE	BY	CHK'D BY	DESCRPTION
0	12/17/14	DMO	DMO	CCC - PREPARED FOR CLIENT REVIEW

SHEET NO. 3 OF 3



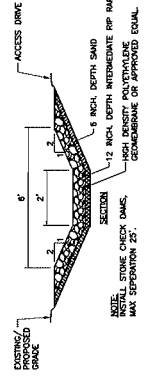
SECTION A-A

SECTION B-B

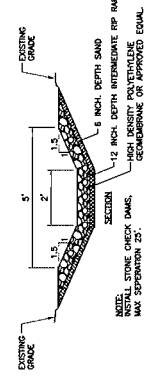
6 TYPE 'C-L' CB
C-4 NOT TO SCALE

MODIFIED RIP RAP SIZE CHART

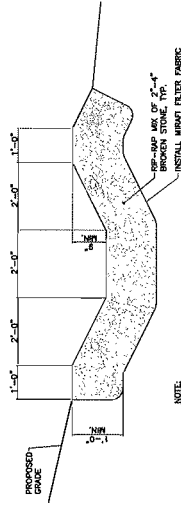
APPROXIMATE % OF MASS	MAX. DIAMETER
100	1.5" MAX OVER
90	1.5" TO 1.75"
80	1.5" TO 2.0"
70	1.5" TO 2.25"
60	1.5" TO 2.5"
50	1.5" TO 2.75"
40	1.5" TO 3.0"
30	1.5" TO 3.25"
20	1.5" TO 3.5"
10	1.5" TO 3.75"
0	LESS THAN 1"



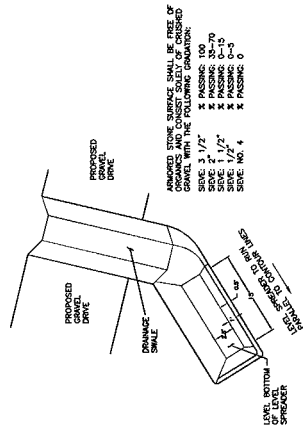
5 RIP RAP SWALE #2
C-4 NOT TO SCALE



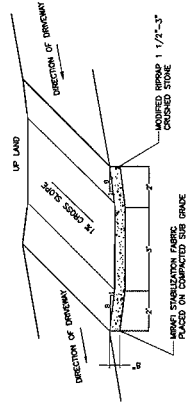
4 RIP RAP SWALE #1
C-4 NOT TO SCALE



3 LEVEL SPREADER SECTION
C-4 NOT TO SCALE



2 LEVEL SPREADER W/ CROSS DRAINAGE SWALE
C-4 NOT TO SCALE



1 CROSS DRAINAGE SWALE
C-4 NOT TO SCALE

NOTE: ALL LEVEL SPREADERS AND LOCATIONS IN THE AREA OF COMPOUND RETAINING WALLS SHALL BE INSTALLED TO MATCH THE SHOP DRAWINGS OF RETAINING WALL.

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ENHANCED STONE SERVICES SHALL BE FREE OF ORGANICS AND CONSIST SOLELY OF CRUSHED GRAVEL WITH THE FOLLOWING GRADATION:
 GRAVEL 1 1/2" X PASSING 30-70
 GRAVEL 1/2" X PASSING 0-15
 GRAVEL 1/4" X PASSING 0-10
 GRAVEL NO. 4

ENHANCED STONE SERVICES SHALL BE FREE OF ORGANICS AND CONSIST SOLELY OF CRUSHED GRAVEL WITH THE FOLLOWING GRADATION:
 GRAVEL 1 1/2" X PASSING 30-70
 GRAVEL 1/2" X PASSING 0-15
 GRAVEL 1/4" X PASSING 0-10
 GRAVEL NO. 4

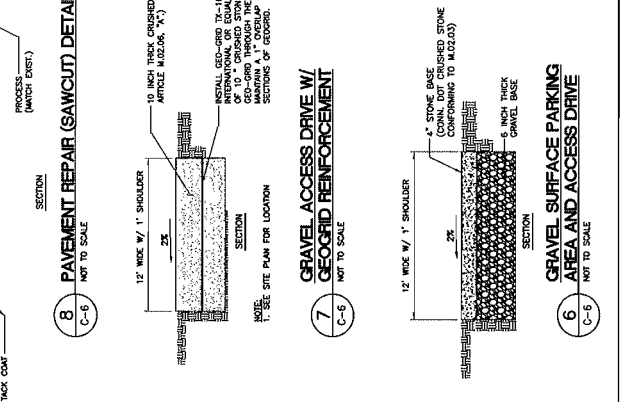
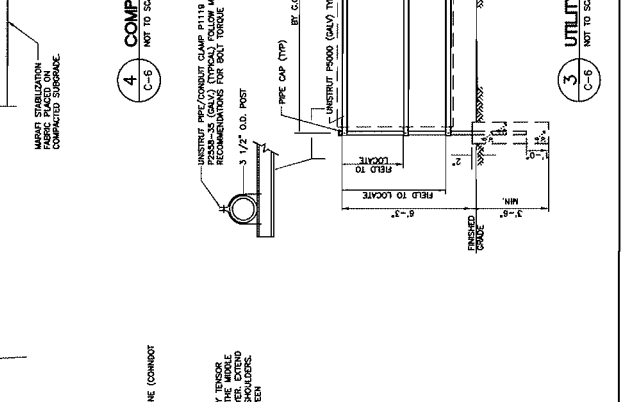
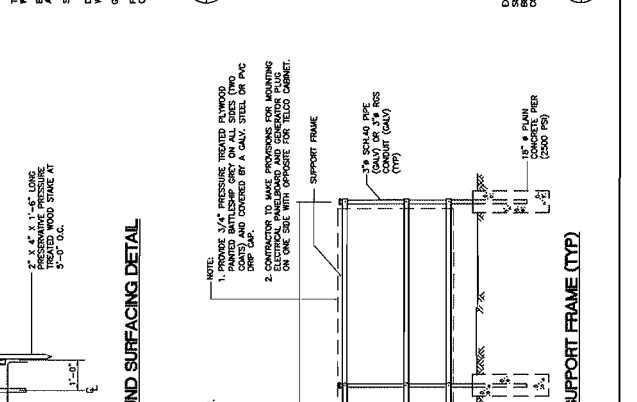
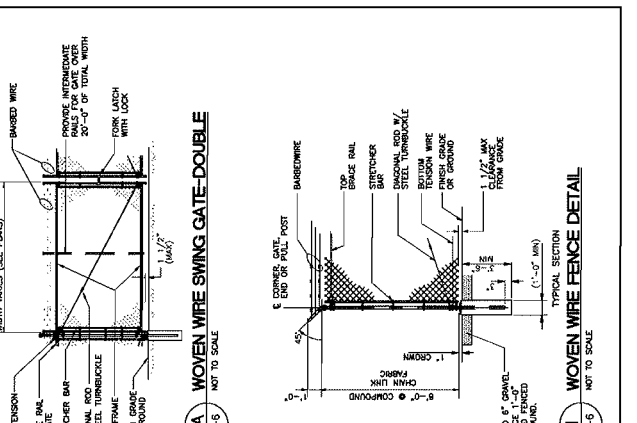
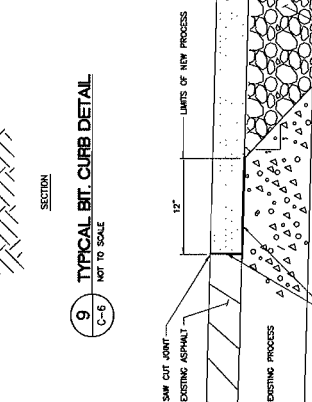
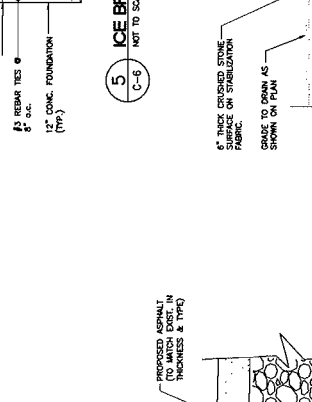
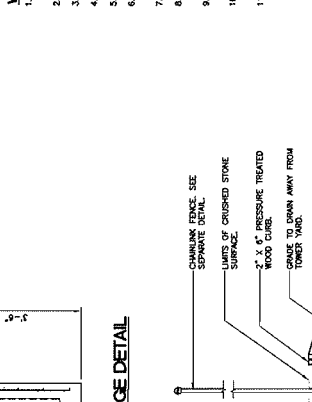
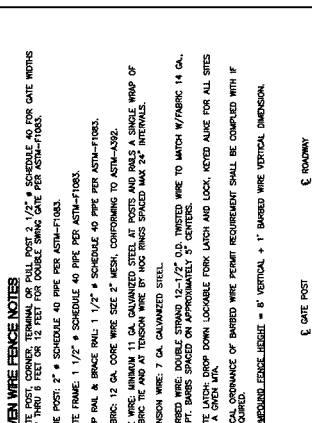
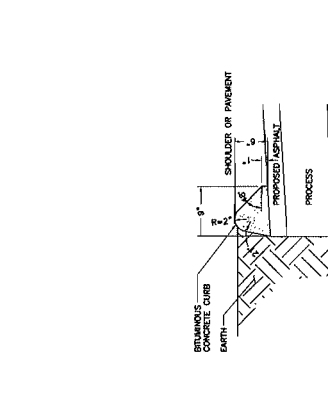
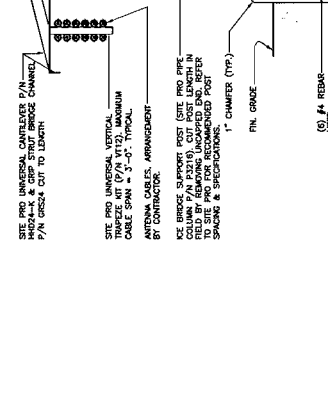
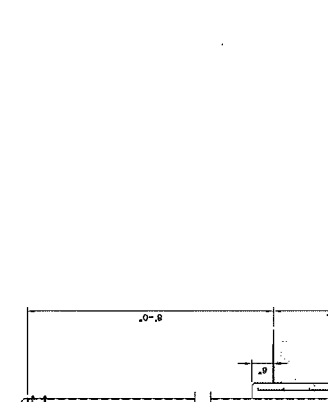
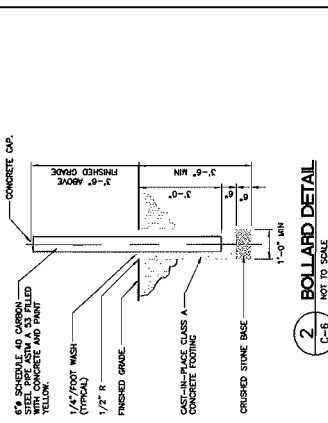
ENHANCED STONE SERVICES SHALL BE FREE OF ORGANICS AND CONSIST SOLELY OF CRUSHED GRAVEL WITH THE FOLLOWING GRADATION:
 GRAVEL 1 1/2" X PASSING 30-70
 GRAVEL 1/2" X PASSING 0-15
 GRAVEL 1/4" X PASSING 0-10
 GRAVEL NO. 4

NOTE: INSTALL STONE CHECK DAMS, HIGH DENSITY POLYETHYLENE GEOMEMBRANE OR APPROVED EQUAL. MAX SEPARATION 25'.

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WOMEN WIRE FENCE NOTES

- GATE POST: CORNER, TERMINAL OR PULL POST: 2 1/2" SCHEDULE 40 FOR GATE WIDTHS UP TO 10 FT. 1 1/2" SCHEDULE 40 FOR GATE WIDTHS GREATER THAN 10 FT.
- LINE POST: 2" SCHEDULE 40 PIPE PER ASTM-F1083.
- GATE FRAME: 1 1/2" SCHEDULE 40 PIPE PER ASTM-F1083.
- TOP RAIL & BRACE RAIL: 1 1/2" SCHEDULE 40 PIPE PER ASTM-F1083.
- FABRIC: 12 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A332.
- THE WIRE MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TO AND AT TENSION WIRE BY 180° RINGS SPACED MAX. 24" INTERVALS.
- TENSION WIRE: 7 GA. GALVANIZED STEEL.
- BARRED WIRE DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH W/FABRIC 14 GA. 4 FT. BARRES SPACED ON APPROXIMATELY 3' CENTERS.
- GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, KEYS ALIKE FOR ALL SITES.
- 4 FT. BARRES SPACED ON APPROXIMATELY 3' CENTERS.
- BACKLAP OF BARRED WIRE POINT REQUIREMENT SHALL BE COMPLIED WITH IF REQUIRED.
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- CONCURRED FENCE HEIGHT = 8' VERTICAL + 1' BARRED WIRE VERTICAL DIMENSION.

WOMEN WIRE FENCE NOTES (CONT.)

- CONCRETE CAP.
- 3/4" SCHEDULE 40 GALVANIZED STEEL PIPE WITH CONCRETE AND PAINT YELLOW.
- 1 1/4" FOOT MESH (TYPICAL)
- 1 1/2" R
- FINISHED GRADE
- CAST-IN-PLACE CLASS A CONCRETE FOOTING
- 3'-0" ABOVE
- 3'-0" MIN
- 1'-0" MIN
- CRUSHED STONE BASE

WOMEN WIRE FENCE NOTES (CONT.)

1. GATE POST: CORNER, TERMINAL OR PULL POST: 2 1/2" SCHEDULE 40 FOR GATE WIDTHS UP TO 10 FT. 1 1/2" SCHEDULE 40 FOR GATE WIDTHS GREATER THAN 10 FT.
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WOMEN WIRE FENCE NOTES (CONT.)

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- 3'-0" ABOVE
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- 1'-0" MIN
- CRUSHED STONE BASE

REV.	DATE	BY	CHKD BY	DESCRIPTION
0	12/17/14	MMB	OMO	CSP - ISSUED FOR CLIENT REVIEW

PROFESSIONAL ENGINEER SEAL

Colco Partnership
d/b/a Verizon Wireless

www.Centek.com
2020 48-48-00
2020 48-48-00
2020 48-48-00
2020 48-48-00
2020 48-48-00

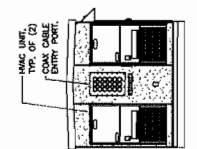
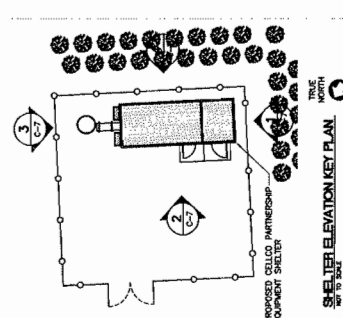
Colco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
PLYMOUTH WEST RELO.
33 KEEOGAN ROAD
PLYMOUTH, CT 06782

DATE: 12/17/14
SCALE: AS NOTED
JOB NO.: 13321.000

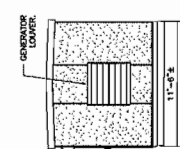
SITE DETAILS AND
SHELTER
ELEVATIONS

C-7

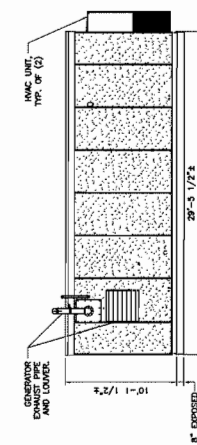
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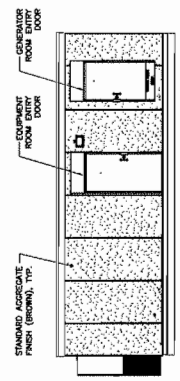
3 NORTHEASTERN SHELTER ELEVATION
SCALE: 3/16" = 1'-0"



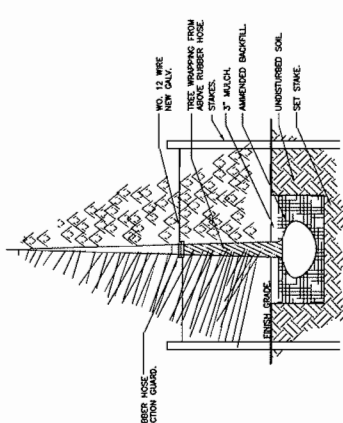
1 SOUTHWESTERN SHELTER ELEVATION
SCALE: 3/16" = 1'-0"



4 SOUTHEASTERN SHELTER ELEVATION
SCALE: 3/16" = 1'-0"



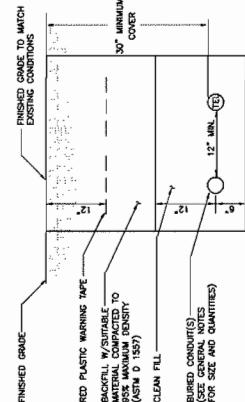
2 NORTHWESTERN SHELTER ELEVATION
SCALE: 3/16" = 1'-0"



TREE + SHRUB PLANTING SPECIFICATIONS

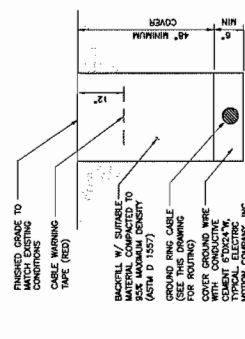
1. SIX WIRES (NO. 12 NEW GALV.) SHALL BE REQUIRED FOR ALL TREES 3 GAL AND LARGER.
2. SOIL MIX SHALL CONSIST OF: 3 PARTS TOP SOIL, 3 PARTS PEAT MOSS, 10 ONE PART PARTS SAND, 1 PART PARTS VERMICULITE, 1 PART PARTS PERLITE, 1 PART PARTS LARGER GRAIN OF ROOT BALL COVER WITH LANDSCAPE FABRIC, AND A MINIMUM OF 3" CEDAR MULCH.
3. TREES 8" AND OVER SHALL BE STAKED WITH 2 OAK STAKES 2" X 2" X 8' AND ONE WIRE TO STAKE.
4. ALL TREES AND SHRUBS MUST MEET OR EXCEED REQUIREMENTS SET BY THE NATIONAL ASSOCIATION OF NURSEMEIN, YEAR OF LATEST REVISION.

7 TYPICAL TREE PLANTING DETAIL
NOT TO SCALE



- NOTES:**
1. CLEAN FILL SHALL PASS THROUGH A 3/4" MESH SCREEN AND SHALL NOT CONTAIN SHARP STONES. OTHER BACKFILL SHALL NOT CONTAIN AGGREGATE, CHIPPED, SHELLS, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION.
 2. WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND AND PROTECT EXISTING UTILITIES.

5 TYPICAL ELECTRICAL/TEL TRENCH DETAIL
NOT TO SCALE



- NOTES:**
1. ALL CABLE SHALL NOT CONTAIN AGGREGATE, CHIPPED, SHELLS, FROZEN MATERIAL, LOOSE DEBRIS OR STONES LARGER THAN 2" IN MAXIMUM DIMENSION.
 2. WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL HAND AND PROTECT EXISTING UTILITIES.

6 TYPICAL BURIAL GROUND CABLE DETAIL
NOT TO SCALE

