

KENNETH C. BALDWIN

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Also admitted in Massachusetts

December 22, 2014

Via Certified Mail Return Receipt Requested

«Name_and_Address»

**Re: Cellco Partnership d/b/a Verizon Wireless
Proposed Telecommunications Facility at 99 East Street, Southington, Connecticut**

Dear «Salutation»:

Cellco Partnership d/b/a Verizon Wireless (“Cellco”) will be submitting an application to the Connecticut Siting Council (“Council”) on or about December 30, 2014, for approval of the construction of a telecommunications facility in the Town of Southington, Connecticut.

The proposed facility would consist of a new 90-foot tower, disguised as a pine tree, in the western portion of an approximately 27 acre Town-owned parcel at 99 East Street in Southington. Cellco’s radio equipment and a propane-fueled back-up generator would be installed inside a 12’ x 30’ shelter located at the base of the tower. Access to the facility would extend directly from East Street along an existing driveway used for the Town’s compost facility a distance of approximately 600 feet, then over a short gravel driveway extension an additional 160 feet to the cell site.

Site plan drawings for the proposed facility along with a site aerial photograph are attached for your review. The location and other features of the proposed facilities are subject to change under the provisions of Connecticut General Statutes § 16-50g et seq.

State law provides that owners of record of property which abuts a parcel on which a facility is proposed to be located must receive notice of the submission of this application. This notice is directed to you either because you may be an abutting land owner or as a courtesy notice.

December 22, 2014

Page 2

If you have any questions concerning the application, please direct them to either the Connecticut Siting Council or me. My address and telephone number are listed above. The Siting Council may be reached at its New Britain, Connecticut office at (860) 827-2935.

Very truly yours,





A handwritten signature in black ink, appearing to read "Kenneth C. Baldwin". The signature is fluid and cursive, with a long horizontal stroke at the end.

Kenneth C. Baldwin

KCB/kmd
Attachment



Legend

-  Proposed Stealth Structure Pine Tree
-  Proposed Facility Layout
-  Approximate Parcel Boundary (CTDEEP)
-  Approximate Subject Parcel Boundary

Base Map Source: 2012 Aerial Photograph (CTECO)
 Map Scale: 1 inch = 150 feet
 Map Date: November 2014



Aerial Photograph



Proposed Wireless
 Telecommunications Facility
 Southington East Street a/k/a Meriden Relo
 99 East Street
 Southington, Connecticut



Cellco Partnership



d.b.a. **verizon** wireless
WIRELESS COMMUNICATIONS FACILITY
SOUTHINGTON - EAST STREET
99 EAST STREET
SOUTHINGTON, CT 06489

SITE DIRECTIONS

FROM: 99 EAST RIVER DRIVE
 EAST HARTFORD, CONNECTICUT TO: 99 EAST STREET
 SOUTHINGTON, CONNECTICUT

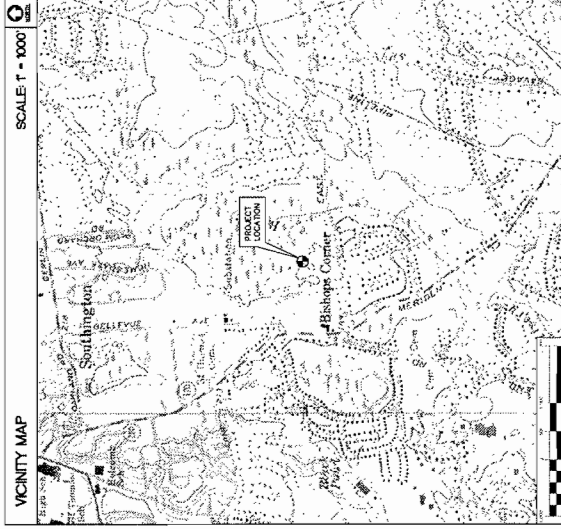
1. HEAD EAST ON E. RIVER DR. TOWARD DARWIN ST.
2. TAKE THE 1ST LEFT ONTO CONNECTICUT BLVD.
3. TURN LEFT TO MAKE OHTD 1-84
4. TAKE RT 32 FOR CT-10/QUEEN ST
5. TURN LEFT ONTO CT-120 S
6. TURN LEFT ONTO EAST ST. AND THE DESTINATION WILL BE ON THE LEFT

GENERAL NOTES

1. PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

SITE INFORMATION

1. THE SCOPE OF WORK SHALL INCLUDE:
 1. THE CONSTRUCTION OF A 50'x50' FENCED WIRELESS COMMUNICATIONS COMPOUND.
 2. A TOTAL OF UP TO TWELVE (12) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CEILING ELEVATION OF 80'-0" TO 85'-0" ON A 90'-0"x90' PROPOSED STEEL MONOPINE TOWER. POWER AND TELCO UTILITIES SHALL BE ROUTED UNDERGROUND FROM EXISTING RESPECTIVE COMPANIES. PANEL BEARING LOCATION AND UTILITY FOOTING TO PROPOSED BACKBOARD WILL BE PROVIDED BY THE LOCAL UTILITIES COMPANIES. UTILITIES WILL BE ROUTED UNDERGROUND FROM EXISTING COMPANIES TO THE WIRELESS COMPANIES' ANTENNA. 12'x20' WIRELESS COMPACT UTILITY LOCATED WITHIN FENCED COMPOUND AREA.
 3. FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE DAM PLANS.
 4. THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE 2009 CONNECTICUT SUPPLEMENT.
 5. THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE TEC OR THE FIA.
 6. THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.



PROJECT SUMMARY

PROJECT NAME: SOUTHINGTON - EAST STREET
 SITE ADDRESS: SOUTHINGTON, CT 06489
 PROPERTY OWNER: TOWN OF SOUTHINGTON
 75 MAIN STREET
 06489
 LESSOR/RENTOR: CELCO PARTNERSHIP
 99 EAST STREET
 EAST HARTFORD, CT 06108
 CONTACT PERSON: SANDY CARTER
 CELCO PARTNERSHIP
 99 EAST RIVER DRIVE
 EAST HARTFORD, CT 06108

TOWER COORDINATES: LATITUDE: 41-35-03.117"
 LONGITUDE: 72-42-58.117"
 COORDINATES AND GROUND ELEVATION BASED ON FIA
 83 DATUM. ANTENNA HEIGHTS AND GROUND ELEVATION
 WIRELESS BY MARTINEZ CONSULTING AND ASSOCIATES, DATED
 AUGUST 12, 2014. REVISED OCTOBER 20, 2014.

SHEET INDEX

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REV.	DATE	ISSUED BY	DESCRIPTION
0	10/15/14	MMR	ISSUED FOR CLIENT REVIEW
1	10/20/14	MMR	ISSUED FOR CT SHING CONSOLE
2	12/01/14	MMR	REVISION - SHING FOR SHING CONSOLE
3	12/17/14	MMR	REVISION - ISSUED FOR SHING CONSOLE

PERSONAL POWER SNA

Cellco Partnership
 d.b.a. Verizon Wireless

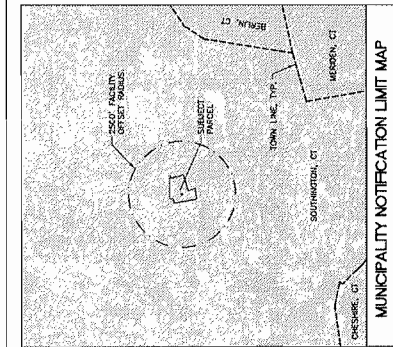
CMITK
 2301 Main Street
 Springfield, MA 01103
 413-242-1111
 www.cmitk.com

Southington, CT 06489
 99 EAST STREET
 WIRELESS COMMUNICATIONS FACILITY
 Cellco Partnership d/b/a Verizon Wireless

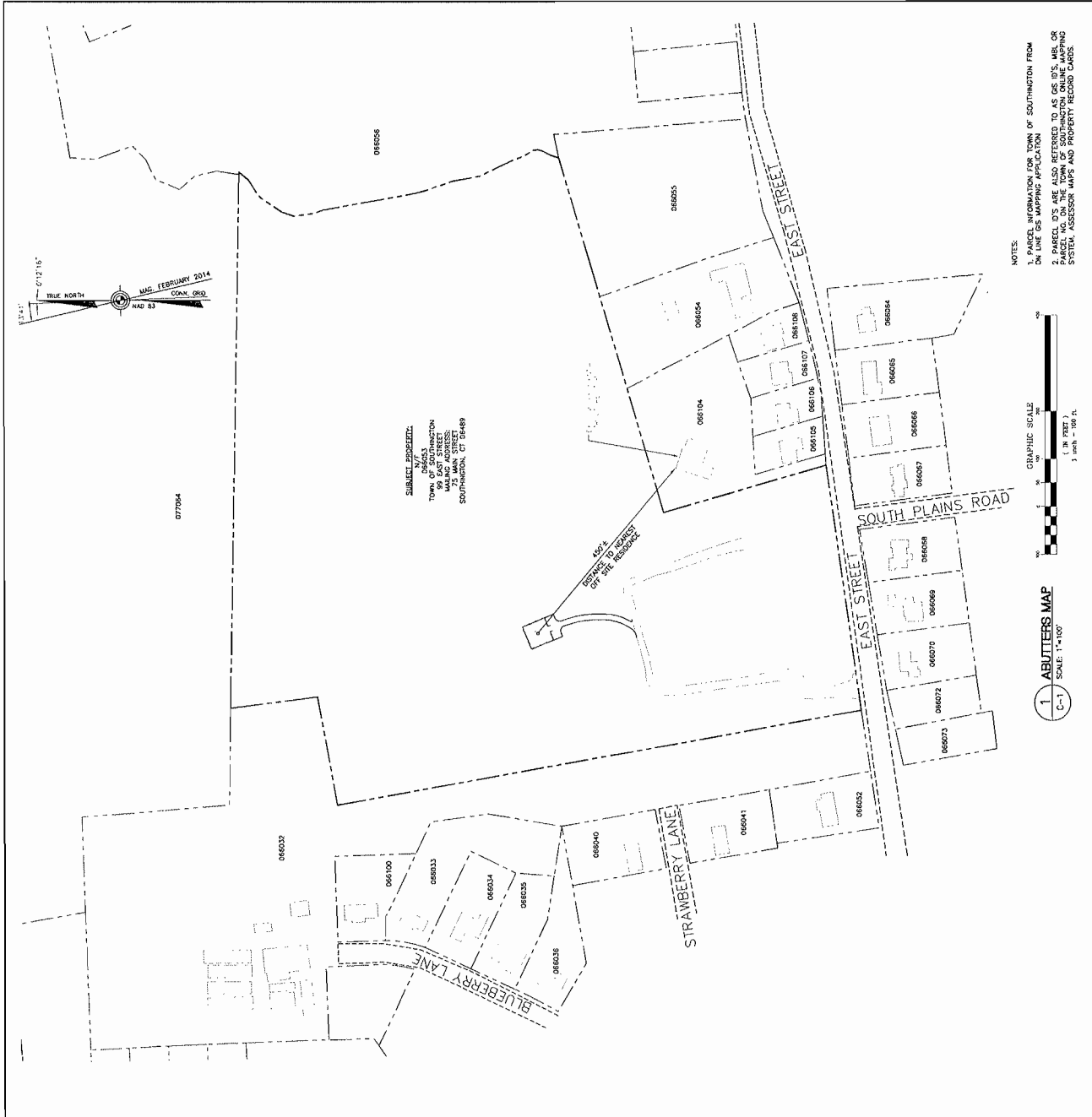
DATE: 10/15/14
 SCALE: AS SHOWN
 JOB NO.: 14050.000

TITLE SHEET

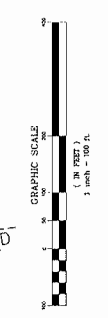
T-1
 Sheet No. 1 of 2



- MUNICIPALITY NOTIFICATION LIMIT MAP**
- N/T 068008 BAYBARD A. & JENSEN C. ANDREAU
TOWN OF SOUTHINGTON
189 EAST STREET
SOUTHINGTON, CT 06489
 - N/T 068009 CRESPIE, CT
 - N/T 068010 CRESPIE, CT
 - N/T 068011 CRESPIE, CT
 - N/T 068012 CRESPIE, CT
 - N/T 068013 CRESPIE, CT
 - N/T 068014 CRESPIE, CT
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 - N/T 068099 CRESPIE, CT
 - N/T 068100 CRESPIE, CT



NOTES:
 1. PARCEL INFORMATION FOR TOWN OF SOUTHINGTON FROM DR. LINE GIS MAPPING APPLICATION
 2. PARCEL IDS ARE ALSO REFERRED TO AS GIS IDS. GIS OR DR. LINE GIS MAPPING APPLICATIONS ARE NOT THE SAME AS THE GIS MAPPING SYSTEM, ASSESSOR MAPS AND PROPERTY RECORD CARDS.



1 ABUTTERS MAP
 C-1 SCALE: 1"=100'

REV.	DATE	BY	DESCRIPTION
0	10/12/14	JAM	ISSUED FOR CT SHAD COUNCIL - CLIENT REVIEW
1	10/20/14	JAM	ISSUED FOR CT SHAD COUNCIL
2	12/17/14	JAM	REVISED - ISSUED FOR CT SHAD COUNCIL
3	12/10/14	JAM	REVISED - ISSUED FOR CT SHAD COUNCIL

PROJECT NO. 1403.000
 DATE: 10/17/14
 SCALE: AS NOTED

Colico Partnership
 d/b/a Verizon Wireless

99 EAST STREET
 SOUTHINGTON, CT 06489

Colico Partnership d/b/a Verizon Wireless
 99 EAST STREET
 SOUTHINGTON, CT 06489

MISCELLANEOUS SITE INFORMATION	
DISTANCE TO NEAREST OFF SITE RESIDENCE*	450' ±
DISTANCE TO NEAREST MUNICIPALITY (MERIDEN, CT)	7,260' ±
ACCESS LENGTH OFF EAST ST.	780' ±
NUMBER OF RESIDENTIAL STRUCTURES WITHIN 1000' OF TOWER	405
TOTAL NUMBER OF TREES TO BE REMOVED	4
DISTANCE TO NEAREST PROPERTY LINE*	279' ±

* DISTANCES TAKEN FROM CENTER OF TOWER

SYMBOLS LEGEND	
PROPERTY LINE	---
EASEMENT LINE (PROPOSED)	---
EXISTING ROAD	---
ACCESS DRIVE (PROPOSED)	---
CONTOUR LINE	---
UTILITY POLE	---
UTILITY POLE	---
EXISTING CONIFEROUS TREE	---
EXISTING DECIDUOUS TREE	---
EXISTING OBSCURE TREE TO BE REMOVED	---
EXISTING OBSCURE TREE TO BE REMOVED	---
SELECTION FENCE / VARIABLY SLOTTED FENCE "SAWTOOTH"	---
FENCE LINE	---
SPOT ELEVATION (PROPOSED)	---
WETLAND BOUNDARY	---

SOURCE NOTES
 THIS SURVEY MAP WAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-200B-1, 1990-20-200B-20 OF THE REGULATIONS OF THE STATE OF CONNECTICUT. THE SURVEY MAPS IN THE STATE OF CONNECTICUT AS DESCRIBED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1991. THE SURVEY MAPS IN THE STATE OF CONNECTICUT AS DESCRIBED BY THE VERTICAL ACCURACY OF CLASS 1-2 AND IS INTENDED TO BE USED TO SUPPORT A PROPOSED TELECOMMUNICATION SITE.
 THIS PROPERTY IS OWNED BY CELCO PARTNERSHIP. THE CLIENT HAS BEEN ADVISED THAT THE PROPERTY IS SUBJECT TO A FLOOD ZONE AS SHOWN ON THE FLOOD HAZARD MAP OF THE TOWN OF SOUTHINGTON, CONNECTICUT, DATED OCTOBER 24, 1980. REVISED THROUGH JULY 22, 1992. BY RUSSELL S. ANDRES. PARCEL IS SUBJECT TO UTILITY EASEMENT TO THE CONNECTICUT LIGHT & POWER COMPANY AS SHOWN HEREON.
 ALL IMPROVEMENTS ARE NOT SHOWN.

MAP REFERENCE
 1. MAP OF THE LINE CORNER RELATIONSHIP BETWEEN MERIDEN AND EAST STREET, SOUTHINGTON, CONN. SCALE 1"=100', DATED OCTOBER 24, 1980. REVISED THROUGH JULY 22, 1992. BY RUSSELL S. ANDRES.
 TO MY KNOWLEDGE AND BELIEF THIS MAP IS ACCURATELY CORRECT AS NOTED HEREON.
 THIS MAP IS NOT VALID WITHOUT A LICENSE AND SEAL.

A. RAFAEL MARTINEZ LIS #10883 DATE

REV.	DATE	BY	CHK'D BY	DESCRIPTION
0	10/19/14	MMR	MMR	ISSUED FOR CT SHING CONC. - CLIENT REVIEW
1	10/20/14	MMR	MMR	REVISION - ISSUED FOR CT SHING CONC. - CLIENT REVIEW
2	12/17/14	MMR	MMR	REVISION - ISSUED FOR CT SHING CONC. - CLIENT REVIEW

PROFESSIONAL ENGINEER SEAL

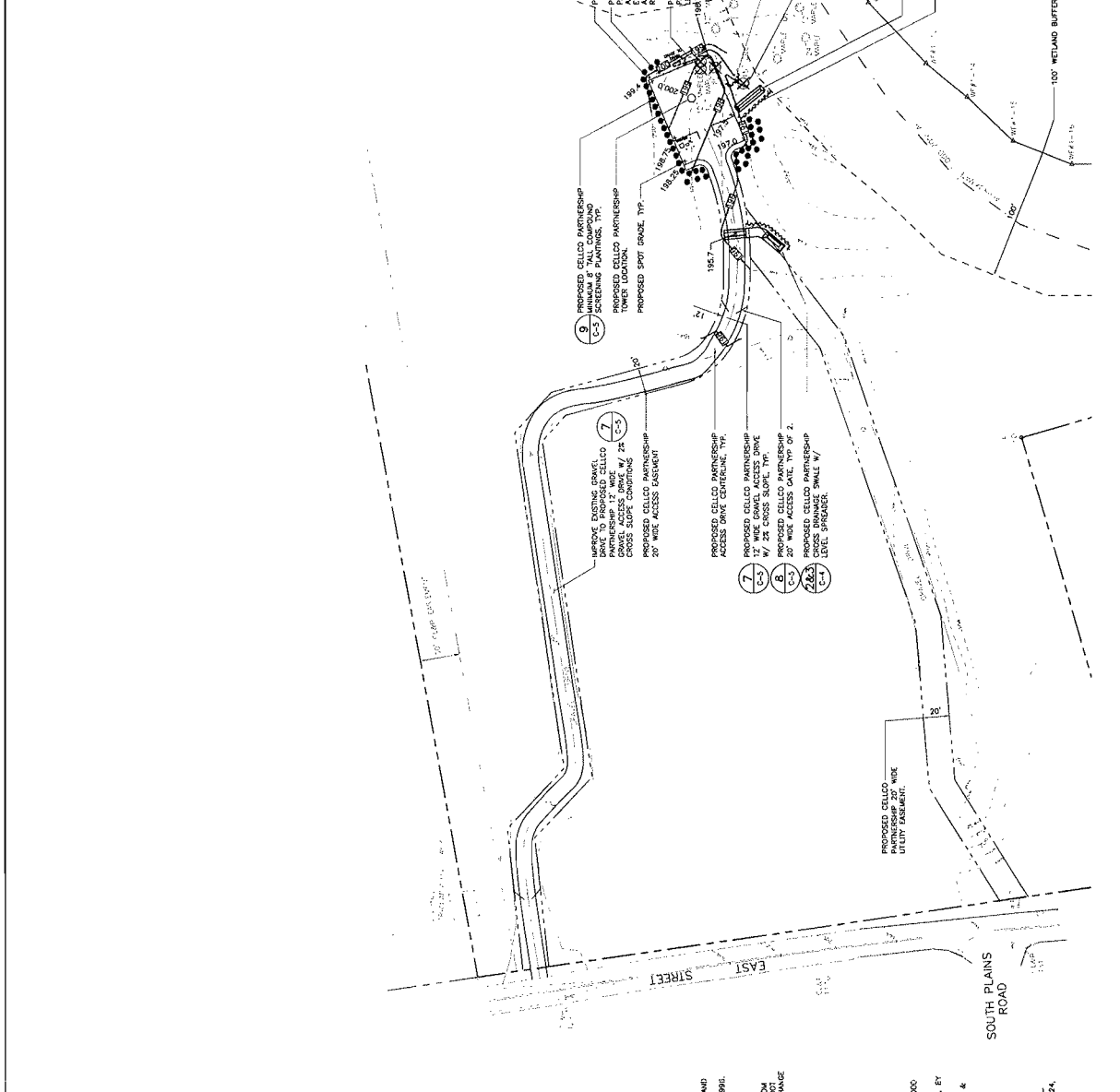
Colco Partnership
 d/b/a Verizon Wireless

Cellco Partnership d/b/a Verizon Wireless
 99 EAST STREET
 SOUTHINGTON, CT 06489

DATE: 10/21/14
 SCALE: AS SHOWN
 JOB NO.: 14032.000

PARTIAL SITE/SURVEY PLAN
 C-1A

Sheet No. 3 of 2



1 PARTIAL SITE/SURVEY PLAN
 C-1A SCALE 1"=40'

GRAPHIC SCALE
 1 inch = 40 ft

REV.	DATE	CHK'D BY	DESCRIPTION
3	12/17/14	MARK CFO	REVISED - RESUB FOR CT SIMS COUNCIL
2	12/09/14	MARK CFO	REVISED - RESUB FOR CT SIMS COUNCIL
1	06/15/14	MARK CFO	REVISED FOR CT SIMS COUNCIL - CLIENT REVIEW
0			

PERSONNEL: DOMENEC SPA

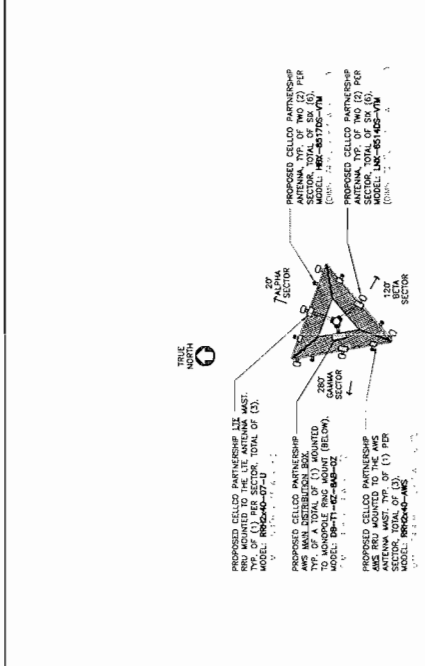
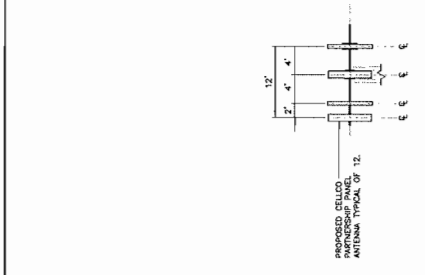
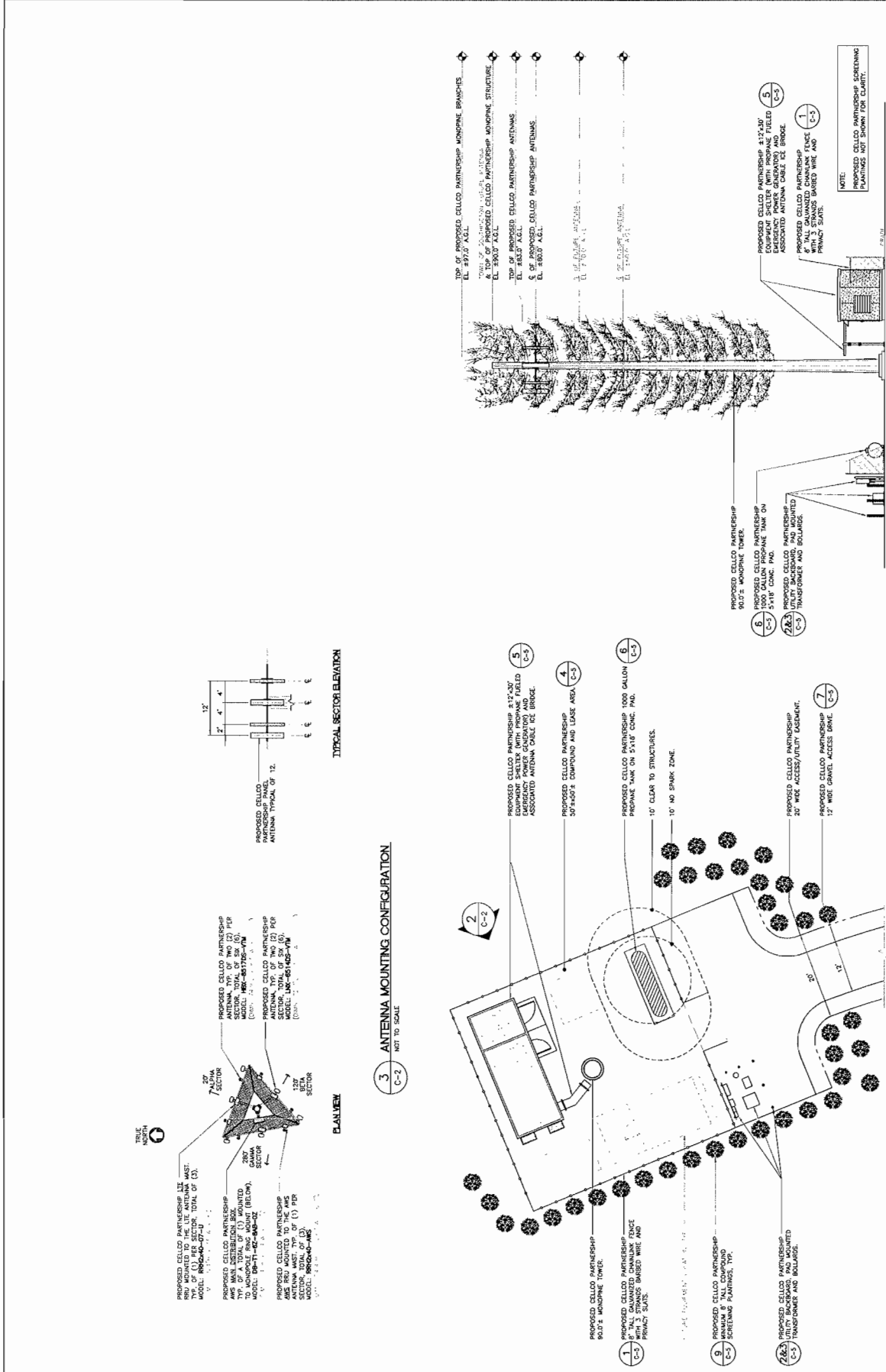
Cellco Partnership
d/b/a Verizon Wireless

99 EAST STREET
SOUTHINGTON, CT 06489

DATE: 12/17/14
SCALE: AS SHOWN
JOB NO.: 14050000

COMPOUND PLAN,
ELEVATION AND
ANTENNA
MOUNTING CONFIG.
C-2

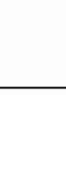
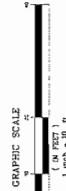
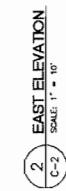
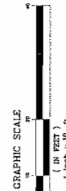
Sheet No. 5 of 5



TYPICAL SECTOR ELEVATION

PLAN VIEW

3 ANTENNA MOUNTING CONFIGURATION
SCALE: 1" = 10'



NOTE:
PROPOSED CELLO PARTNERSHIP SCREENING PLANNINGS NOT SHOWN FOR CLARITY.

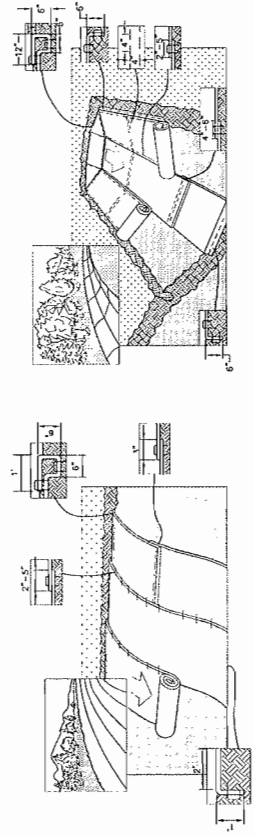
NOTE:
PROPOSED CELLO PARTNERSHIP SCREENING PLANNINGS NOT SHOWN FOR CLARITY.

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PROPOSED CELLO PARTNERSHIP SCREENING PLANNINGS NOT SHOWN FOR CLARITY.

EROSION CONTROL BLANKET STABILIZATION



3 TYPICAL EROSION MAT INSTALLATION ON SLOPE
C-3 NOT TO SCALE

4 TYPICAL EROSION MAT INSTALLATION IN CHANNEL
C-3 NOT TO SCALE

STABILIZATION CRITERIA

- CONTRACTOR SHALL IMPLEMENT EROSION CONTROL BLANKET SLOPE STABILIZATION & SWALE CONSTRUCTION WHEN STABLE EARTH CUTS ARE PREVALENT IN LOCATIONS WITH/SLIDE OR LARGE AMOUNTS OF SUBGRADE ROCK

STABILIZATION PRODUCT SPECIFICATION

- NORTH AMERICAN GREEN, PRODUCT NUMBER 15309A, 12 MONTH BIODEGRADABLE.
- #### EROSION MAT ON SLOPES
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIMC, FERTILIZER, AND SEED.
 - NOTE WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH WITH A MINIMUM OF 24 INCHES OF SOIL. STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN. WHEN USING THE DOT SYSTEM[™], STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - ROLL THE BLANKET DOWN OR HORIZONTALLY ACROSS THE SLOPE. BLANKET WILL UNROLL WITH APPROPRIATE SIDE BARRIER. THE SOIL SURFACE, ALL ROLLED EROSION CONTROL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM[™], STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY A 2"-3" OVERLAP DEPENDING ON BLANKET TYPE.
 - CONSECUTIVE ROLLED EROSION CONTROL BLANKET SHOULD BE PLACED END OVER END WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 - IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKET.
 - THE EDGE OF THE BLANKET & TO EXTEND A MINIMUM 24 INCHES BEYOND THE TOE OF THE SLOPE AND ANCHORED BY PLACING THE STAPLES/STAKES IN A 12 INCH DEEP x 6 INCH WIDE ANCHOR TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12 INCH APART IN THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING (STONE OR SOIL MAY BE USED AS BACKFILL).
 - REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN. MINIMUM 4 SPIKES PER ONE SQ. FT.

EROSION MAT IN CHANNEL

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE CHANNEL. BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE DOWN-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL ROLLED EROSION CONTROL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM[™], STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH[™] ON THE BLANKET BEING OVERLAPPED.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN. MINIMUM 4 SPIKES PER ONE SQ. FT. THE CONTRACTOR SHALL MAINTAIN THE BLANKET TIGHT TO THE SOIL SURFACE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ALL DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFRUITED, RESEED, AND REMULCHED AS DIRECTED.

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFRUITED, RESEED, AND REMULCHED AS DIRECTED.

GENERAL CONSTRUCTION / PRE-CONSTRUCTION NOTES

- PROPS TO COMPLETION OF ANY CONSTRUCTION ACTIVITIES. A MANDATORY ON-SITE PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED WITH THE VERIZON WIRELESS CONSTRUCTION MANAGER, CONTRACTORS CONSTRUCTION MANAGER, THE PROJECT ENGINEER AND REPRESENTATION CONTROL/ENVIRONMENTAL MONITOR AND THE ENGINEER OF RECORD.

GENERAL CONSTRUCTION SEQUENCE

THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.

- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.
- CONSTRUCT CLOSED SWALE/SYSTEM. PRECEPT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
- CONSTRUCT ROADS AND TEMPORAL SITE GRADING, PLACING ANY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- INSTALL UNDERGROUND UTILITIES.
- REMOVE TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED PRIOR TO REMOVAL OF EROSION CONTROL MEASURES. NO AREA SHALL BE LEFT UNPROTECTED FOR A PERIOD OF MORE THAN 30 DAYS.
- DAILY OR AS REQUIRED, CONDUCT INSPECT AND IF NECESSARY, RECONSTRUCT TEMPORARY BERM, DRAIN, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
- INSTALL PERMANENT SEDIMENT CONTROL MEASURES.
- NO FLOW SHALL BE DIVERTED TO ANY RETAINAGE UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REPAIRED AREAS.
- AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

SOIL EROSION AND SEDIMENT CONTROL SEQUENCE

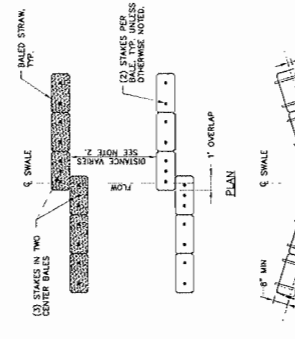
- ALL SOIL EROSION AND SEDIMENT CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL INCLUDING THE LATEST DATE FROM THE COUNCIL ON SOIL AND WATER CONSERVATION.
- ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL DEMAND NECESSARY BY TOWN STAFF DURING CONSTRUCTION, SHALL BE INSTALLED IMMEDIATELY. ANY SWALE SHALL BE IN PLACE PRIOR TO ANY GRADING ACTIVITY. REPAIR/REPLACEMENT/MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN STAFF.
- ALL EROSION CONTROL MEASURES SHALL BE ACCEPTED TO AN ADEQUATE MINIMUM WHILE ALLOWING PROPER DEVELOPMENT OF THE SITE DURING CONSTRUCTION. EROSION SHALL BE KEPT TO A MINIMUM AND RESTORATIONS WILL BE SCHEDULED AS SOON AS POSSIBLE.
- SLATION FENCE SHALL BE PLACED AS INDICATED BEFORE A CUT SLOPE HAS BEEN CREATED. SEDIMENT TRAPS SHALL BE INSTALLED IN AREAS NOT TO BE SEED OR MULCHED TO EROSION. TO BE USED IN AREAS WHICH ARE NOT TO BE SEED OR MULCHED. STAPLES SHALL BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE STAPLE PATTERN. THE FENCE IS TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFECTIVE SILTATION CONTROL UNTIL ALL AREAS ABOVE THE EROSION CHOICES ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- SMALL DRAINAGE AREA WILL BE PROTECTED WITH RMP SPASH PAD/ EROSION DESPATER.
- ALL FILL AREAS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
- ALL SLOPES SHALL BE SEEDED IMMEDIATELY TO PREVENT EROSION. WHEN THE BARRIERS IS EROSION, THE SOIL FOR A MINIMUM OF 24 HOURS SHALL BE DETERMINED TO PROPER SEEDING OR RESEEDING OR SEEDING.
- AFTER CONSTRUCTION IS COMPLETE AND GROUND IS STABLE, REMOVE SITES IN THE RMP EROSION DESPATER. REMOVE OTHER EROSION AND SEDIMENT DEVICES.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

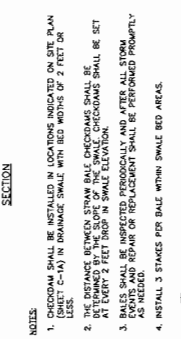
- THE EROSION FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE ENCASED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE ENCASED FABRIC.
- WORKER WIRE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIED ON STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH RES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WOOD STAPLES SHALL BE PLACED AT 4' INTERVALS ALONG EACH STAPLE. THEY SHALL BE OVERLAPPED BY 1/2 INCHES, ROLLED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 38 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SILT FENCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED IMMEDIATELY.
- SEDIMENT SHOULD BE INSPECTED AFTER EACH STORM. IF THE DEPOSITS SHOULD BE REMOVED WHICH THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



1 TYP. STRAW BALE CHECKDAM (NARROW SWALE)
C-3 NOT TO SCALE



1 SILTATION FENCE/STRAW BALE SILTATION FENCE 'SANDWICH' EROSION CONTROL
C-3 NOT TO SCALE

REV.	DATE	BY	CHK'D BY	DESCRIPTION
1	10/20/14	MMB	MMB	ISSUED FOR SETTING CONE - CLEAN REVIEW
2	12/17/14	MMB	MMB	REVISED - ISSUED FOR SETTING CONE - CLEAN REVIEW
3	12/17/14	MMB	MMB	ISSUED FOR SETTING CONE - CLEAN REVIEW

230 River Street, Suite 200, Southington, CT 06489

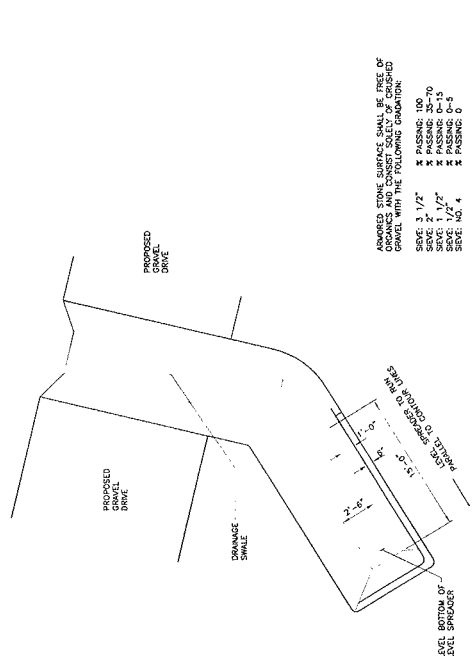
99 EAST STREET, SOUTHINGTON - EAST STREET, SOUTHINGTON, CT 06489

10/17/14

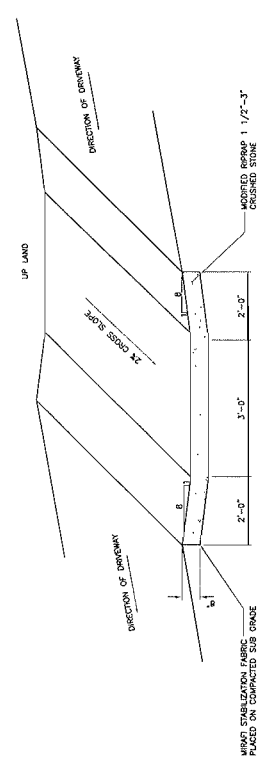
99 EAST STREET, SOUTHINGTON - EAST STREET, SOUTHINGTON, CT 06489

SHEET NO. 1 OF 3

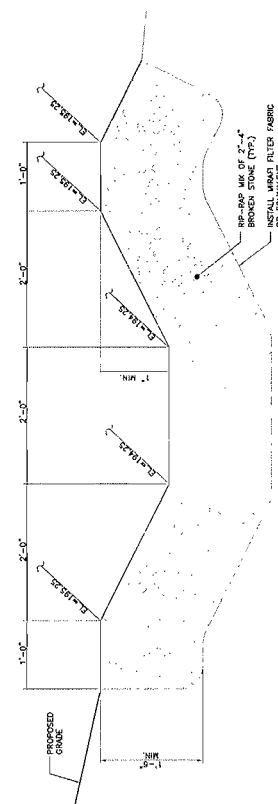
Calico Partnership d/b/a Verizon Wireless 99 EAST STREET SOUTHINGTON, CT 06489		DATE: 10/13/14 SCALE: AS NOTED JOB NO.: 14020.000
Calico Partnership d/b/a <i>Verizon Wireless</i>		DRAINAGE CONTROL DETAILS C-4 Sheet No. 5 of 5
PROFESSIONAL ENGINEER SEAL NO. _____ EXPIRES _____ STATE _____	CONSTRUCTION CONTRACT NO. _____ PROJECT NO. _____ SHEET NO. _____	PROJECT: VERIZON WIRELESS COMMUNICATIONS FACILITY LOCATION: SOUTHINGTON, CT 06489
REVISIONS NO. DATE BY DESCRIPTION 1 10/13/14 JHM CRG ISSUED FOR CT SHANG CONCISE - CLIENT REVIEW 2 12/17/14 JHM CRG REVISIONS - ISSUED FOR CT SHANG CONCISE 3 12/18/14 JHM CRG REVISIONS - ISSUED FOR CT SHANG CONCISE 4 10/20/14 JHM CRG ISSUED FOR CT SHANG CONCISE 5 10/13/14 JHM CRG ISSUED FOR CT SHANG CONCISE - CLIENT REVIEW		



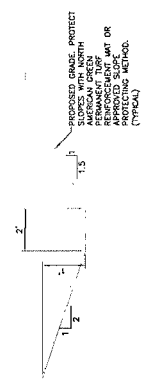
3 LEVEL SPREADER W/ CROSS DRAINAGE SWALE
 C-4 NOT TO SCALE



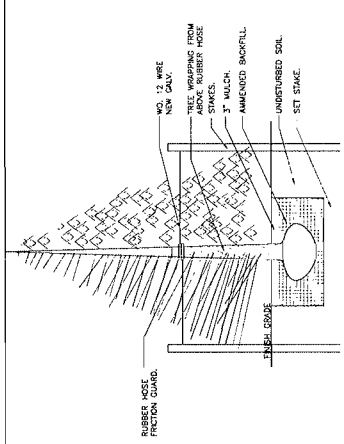
2 CROSS DRAINAGE SWALE
 C-4 NOT TO SCALE



1 LEVEL SPREADER SECTION
 C-4 NOT TO SCALE

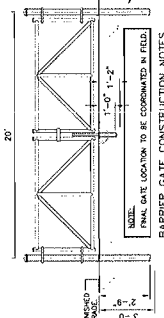


4 TYPICAL SWALE SECTION
 C-4 NOT TO SCALE



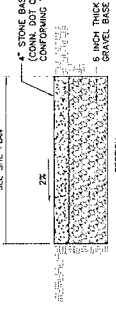
9 TYPICAL TREE PLANTING DETAIL
C-5 NOT TO SCALE

- TREE & SHRUB PLANTING SPECIFICATIONS.**
- CUT WIRE (NO. 12 NEW GALV) SHALL BE REQUIRED FOR ALL TREES 3" CAL. AND LARGER.
 - COMPOSITE COW MANURE AND 1" O.C. S.W. MULCH PER EVERY 2" IN. OF TRUNK DIA. OF ROOT BALL COVER WITH LANDSCAPE FABRIC, AND A MINIMUM OF 3" CEDAR MULCH.
 - TREES 5" AND OVER SHALL BE STAKED WITH 2 1/2" DIA. STAKES 2" X 2" X 6" AND CUT WIRE TO STAKES ACCORDING TO UNIVERSAL YEAR OF LATEST REVISION.

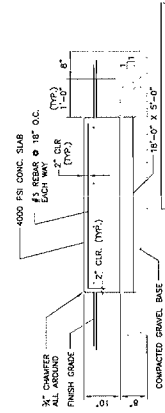


8 BARRIER GATE DETAIL
C-5 NOT TO SCALE

- BARRIER GATE CONSTRUCTION NOTES**
- GATE POSTS & SCHEDULE 40 PIPE PER ASTM-F1083.
 - GATE FRAME: 2" X 4" SCHEDULE 40 PIPE PER ASTM-F1083.
 - 3/4" DIA. GALVANIZED STEEL AT POSTS AND MAKE A SINGLE WHIP OF FABRIC TIE AND AT TENSION WIRE BY 400 BRIMS SPACED MAX 24" INTERVALS.
 - INDUSTRIAL BRIP WOOD AND LATCH.
 - FINISH CAPS ON POSTS AND TENSION.

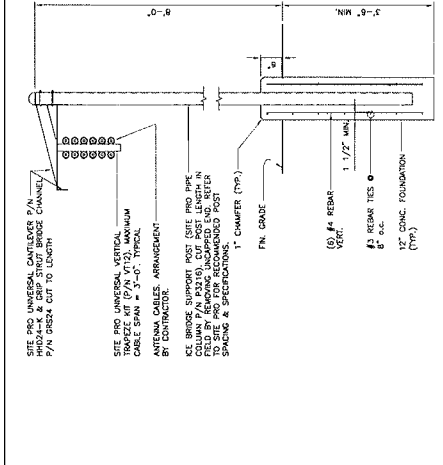


7 GRAVEL SURFACE PARKING AREA AND ACCESS DRIVE
C-5 NOT TO SCALE

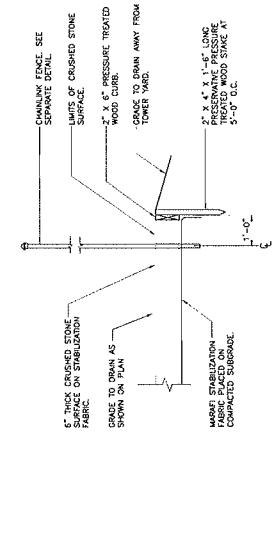


6 PROpane TANK PAD DETAIL
C-5 NOT TO SCALE

- NOTE: ALL PROpane TANKS MUST BE SET ON RECOMMENDED HOLD-DOWN ANCHORAGE.**



5 ICE BRIDGE DETAIL
C-5 NOT TO SCALE

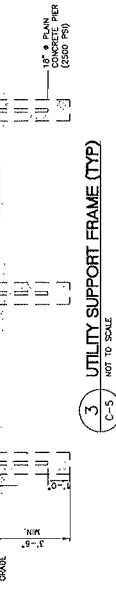


4 COMPOUND SURFACING DETAIL
C-5 NOT TO SCALE

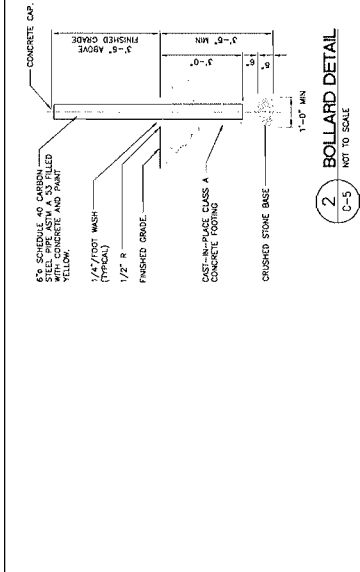


3 UTILITY SUPPORT FRAME (TYP)
C-5 NOT TO SCALE

- NOTE:**
- PAINTED 3/4" PRESSURE TREATED PLYWOOD BATTLEMESH SET ON ALL SIDES (TWO SIDES MINIMUM) AND COVERED BY A GALV. STEEL OR PAC DRAIN.
 - CONTRACTOR TO MAKE PROVISIONS FOR MOUNTING ELECTRICAL PANELBOARD AND GENERATOR PUMP ON ONE SIDE WITH OPPOSITE FOR TELLER CABINET.

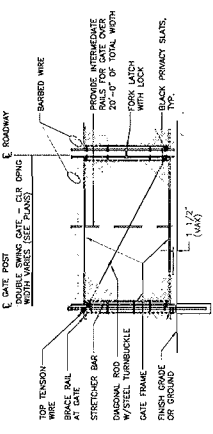


1 WOVEN WIRE FENCE DETAIL
C-5 NOT TO SCALE

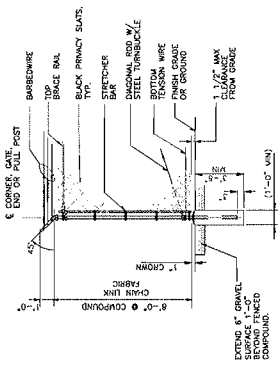


2 BOLLARD DETAIL
C-5 NOT TO SCALE

- WOVEN WIRE FENCE NOTES**
- GATE POST, CORNER, TERMINAL OR RAIL POST: 2 1/2" X 4" SCHEDULE 40 PIPE PER ASTM-F1083 UP THRU 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
 - LINE POST: 2" X 4" SCHEDULE 40 PIPE PER ASTM-F1083.
 - GATE FRAME: 1 1/2" X 4" SCHEDULE 40 PIPE PER ASTM-F1083.
 - TOP RAIL & BRACE RAIL: 1 1/2" X 4" SCHEDULE 40 PIPE PER ASTM-F1083.
 - FABRIC: 12 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A332.
 - TIE WIRE: MINIMUM 12 GA. GALVANIZED STEEL AT POSTS AND MAKE A SINGLE WHIP OF FABRIC TIE AND AT TENSION WIRE BY 400 BRIMS SPACED MAX 24" INTERVALS.
 - TENSION WIRE: 7 GA. GALVANIZED STEEL.
 - BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. WITTED WIRE TO MATCH W/FABRIC 14 GA. 4 FT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
 - GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, TESTED ALICE FOR ALL SITES IN A GIVEN AREA.
 - LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED WITH F ORIGINATING AGENCY.
 - CONCRETE FENCE HEIGHT = 6" VERTICAL + 1" BARBED WIRE VERTICAL DIMENSION.



1A WOVEN WIRE SWING GATE-DOUBLE
C-5 NOT TO SCALE



1 WOVEN WIRE FENCE DETAIL
C-5 NOT TO SCALE

DATE	BY	DESCRIPTION
12/17/14	HAER	REVISED - ISSUED FOR ST SHING CONDUIT
10/29/14	HAER	REVISED FOR ST SHING CONDUIT - OLIVER PERMIT
10/15/14	HAER	ISSUED FOR ST SHING CONDUIT
09/19/14	HAER	ISSUED FOR ST SHING CONDUIT

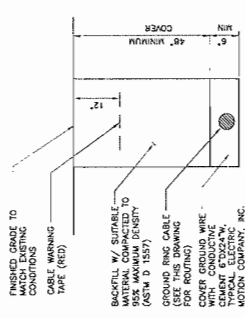
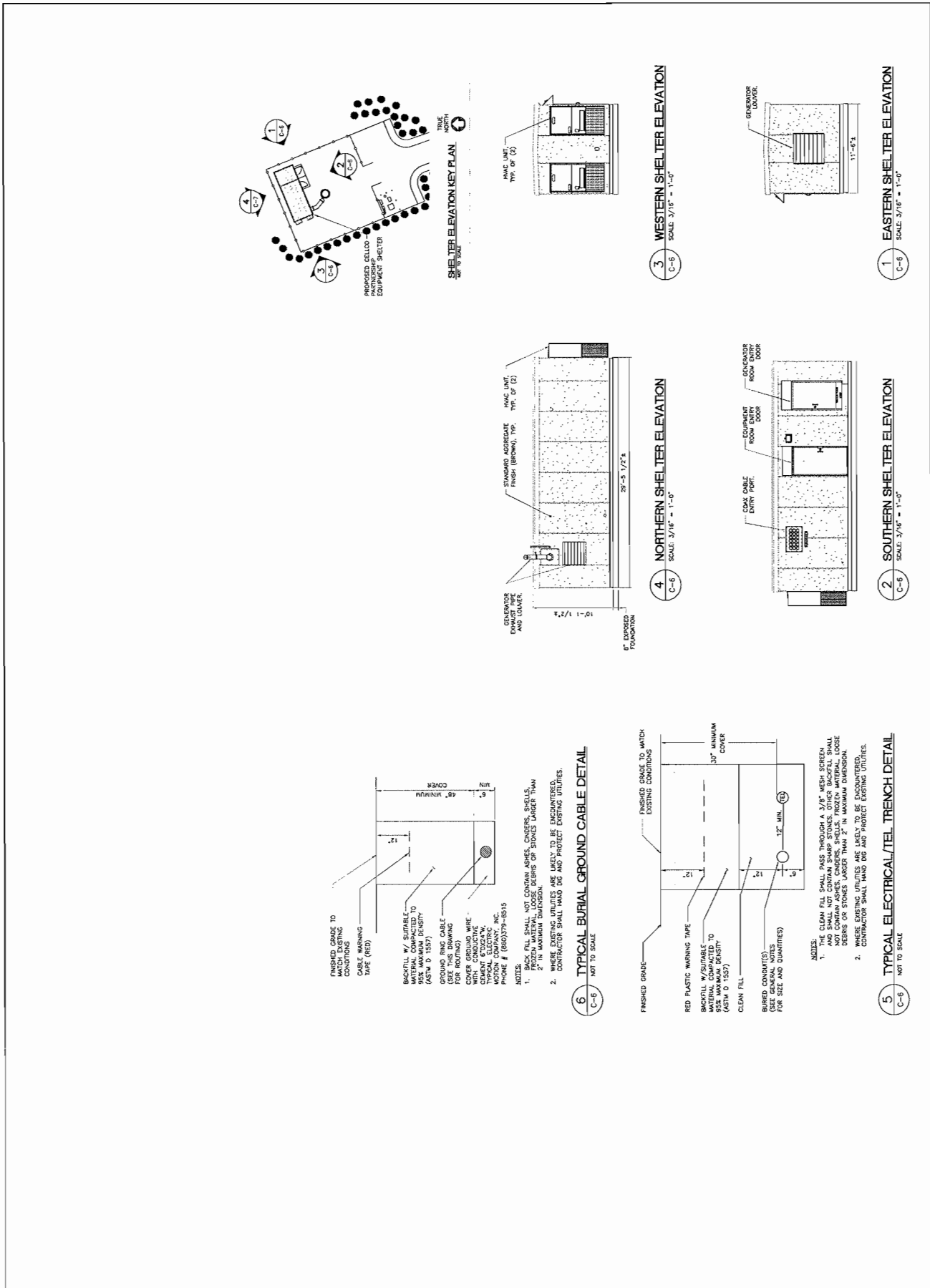
Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
99 EAST STREET
SOUTHINGTON - EAST STREET
SOUTHINGTON, CT 06489

CONTRACT NO. 14033.000
DATE: 10/13/14
SCALE: AS NOTED

5 SITE DETAILS
C-5

Sheet No. 2 of 2

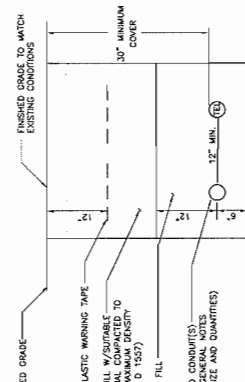
<p>Celco Partnership d/b/a Verizon Wireless</p> <p>99 EAST STREET SOUTHINGTON - EAST STREET SOUTHINGTON, CT 06489</p> <p>www.celco.com</p> <p>Cellco Partnership d/b/a Verizon Wireless</p>			
<p>CENTEK Engineering & Construction 350 Main Street SOUTHINGTON, CT 06488 Phone: (860) 285-1100 Fax: (860) 285-1101</p>		<p>Celco Partnership 1527 Vt Ave SOUTHINGTON, CT 06488 Phone: (860) 285-1100 Fax: (860) 285-1101</p>	
DATE:	10/12/14	JOB NO.: 14032.000	
SCALE:	AS NOTED	SITE DETAILS AND SHELTER ELEVATIONS	
C-6			
Sheet No. 6 of 11			



6 TYPICAL BURIAL GROUND CABLE DETAIL
NOT TO SCALE

NOTES:

- BACK FILL SHALL NOT CONTAIN ASHES, CHIPPERS, SHELS, STONES OR DEBRIS OF SIZE LARGER THAN 2" IN MAXIMUM DIMENSION.
- WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL MARK AND PROTECT EXISTING UTILITIES.



5 TYPICAL ELECTRICAL/TEL TRENCH DETAIL
NOT TO SCALE

NOTES:

- THE CLEAN FILL SHALL PASS THROUGH A 30\"/>

6 TYPICAL BURIAL GROUND CABLE DETAIL
NOT TO SCALE

NOTES:

- BACK FILL SHALL NOT CONTAIN ASHES, CHIPPERS, SHELS, STONES OR DEBRIS OF SIZE LARGER THAN 2" IN MAXIMUM DIMENSION.
- WHERE EXISTING UTILITIES ARE LIKELY TO BE ENCOUNTERED, CONTRACTOR SHALL MARK AND PROTECT EXISTING UTILITIES.

FOUNDATION NOTES:

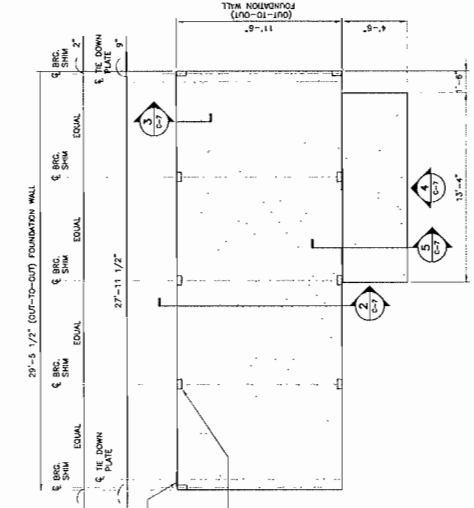
- IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
- DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

SITE NOTES:

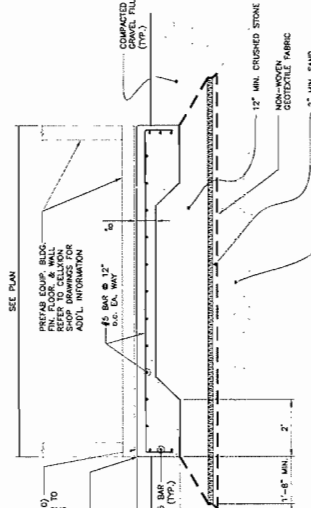
- THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES.
- ALL RUBBER, STAMPS, DEBRIS, STONES AND OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND BE LEGALLY DISPOSED, AT THE CONTRACTOR'S EXPENSE.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND OTHER AREAS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN OR SATURATED SOILS. SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SURFACE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- THE AREA OF THE COMPOUND DISTURBED BY THE WORK SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
- CONSTRUCTION EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE LOCAL ORDINANCES FOR EROSION AND SEDIMENT CONTROL.
- IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
- DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

NOTES:

- BEARING SHIMS, TIE-DOWN PLATES AND ASSOCIATED INSTALLATION ANCHORS PROVIDED BY CELLXION. CONTRACTOR SHALL VERIFY ALL SHIM & TIE-DOWN FOUNDATION WORK.
- SLAB/TOP OF WALL TOLERANCE IS 1/4".
- TOP OF FOUNDATION BOSS MUST BE FORMED FLAT TO ACCEPT TIE-DOWN PLATES.



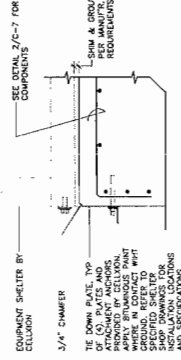
1 FOUNDATION PLAN (C-7) SCALE: 1/4"=1'-0"



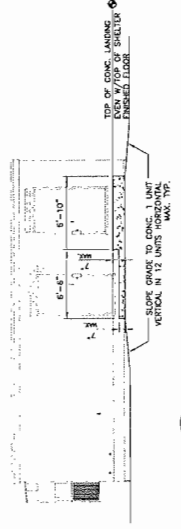
2 FOUNDATION PLAN SLAB ON GRADE (C-7) SCALE: 1/2"=1'-0"

SLAB ON GRADE FOUNDATION DESIGN CONFORMS TO THE REQUIREMENTS OF THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2005 CONNECTICUT STATE BUILDING CODE SUPPLEMENT SECTION 1805.2.1 FROST PROTECTION AND SEI/ASCE STANDARD 32-01 SECTION 7.1 SLAB ON GRADE CONSTRUCTION.

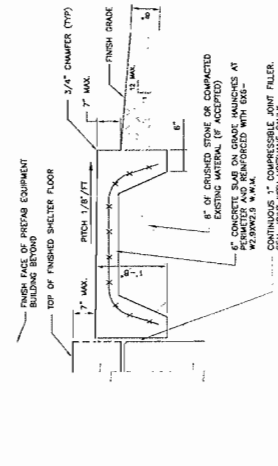
EQUIPMENT SHELTER BY CELLXION. VERIFY ALL SHELTER DIMENSIONS, EQUIPMENT DIMENSIONS, EQUIPMENT LOCATIONS AND UTILITY OPENINGS WITH BUILDING SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.



3 BUILDING TIE-DOWN (C-7) SCALE: 1"=1'-0"



4 ENTRY STOOP DETAIL - ELEVATION (C-7) SCALE: 3/16"=1'-0"



5 ENTRY STOOP DETAIL - SECTION (C-7) SCALE: 3/16"=1'-0"

FOUNDATION NOTES:

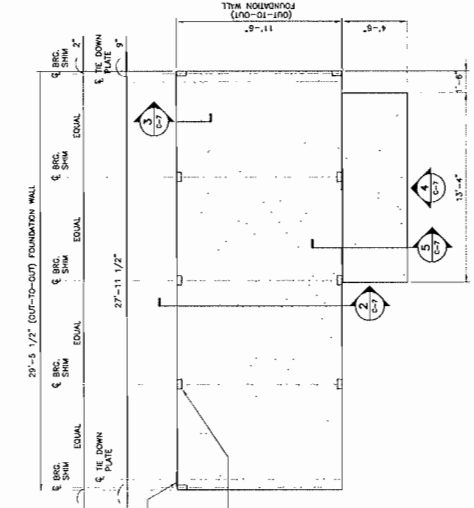
- IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
- DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

SITE NOTES:

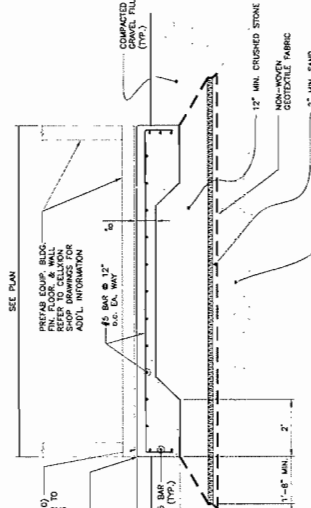
- THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES.
- ALL RUBBER, STAMPS, DEBRIS, STONES AND OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND BE LEGALLY DISPOSED, AT THE CONTRACTOR'S EXPENSE.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND OTHER AREAS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN OR SATURATED SOILS. SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SURFACE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- THE AREA OF THE COMPOUND DISTURBED BY THE WORK SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
- CONSTRUCTION EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE LOCAL ORDINANCES FOR EROSION AND SEDIMENT CONTROL.
- IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
- DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

NOTES:

- BEARING SHIMS, TIE-DOWN PLATES AND ASSOCIATED INSTALLATION ANCHORS PROVIDED BY CELLXION. CONTRACTOR SHALL VERIFY ALL SHIM & TIE-DOWN FOUNDATION WORK.
- SLAB/TOP OF WALL TOLERANCE IS 1/4".
- TOP OF FOUNDATION BOSS MUST BE FORMED FLAT TO ACCEPT TIE-DOWN PLATES.



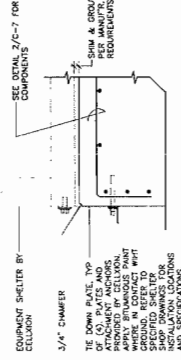
1 FOUNDATION PLAN (C-7) SCALE: 1/4"=1'-0"



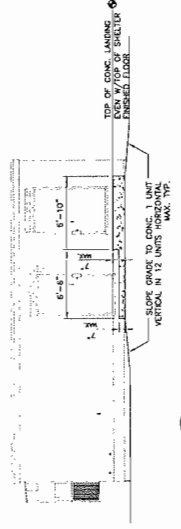
2 FOUNDATION PLAN SLAB ON GRADE (C-7) SCALE: 1/2"=1'-0"

SLAB ON GRADE FOUNDATION DESIGN CONFORMS TO THE REQUIREMENTS OF THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2005 CONNECTICUT STATE BUILDING CODE SUPPLEMENT SECTION 1805.2.1 FROST PROTECTION AND SEI/ASCE STANDARD 32-01 SECTION 7.1 SLAB ON GRADE CONSTRUCTION.

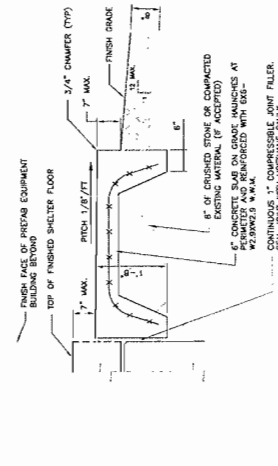
EQUIPMENT SHELTER BY CELLXION. VERIFY ALL SHELTER DIMENSIONS, EQUIPMENT DIMENSIONS, EQUIPMENT LOCATIONS AND UTILITY OPENINGS WITH BUILDING SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.



3 BUILDING TIE-DOWN (C-7) SCALE: 1"=1'-0"



4 ENTRY STOOP DETAIL - ELEVATION (C-7) SCALE: 3/16"=1'-0"



5 ENTRY STOOP DETAIL - SECTION (C-7) SCALE: 3/16"=1'-0"

REV.	DATE	BY	CHKD BY	DESCRIPTION
1	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
2	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
3	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
4	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
5	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
6	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
7	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
8	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
9	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
10	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
11	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
12	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
13	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
14	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
15	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
16	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
17	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
18	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
19	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT
20	12/17/14	JRM	JRM	REVISION - 65505 FOR BIRMS CONDUCT

PROFESSIONAL ENGINEER SEAL

Cellxion Partnership
d/b/a Verizon Wireless

Cellxion Partnership
d/b/a Verizon Wireless

Cellxion Partnership d/b/a Verizon Wireless
99 EAST STREET
SOUTHINGTON, CT 06489

DATE: 12/17/14
SCALE: AS NOTED
JOB NO.: 14033.000

SHELTER FOUNDATION DETAILS
PLAN DETAILS
AND NOTES

C-7
Sheet No. 5 of 5

ADJACENT PROPERTY OWNERS

SITE NAME: SOUTHINGTON – EAST STREET

OWNER NAME: TOWN OF SOUTHINGTON

OWNER ADDRESS: 75 MAIN STREET, SOUTHINGTON, CT 06489

ASSESSOR’S REFERENCE: MAP/LOT: 066053

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TAX ASSESSOR'S RECORDS AND LAND RECORDS OF SOUTHINGTON TOWN HALL. THE INFORMATION IS CURRENT AS OF NOVEMBER 20, 2014.

THE PARCEL IS ZONED R20/25.

	<u>Map/Lot</u>	<u>Property Address</u>	<u>Property Owner</u>
1.	066032	65 Meriden Avenue	Town of Southington 75 Main Street Southington, CT 06489
2.	066100	63 Blueberry Lane	Jason R. and Jennifer Humphrey 63 Blueberry Lane Southington, CT 06489
3.	066033	53 Blueberry Lane	Ronald and Margaret Savage 53 Blueberry Lane Southington, CT 06489
4.	066034	43 Blueberry Lane	Robert J. and Rose C. Egen, Trustees 43 Blueberry Lane Southington, CT 06489
5.	066035	33 Blueberry Lane	David J. and Judith M. Dalfino 33 Blueberry Lane Southington, CT 06489
6.	066036	23 Blueberry Lane	Tracey and Adalid Fernandez, Jr. 23 Blueberry Lane Southington, CT 06489
7.	066040	91 Strawberry Lane	Eric and Michelle Perry 91 Strawberry Lane Southington, CT 06489

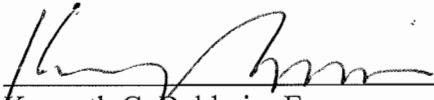
	<u>Map/Lot</u>	<u>Property Address</u>	<u>Property Owner</u>
8.	066041	90 Strawberry Lane	Patrick and Lenora Munson 90 Strawberry Lane Southington, CT 06489
9.	066052	87 East Street	Ronald Zienka, Jr. 87 East Street Southington, CT 06489
10.	066073	100 East Street	Audrey L. Brown 37 South Plains Road Southington, CT 06489
11.	066072	108 East Street	Robert C. and Sharon M. Alia 118 East Street Southington, CT 06489
12.	066070	118 East Street	Robert C. and Sharon M. Alia 118 East Street Southington, CT 06489
13.	066069	130 East Street	William and Gail Caco 130 East Street Southington, CT 06489
14.	066068	138 East Street	Michael P. Spalter 138 East Street Southington, CT 06489
15.	066067	154 East Street	Joseph G. and Mary S. Satonick 154 East Street Southington, CT 06489
16.	066066	168 East Street	Ernest Fisher III and Megan Hurley 168 East Street Southington, CT 06489
17.	066065	178 East Street	Nathan Suver and Karen Hykys 178 East Street Southington, CT 06489
18.	066064	190 East Street	Russell W. and Cassandra Z. Dibble 190 East Street Southington, CT 06489

	<u>Map/Lot</u>	<u>Property Address</u>	<u>Property Owner</u>
19.	066104	163 East Street	Rene Hall 163 East Street Southington, CT 06489
20.	066055	221 East Street	DC Development and Construction 3 West Grannis Pond Road Southington, CT 06489
21.	066054	207 East Street	Garrison C. Brumback and Jennifer Farrell 207 East Street Southington, CT 06489
22.	066108	193 East Street	Raymond A. and Denise C. Jandreau 193 East Street Southington, CT 06489
23.	066107	189 East Street	Stephen C. and Tina M. Schmelcke 189 East Street Southington, CT 06489
24.	0661060	177 East Street	Aaron J. and Corinna Clark 177 East Street Southington, CT 06489
25.	066105	169 East Street	Brian and Kara More 169 East Street Southington, CT 06489

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached list of abutting landowners.

12-22-14
Date


Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103

Attorneys for CELLCO PARTNERSHIP d/b/a
VERIZON WIRELESS