

# ATTACHMENT 3

## General Facility Description

655 Basset Road, Watertown, Connecticut

Owners: The Frank E. Gustafson Revocable Trust, The Edward Gustafson Revocable Trust,  
Frank E. Gustafson Jr., Trustee, and Thomas W. Calkins, Independent Trustee,

Map/Block/Lot: 15/25/3

Approximately 51.53 acres

The proposed facility consists of a 100' by 100' lease area located in the northern portion of the approximately 51.53 acre parcel, owned by The Frank E. Gustafson Revocable Trust, The Edward Gustafson Revocable Trust, Frank E. Gustafson Jr., Trustee, and Thomas W. Calkins, Independent Trustee. A new self-supporting monopole tower 150' in height would be constructed. AT&T will install up to 12 panel antennas at the 147' centerline height on the tower. The tower compound will consist of a 75' x 75' fenced area to accommodate AT&T's 12' x 20' radio equipment shelter and a 4' x 8' concrete pad for AT&T's emergency generator. An eight (8) foot high chain link fence would enclose the tower compound. The tower and compound are designed for future shared use by other carriers. Vehicle access to the facility will be provided from Bassett Road over an unimproved road located along the eastern property boundary a distance of approximately 1,750', then along a new twelve (12) foot wide gravel access drive that will be routed north and west to the equipment compound a distance of approximately 750'. Electric and telephone utilities would be extended from Bassett Road along the access drive to the proposed compound area.

## Site Evaluation Report

### I. LOCATION

- A. COORDINATES: 41° 39' 27.63" N 73° 08' 10.74" W
- B. GROUND ELEVATION: 839' AMSL
- C. USGS MAP: Litchfield
- D. SITE ADDRESS: 655 Bassett Road, Watertown, Connecticut
- E. ZONING WITHIN 1/4 MILE OF SITE: Residential and Agricultural

### II. DESCRIPTION

- A. SITE SIZE: 100' by 100' lease area, 75' by 75' compound
- B. LESSOR'S PARCELS: 51.53 acres
- C. TOWER TYPE/HEIGHT: Monopole / 150' AGL
- D. SITE TOPOGRAPHY AND SURFACE: The proposed site is located on an elevated knoll within a wooded and undeveloped portion of the property.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The topography of the area is characterized by moderately rolling sloped with steep slopes to the east. No wetlands were delineated within or in proximity to the proposed facility area or access drive. The subject property is not located within a 100 year floodplain.
- F. LAND USE WITHIN 1/4 MILE OF SITE: Land uses within 1/4 mile of the site are primarily large lot residential and agricultural.

IV. FACILITIES

- A. POWER COMPANY: CL&P
- B. POWER PROXIMITY TO SITE: Facilities available from an off-site utility pole on Bassett Road.
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: Same as power.
- E. VEHICLE ACCESS TO SITE: Access to the facility would be provided from Bassett Road over an existing unimproved road adjacent to the eastern property boundary a distance of approximately 1,750', then along a new 12-foot wide gravel access drive that will be routed north and west a distance of approximately 750' to the equipment compound.
- F. OBSTRUCTIONS: None
- G. CLEARING AND FILL REQUIRED: The compound and gravel access drive will require clearing and grading. Some filling may be required. Approximately 38 trees with a Basal Diameter Height (BDH) of four (4) inches or more will be removed. Detailed plans would be included in a Development and Management Plan ("D&M" plan) after any approval of the facility which may be issued by the Connecticut Siting Council.

V. LEGAL

- A. PURCHASE [ ] LEASE [ X ]
- B. OWNER: The Frank E. Gustafson Revocable Trust, The Edward Gustafson Revocable Trust, Frank E. Gustafson Jr., Trustee, and Thomas W. Calkins, Independent Trustee
- C. ADDRESS: 655 Bassett Road, Watertown, Connecticut

## Facilities and Equipment Specification

### I. TOWER SPECIFICATIONS:

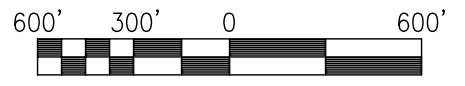
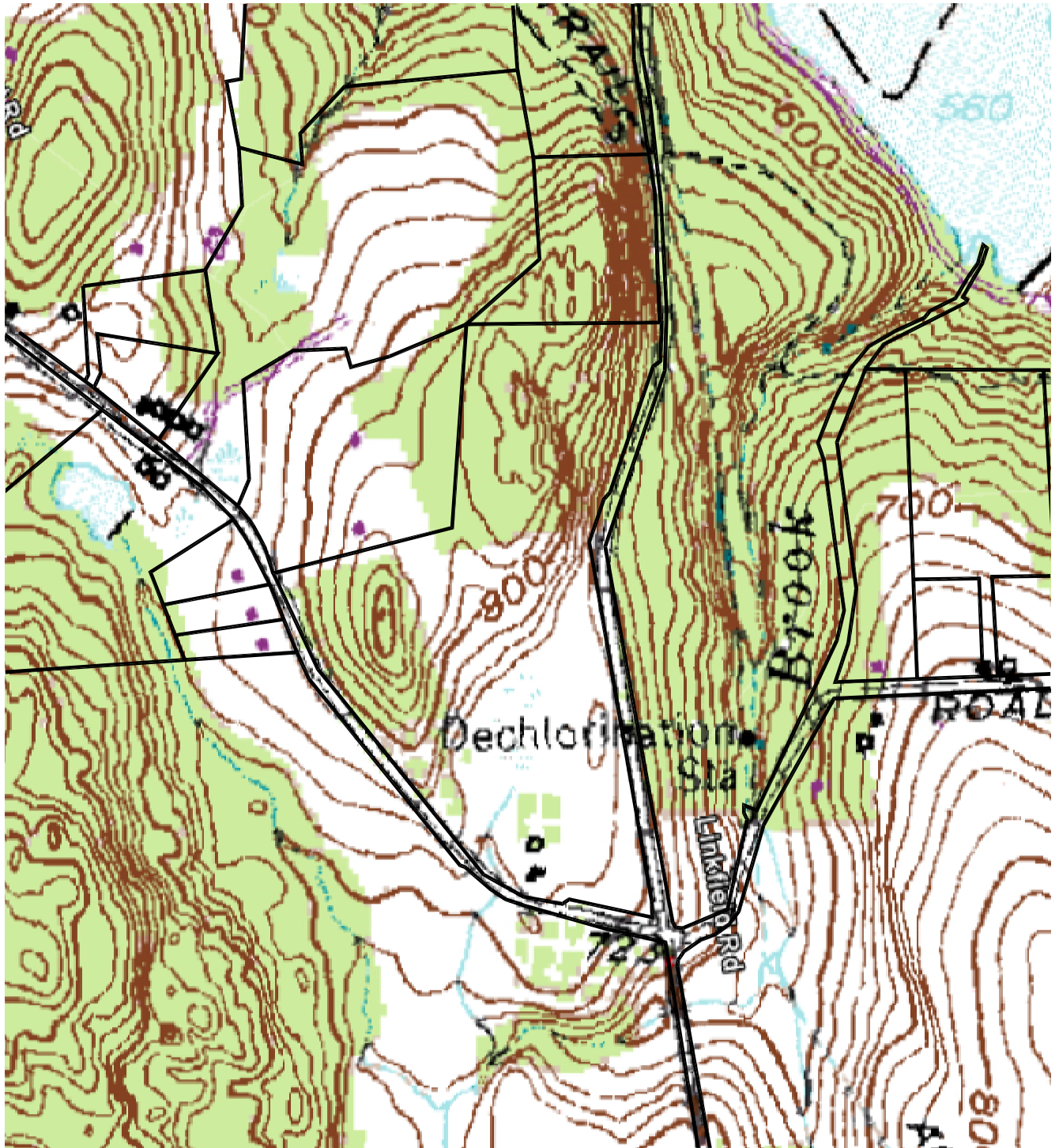
- A. MANUFACTURER: To be determined
- B. TYPE: Self-Supporting monopole
- C. HEIGHT: 150'  
DIMENSIONS: Approximately 4' in diameter at the base, tapering to approximately 2' at the top.
- D. LIGHTING: None as set forth in attached Federal Aviation Administration (FAA) report

### II. TOWER LOADING:

- A. AT&T – up to 12 panel Antennas in addition to RRH and TMA units
  - a. Antenna Model – Powerwave P65-15-XLH-RR or P90-14-XLH-RR or equivalent panel antenna
  - b. Antenna Dimensions – 51”H x 12”W x 6”D / 48”H x 12”W x 6”D
  - c. Position on Tower – 147’ centerline mounted on low profile platform
  - d. Transmission Lines – MFG: Commscope; Size 1-5/8”
- B. Future Carriers – To be determined

### III. ENGINEERING ANALYSIS AND CERTIFICATION:

The tower will be designed in accordance with American National Standards Institute TIA/EIA-222-F “Structural Standards for Steel Antenna Towers and Antenna Support Structures” and the 2003 International Building Code with 2005 Connecticut Amendment. The foundation design would be based on soil conditions at the site. The details of the tower and foundation design will be provided as part of the final D&M plan.



1 TOPOGRAPHIC MAP  
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APPROX. NORTH

TOPOGRAPHY SHOWN BASED ON USGS MAP: "LITCHFIELD, CONN.; 41073-F2-TF-024; 1983; DMA 6367 II NW-SERIES V816"



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11 Herbert Drive  
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INFINIGY PROJECT #: 226-064

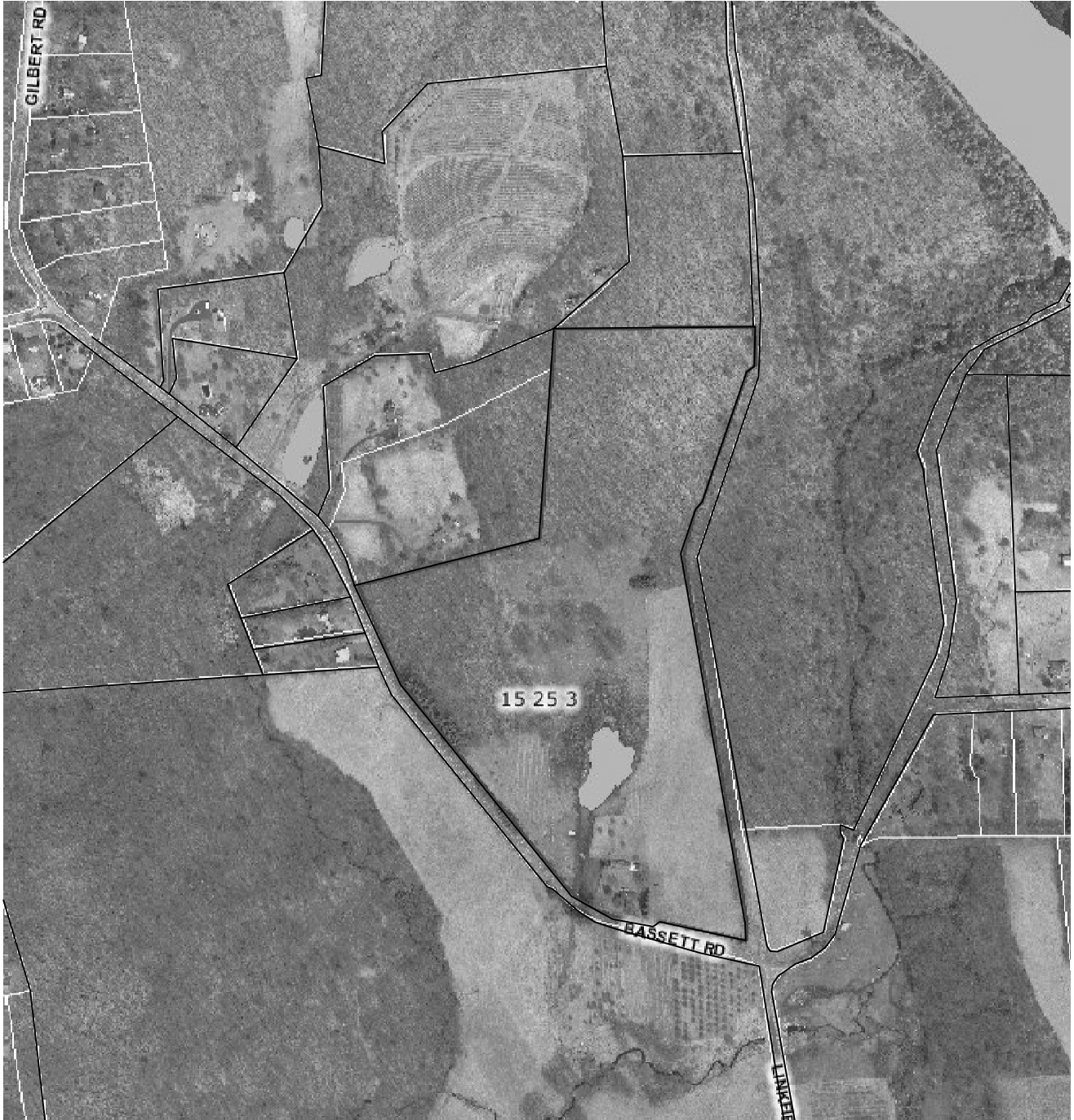
USGS QUAD MAP - WATERTOWN/CT1140

SITE NAME: WATERTOWN  
SITE I.D.: CT1140  
SITE ADDRESS: 655 BASSETT ROAD  
WATERTOWN, CT 06795

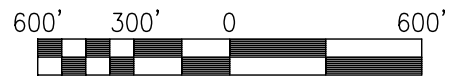
DRAWING SCALE: AS NOTED

DATE: 2/16/11

REV: 0

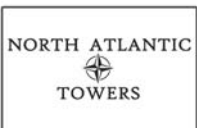


1 AERIAL PHOTOGRAPH



APPROX. NORTH

AERIAL PHOTOGRAPH BASED ON GOOGLE EARTH IMAGE DATED 8/30/2010



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 INFINIGY PROJECT #: 226-064

AERIAL PHOTOGRAPH – WATERTOWN/CT1140

SITE NAME: WATERTOWN  
 SITE I.D.: CT1140  
 SITE ADDRESS: 655 BASSETT ROAD  
 WATERTOWN, CT 06795

DRAWING SCALE: AS NOTED

DATE: 2/16/11

REV: 0



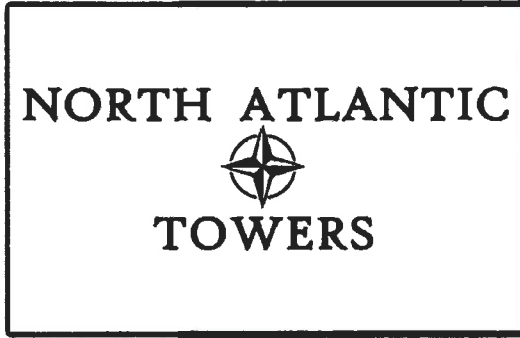
**PROJECT DESCRIPTION:**

CONSTRUCTION OF PUBLIC UTILITY/PERSONAL WIRELESS SERVICE FACILITY CONSISTING OF A MONOPOLE TOWER, INITIALLY (1) EQUIPMENT SHELTER, AND A UTILITY BACKBOARD WITHIN A FENCED COMPOUND. NO WATER OR SEWER IS REQUIRED.

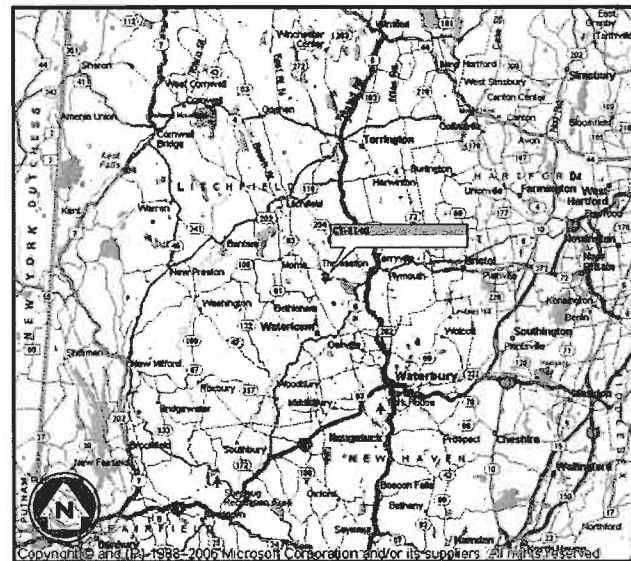
**CODE COMPLIANCE:**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

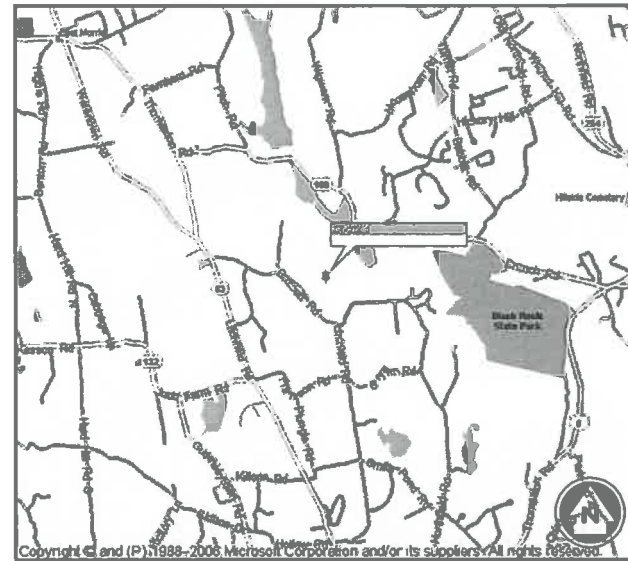
- 1. CT BUILDING CODE
- 2. UNIFORM BUILDING CODE
- 3. BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA)
- 4. UNIFORM MECHANICAL CODE
- 5. ANSI/TIA/EIA-222-G
- 6. UNIFORM PLUMBING CODE
- 7. NATIONAL ELECTRIC CODE
- 8. LOCAL BUILDING CODE
- 9. CITY/COUNTY ORDINANCES



**WATERTOWN  
SITE ID: CT1140  
655 BASSETT RD.  
WATERTOWN, CT 06795**



VICINITY MAP  
N.T.S.



LOCATION MAP  
N.T.S.

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11 HERBERT DRIVE  
LATHAM, NY 12110  
OFFICE #: (518) 690-0790  
FAX #: (518) 690-0793

PROPOSED TOWER HEIGHT: ±150' AGL  
LATITUDE: 41° 39' 27.63" N  
LONGITUDE: 73° 08' 10.74" W  
ELEVATION: ±839' AGL

**LITCHFIELD COUNTY, CONNECTICUT**

**DIG ALERT:**  
CALL FOR UNDERGROUND UTILITIES PRIOR TO DIGGING:  
1-888-922-4455

**EMERGENCY:**  
CALL 911

**PROJECT INFORMATION**

SITE NAME: WATERTOWN  
SITE ID: CT1140  
SITE ADDRESS: 655 BASSETT ROAD  
WATERTOWN, CT 06795  
ZONING JURISDICTION: TOWN OF WATERTOWN  
ZONING CLASSIFICATION: R-90; RESIDENTIAL  
PARCEL I.D. (M/B/L/U): 15/25/3///  
ACCOUNT NUMBER: 3592  
PARCEL SIZE: ± 51.53 ACRES  
CONSTRUCTION AREA: ± 14,500 SQ FT (COMPOUND)  
± 16,800 SQ FT (ACCESS DRIVE)  
LATITUDE: 41° 39' 27.63" N  
LONGITUDE: 73° 08' 10.74" W

**PROJECT DIRECTORY**

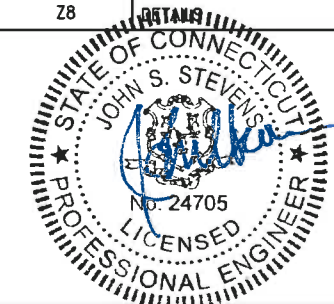
PROPERTY OWNER: GUSTAFSON FRANK E EST/FRANK E JR & ALAN R CO EXEC'S/FRANK E, ALAN R, PETER  
(860) 274-5002  
APPLICANT: NORTH ATLANTIC TOWERS  
1001 3RD AVE WEST, SUITE 420  
BRADENTON, FL 34205  
ROGER LAPERNA  
(941) 757-5010  
ENGINEER: INFINIGY ENGINEERING PLLC  
11 HERBERT DRIVE  
LATHAM, NY 12110  
A.J. DeSANTIS  
(518) 690-0790  
ATTORNEY: CUDDY & FEDER LLP  
445 HAMILTON STREET, 14TH FLOOR  
WHITE PLAINS, NY 10601  
LUCIA CHIOCCHIO, ESQ  
(914) 761-1300

POWER COMPANY: UNITED ILLUMINATING

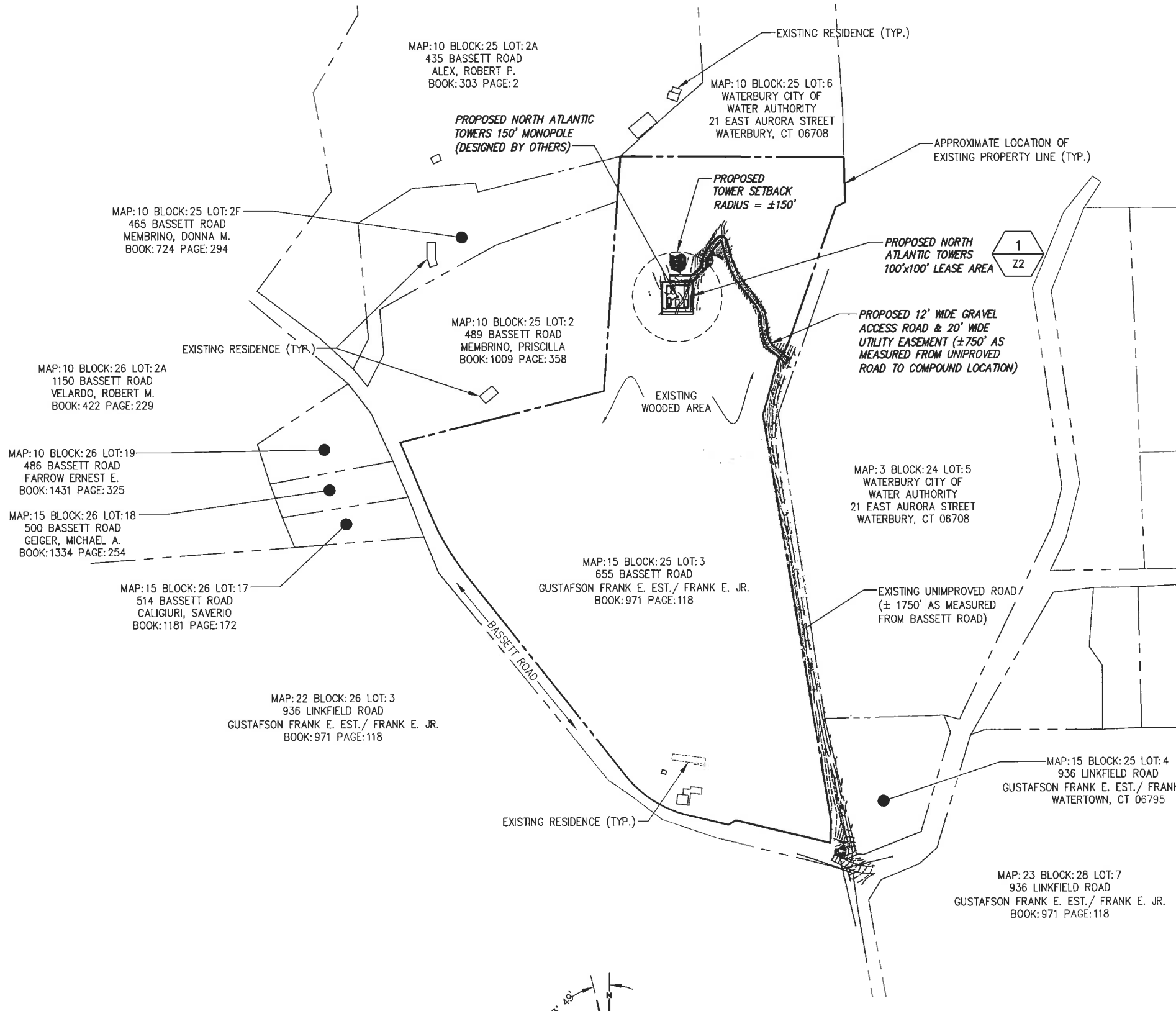
TELCO COMPANY: TBD

**DRAWING INDEX**

DRWG. #	TITLE	REV.#	DATE
T1	TITLE SHEET	2	7/26/11
Z1	ABUTTERS MAP	2	7/26/11
Z2	OVERALL SITE PLAN	2	7/26/11
Z3	SITE LAYOUT	2	7/26/11
Z4	ENLARGED SITE LAYOUT	2	7/26/11
Z5	GRADING PLAN	2	7/26/11
Z6	ELEVATION VIEW & DETAILS	2	7/26/11
Z7	DETAILS	2	7/26/11
Z8	DETAILS	2	7/26/11

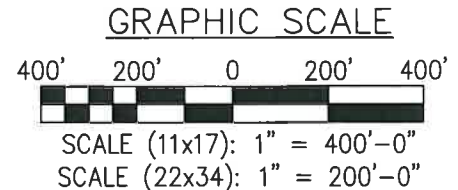
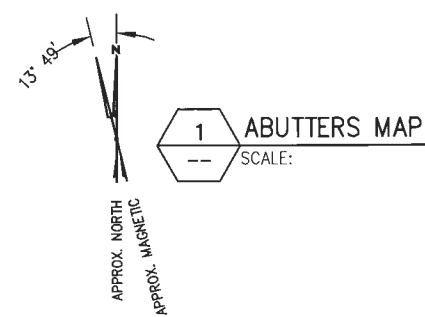






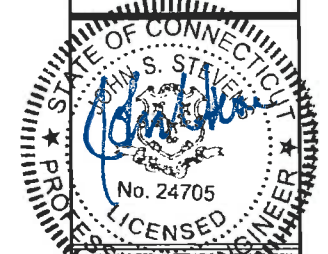
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- BASEMAPPING PREPARED FROM A SITE WALK PERFORMED BY INFINIGY ENGINEERING ON 9/23/09, AND A SURVEY PERFORMED BY INFINIGY ENGINEERING ON 11/16/09.
- THERE ARE (5) RESIDENCES WITHIN 1000' OF THE PROPOSED TOWER SITE. THE DISTANCE TO THE CLOSEST RESIDENCE IS APPROXIMATELY ±544'. RESIDENCE LOCATION BASED ON AERIAL PHOTOGRAPHY.
- THE DISTANCE TO THE NEAREST MUNICIPAL BOUNDARY IS APPROXIMATELY ±2000' AS MEASURED TO THE NORTHEAST OF THE PROPOSED TOWER SITE. MUNICIPAL BOUNDARY LOCATION INFORMATION OBTAINED FROM THE "ZONING MAP OF THE TOWN OF WATERTOWN, CT"
- ABUTTING PARCEL INFORMATION OBTAINED FROM THE TOWN OF WATERTOWN, CONNECTICUT WEB MAPPING G.I.S. WEBSITE, <[HTTP://HOSTING.TIGHEBOND.COM/WATERTOWNCT/MAIN.HTM](http://hosting.tighebond.com/watertownct/main.htm)> INFORMATION EXTRACTED FROM THE WEBSITE ON 3/25/2011.



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2	REVISED ABUTTERS MAP	AJD	7/28/11
1	REV PER COMMENT	BPM	3/25/11
0	FOR PERMIT	BPM	3/2/11

Drawn: BPM Date: 3/2/11  
Designed: AJD Date: 3/2/11  
Checked: AJD Date: 3/2/11

Project Number  
226-015

Project Title  
**WATERTOWN  
CT1140**  
655 BASSETT RD  
WATERTOWN, CT 06795

Prepared For

**NORTH ATLANTIC TOWERS**

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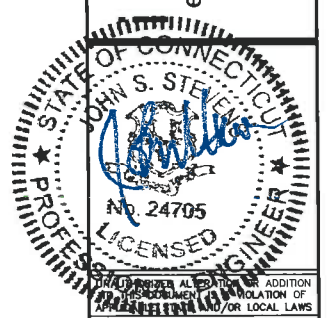
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AS NOTED

Date:  
3/25/11

**ZD**

Drawing Title  
**ABUTTERS  
MAP**

Drawing Number  
**Z1**



No.	Submittal / Revision	App'd.	Date
2	REVISED ABUTTERS MAP	AJD	7/26/11
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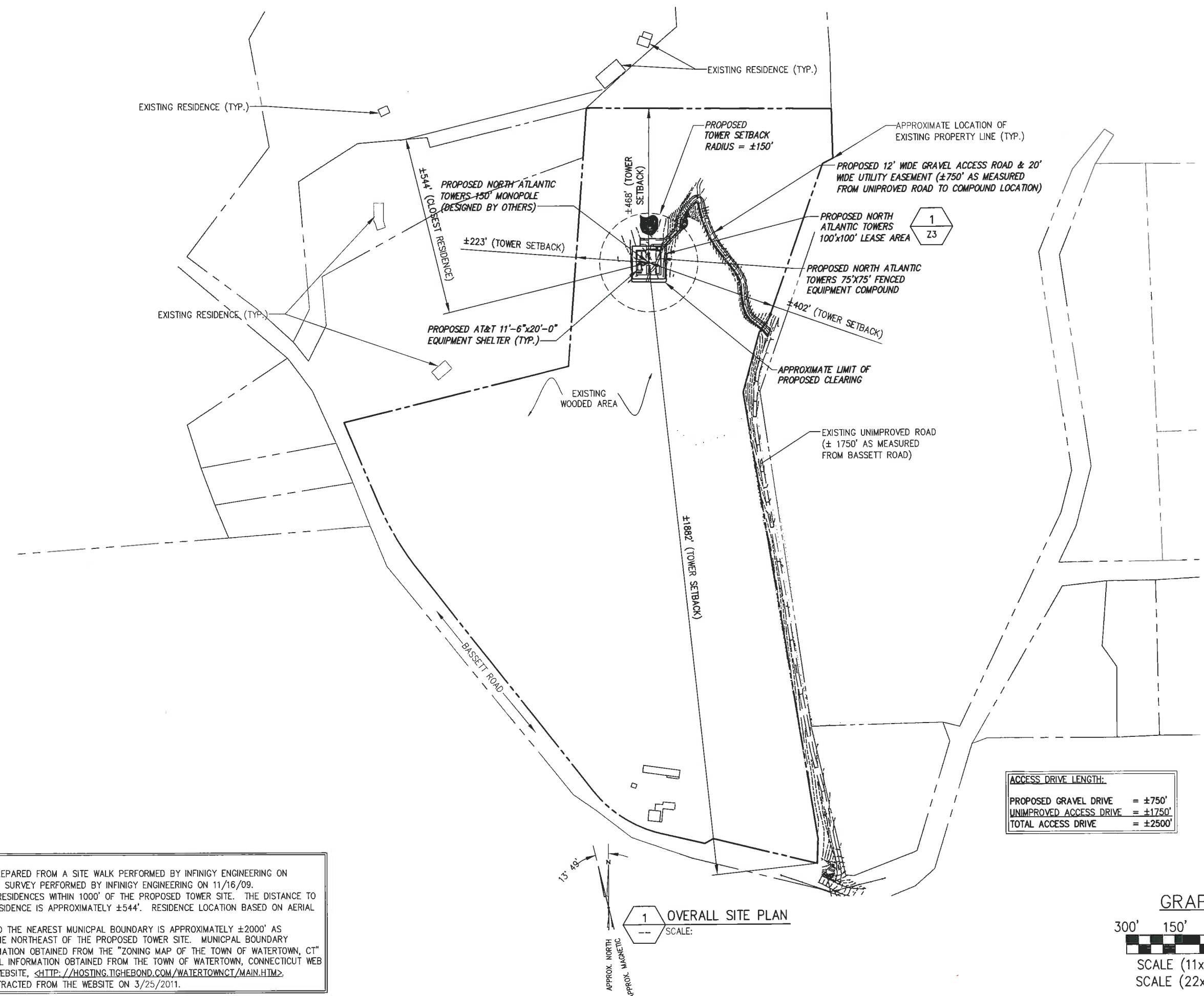
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AS NOTED

Date:  
3/25/11

**ZD**

Drawing Title:  
**OVERALL SITE PLAN**

Drawing Number:  
**Z2**



ACCESS DRIVE LENGTH:	
PROPOSED GRAVEL DRIVE	= ±750'
UNIMPROVED ACCESS DRIVE	= ±1750'
TOTAL ACCESS DRIVE	= ±2500'

**NOTES:**

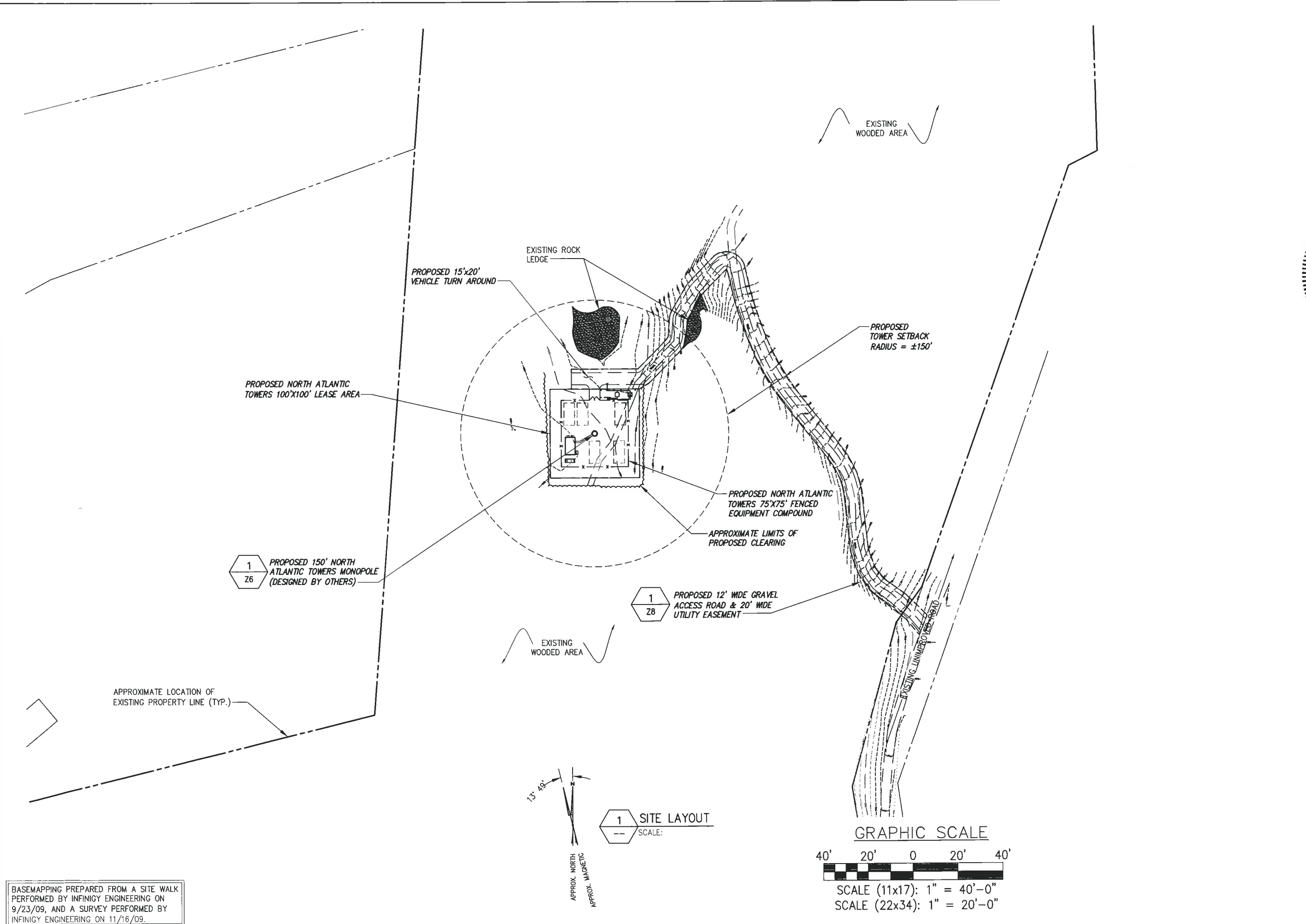
- BASEMAPPING PREPARED FROM A SITE WALK PERFORMED BY INFINIGY ENGINEERING ON 9/23/09, AND A SURVEY PERFORMED BY INFINIGY ENGINEERING ON 11/16/09.
- THERE ARE (5) RESIDENCES WITHIN 1000' OF THE PROPOSED TOWER SITE. THE DISTANCE TO THE CLOSEST RESIDENCE IS APPROXIMATELY ±544'. RESIDENCE LOCATION BASED ON AERIAL PHOTOGRAPHY.
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**1 OVERALL SITE PLAN**  
SCALE:

**GRAPHIC SCALE**

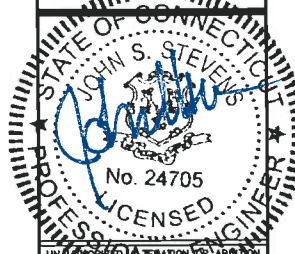
300' 150' 0 150' 300'

SCALE (11x17): 1" = 300'-0"  
SCALE (22x34): 1" = 150'-0"



BASEMAPPING PREPARED FROM A SITE WALK PERFORMED BY INFINIGY ENGINEERING ON 9/23/09, AND A SURVEY PERFORMED BY INFINIGY ENGINEERING ON 11/16/09.

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Drawn:	BPM	Date:	3/2/11
Designed:	AJD	Date:	3/2/11
Checked:	AJD	Date:	3/2/11

Project Number **226-015**

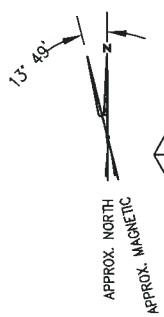
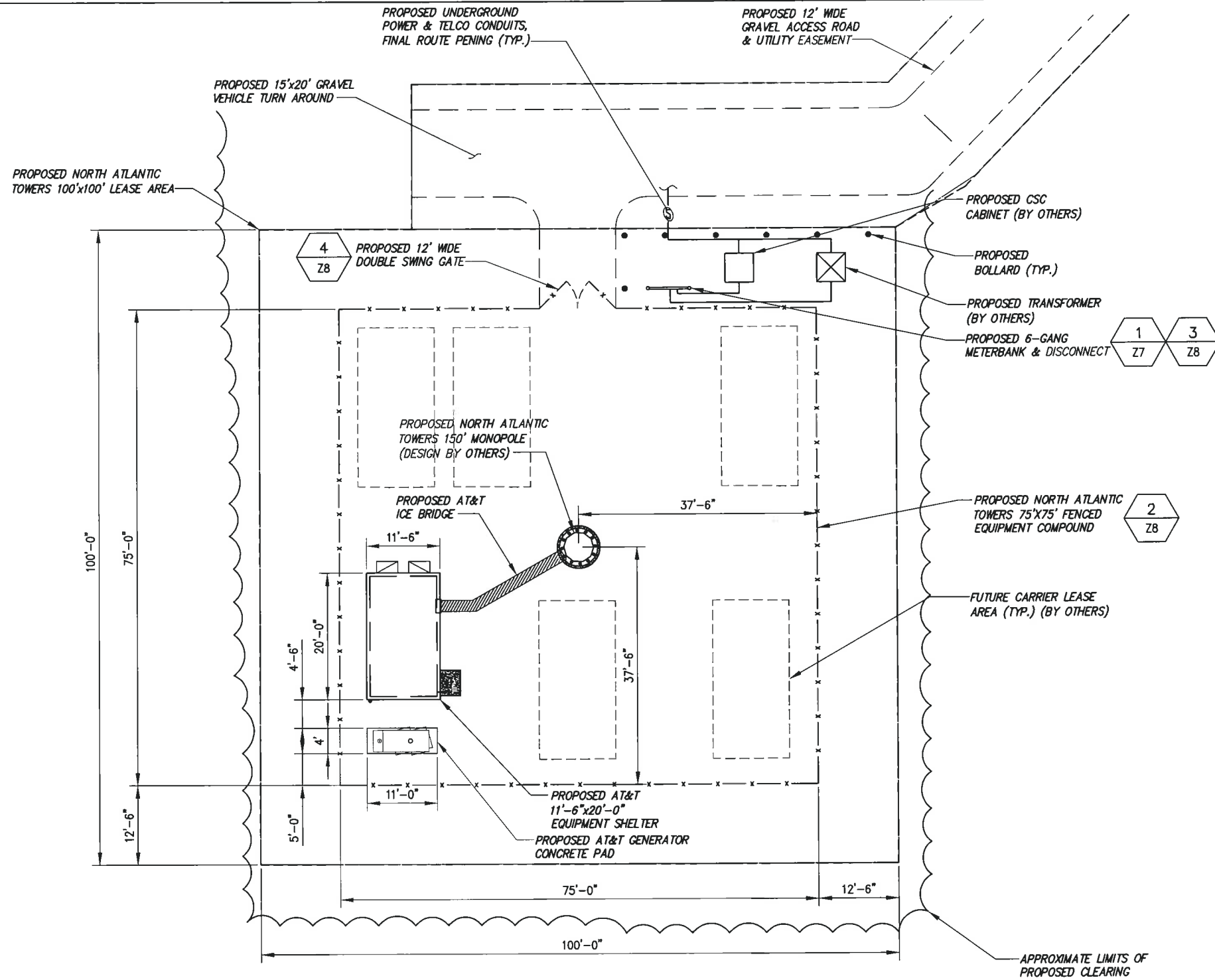
Project Title  
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**CT1140**  
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 WATERTOWN, CT 06795

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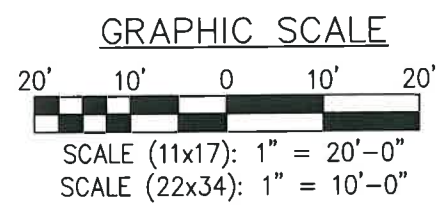
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 AS NOTED  
**ZD**  
 Date:  
 3/25/11

Drawing Title  
**SITE LAYOUT**

Drawing Number  
**Z3**



1 ENLARGED SITE LAYOUT  
SCALE:



BASEMAPPING PREPARED FROM A SITE WALK PERFORMED BY INFINIGY ENGINEERING ON 9/23/09, AND A SURVEY PERFORMED BY INFINIGY ENGINEERING ON 11/16/09.

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STATE OF CONNECTICUT  
JONAS STEVENS  
No. 24705  
REGISTERED PROFESSIONAL ENGINEER  
APPLICABLE STATE AND FEDERAL LAWS

2	REVISED SUBMITTERS MAP	AJD	7/28/11
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Designed: AJD Date: 3/2/11  
Checked: AJD Date: 3/2/11

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**ZD**

Drawing Title: ENLARGED SITE LAYOUT

Drawing Number: **Z4**





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655 BASSETT RD  
WATERTOWN, CT 06795

Prepared For:

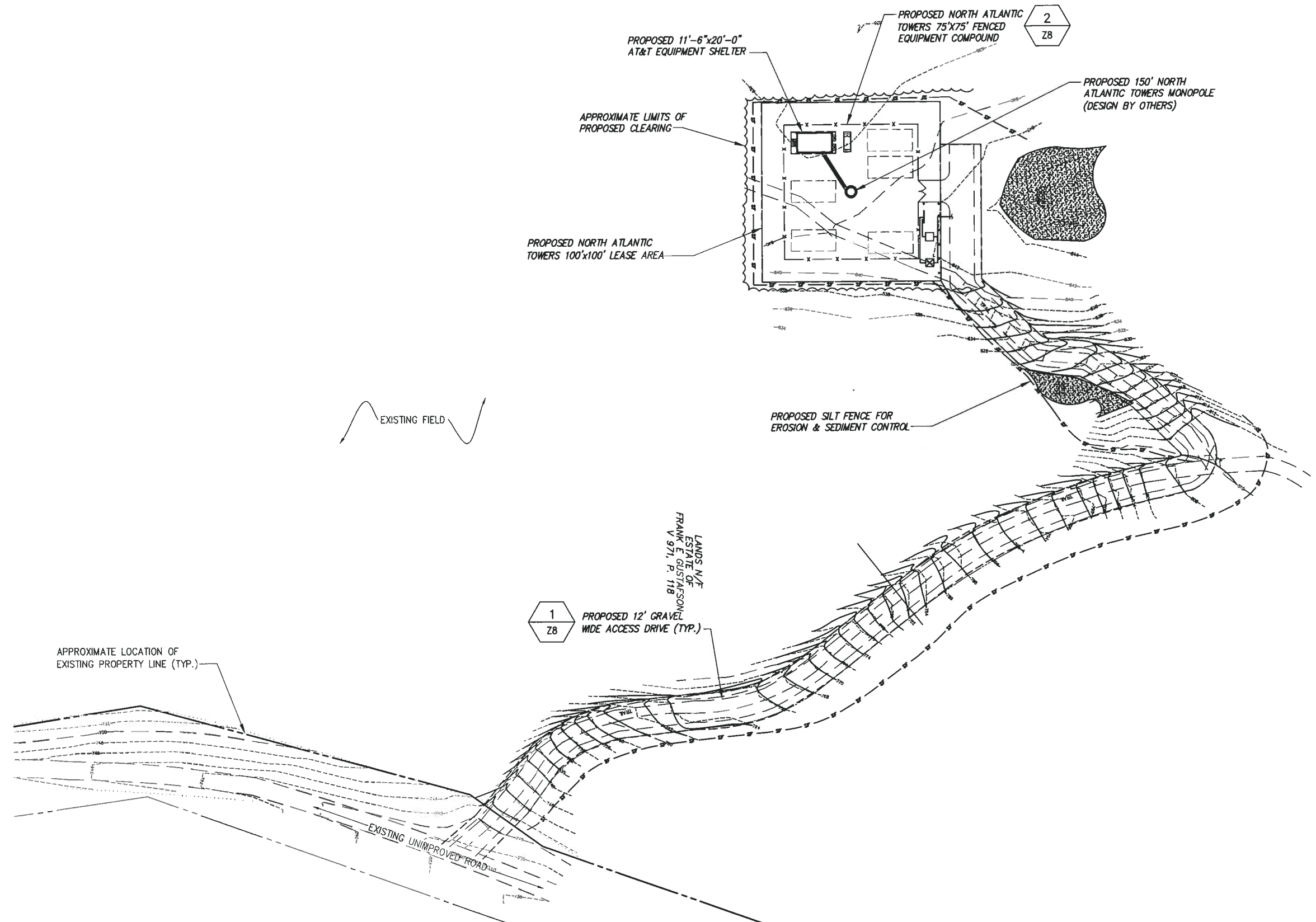
**NORTH ATLANTIC  
TOWERS**

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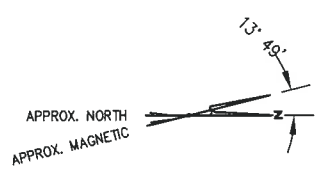
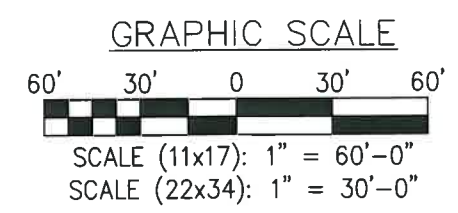
Drawing Scale: AS NOTED  
Date: 3/25/11  
**ZD**

Drawing Title:  
**GRADING  
PLAN**

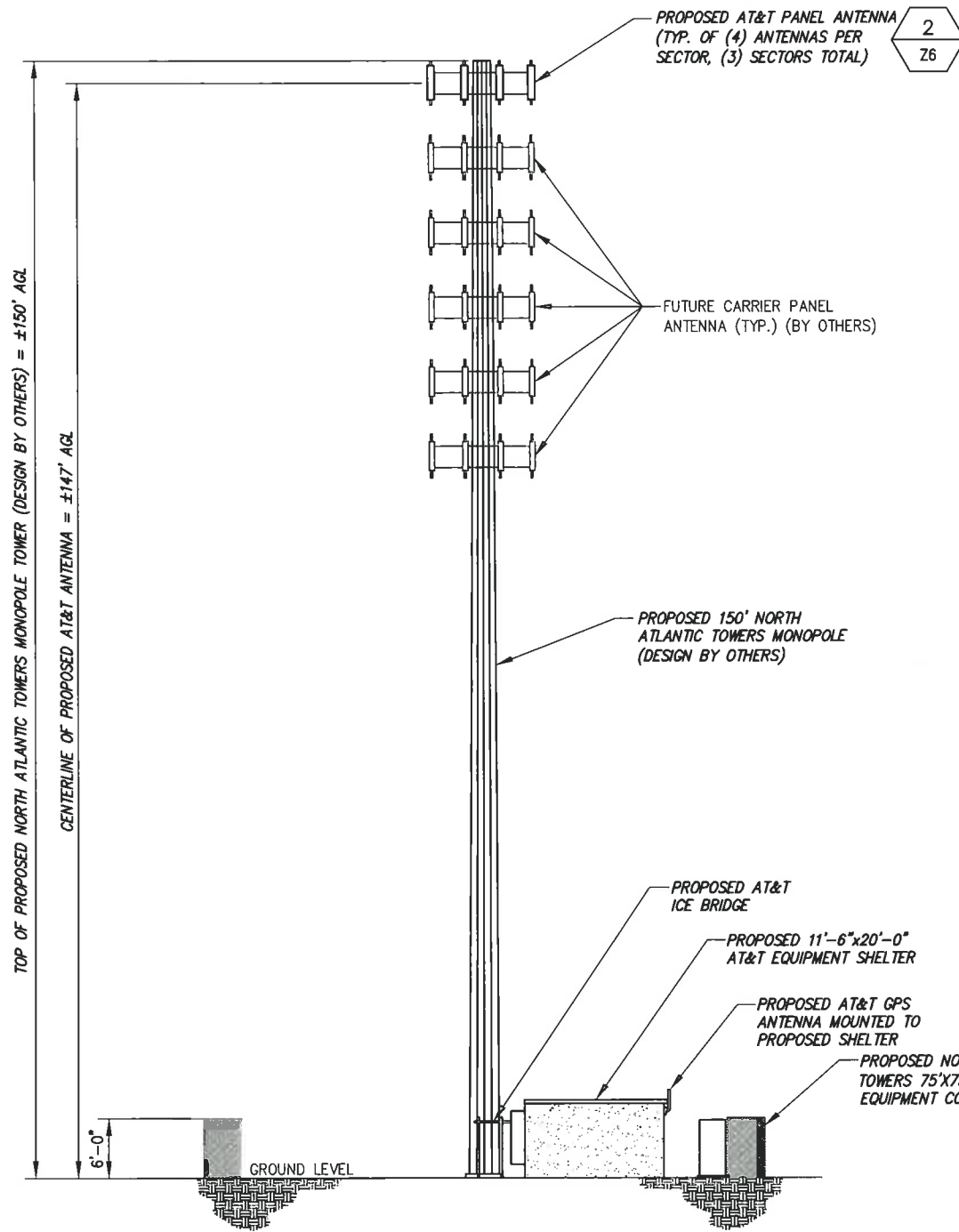
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**Z5**



**1** GRADING PLAN  
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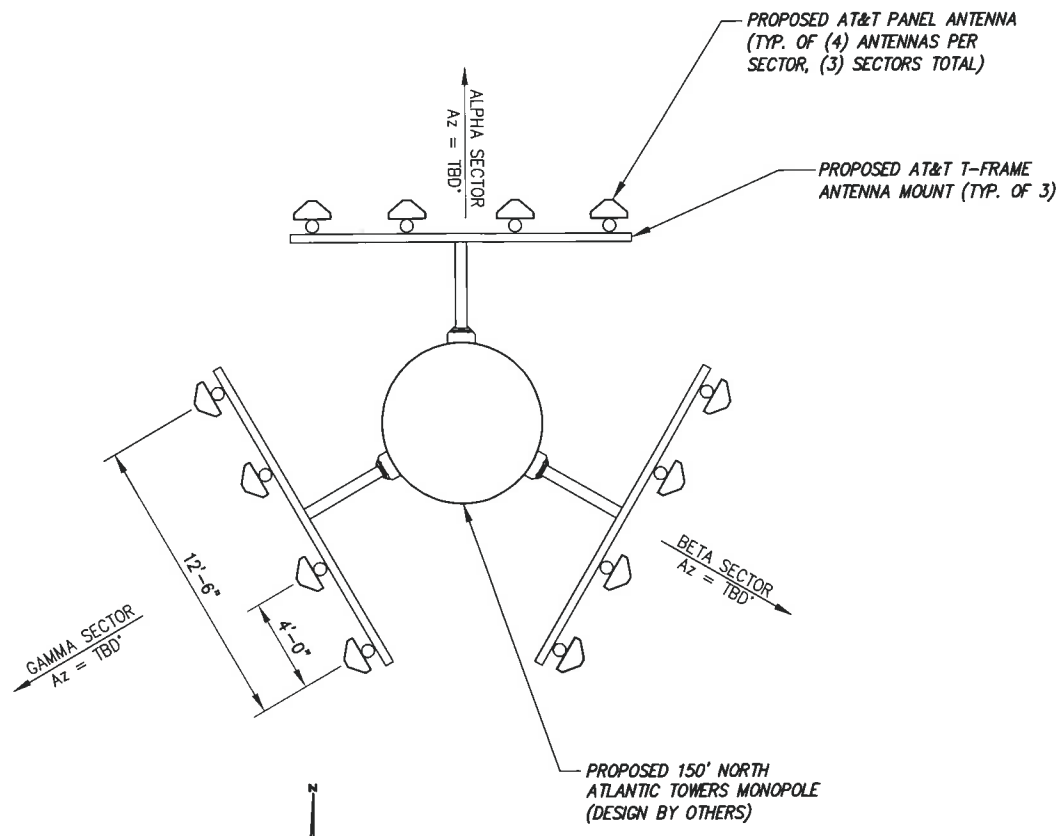
BASEMAPPING PREPARED FROM A SITE WALK PERFORMED BY INFINIGY ENGINEERING ON 9/23/09, AND A SURVEY PERFORMED BY INFINIGY ENGINEERING ON 11/16/09.



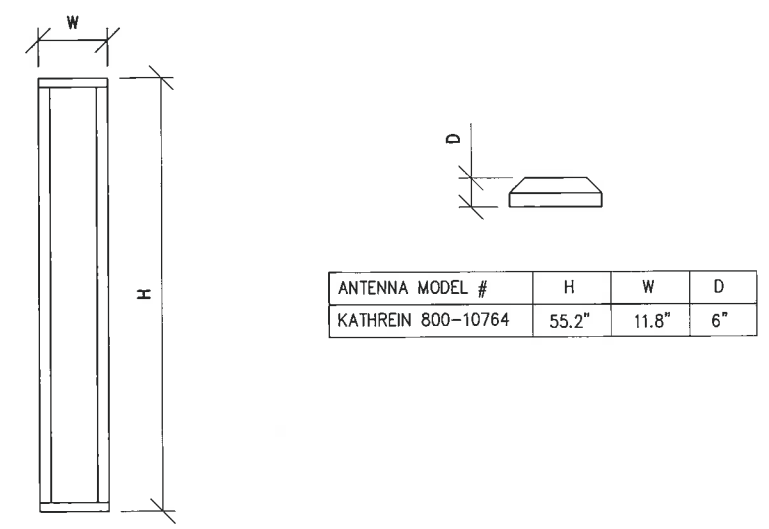
1 TOWER ELEVATION VIEW  
NOT TO SCALE

STRUCTURAL ANALYSIS NOT COMPLETED AT TIME OF ISSUANCE OF THESE DRAWINGS. THE STRUCTURAL ANALYSIS MUST BE COMPLETED PRIOR TO CONSTRUCTION.

PROPOSED ANTENNA RAD CENTER IS PRELIMINARY AND IS SUBJECT TO CHANGE WITH FINAL RF CONFIGURATION BY RF ENGINEER.



2 ANTENNA ORIENTATION  
NOT TO SCALE



3 ANTENNA DIMENSIONS  
NOT TO SCALE

**infinigy**  
engineering  
11 Herbert Drive  
Latham, NY 12110  
OFFICE: (518) 690-0790  
FAX: (518) 690-0793

STATE OF CONNECTICUT  
PROFESSIONAL ENGINEER  
No. 24795  
KATHREIN

2	REVISED ABUTTERS MAP	AJD	7/28/11
1	REV PER COMMENT	BPM	3/25/11
0	FOR PERMIT	BPM	3/2/11
No.	Submittal / Revision	App'd	Date

Drawn: BPM Date: 3/2/11  
Designed: AJD Date: 3/2/11  
Checked: AJD Date: 3/2/11

Project Number: 226-015  
Project Title: WATERTOWN CT1140  
655 BASSETT RD  
WATERTOWN, CT 06795

Prepared For: **NORTH ATLANTIC TOWERS**

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Drawing Scale: AS NOTED  
Date: 3/25/11  
**ZD**

Drawing Title: **ELEVATION VIEW & DETAILS**

Drawing Number: **Z6**





UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.

No.	Submitted / Revision	App'd	Date
2	REVISED ASBUTTERS MAP	AJD	7/26/11
1	REV PER COMMENT	BPM	3/25/11
0	FOR PERMIT	BPM	3/2/11

Drawn: BPM Date: 3/2/11  
Designed: AJD Date: 3/2/11  
Checked: AJD Date: 3/2/11

Project Number: 226-015  
Project Title: WATERTOWN CT1140  
655 BASSETT RD  
WATERTOWN, CT 06795

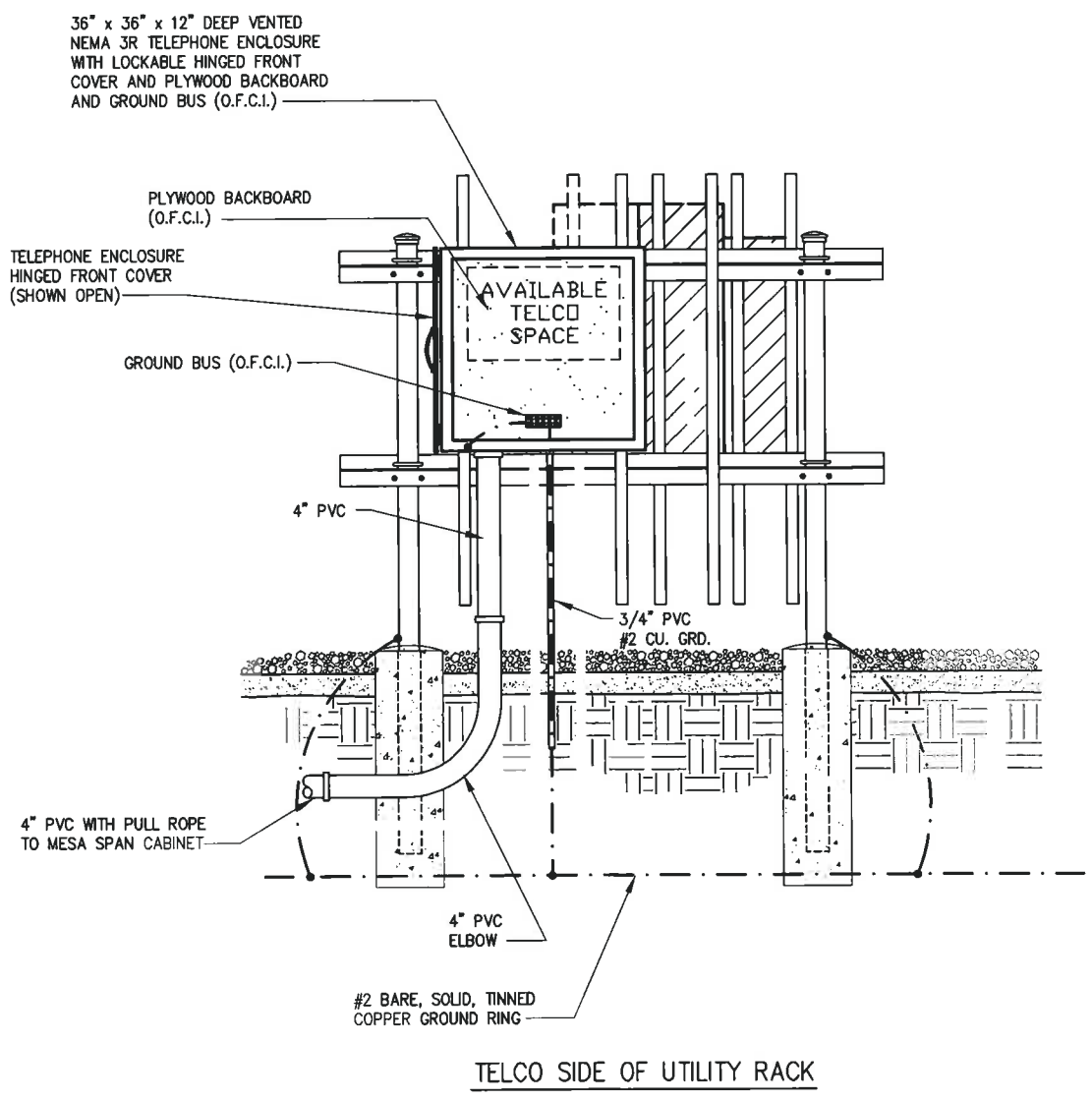
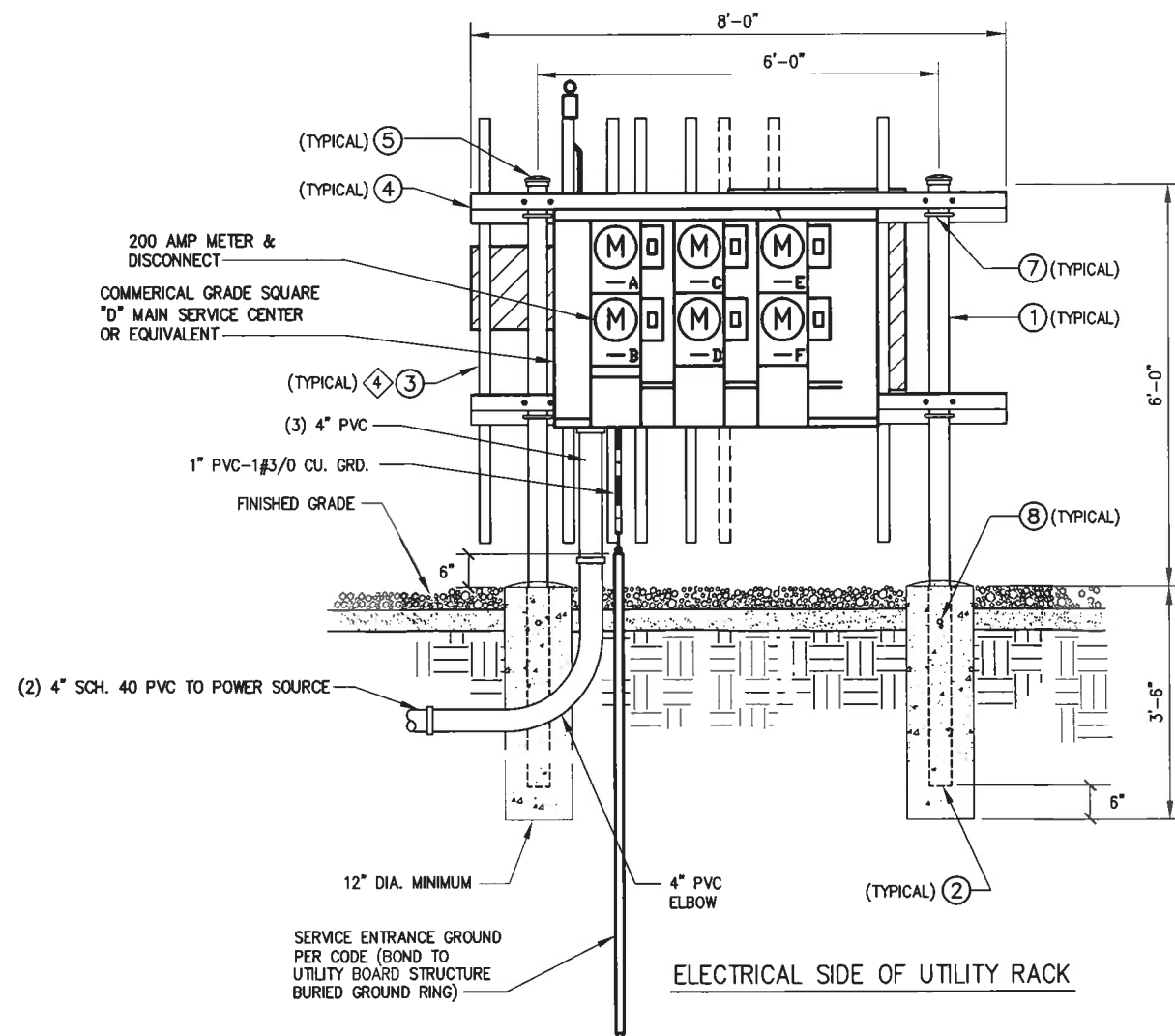
Prepared For: NORTH ATLANTIC TOWERS

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Drawing Scale: AS NOTED  
Date: 3/25/11  
**ZD**

Drawing Title: **DETAILS**

Drawing Number: **Z7**

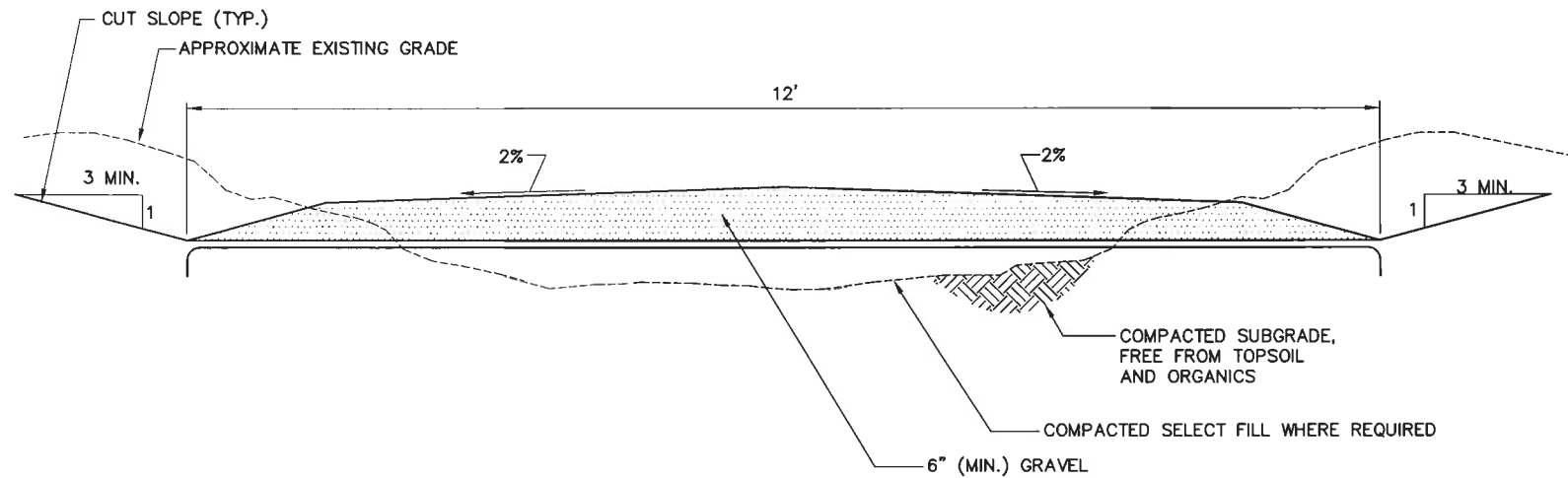


PARTS LIST - O.F.C.I.		
ITEM	DESCRIPTION	QTY.
①	84" x 3.5" O.D. PIPE	2
+ ②	36" INSERT	2
③	VERTICAL MEMBER	9
④	HORIZONTAL MEMBER	4
⑤	3-1/2" O.D. PIPE CAP	2
* ⑥	3/8" ANGLE ADAPTOR	38
⑦	1/2 x 3-5/8 x 5" GALV. U-BOLT ASSY.	8
⑧	1/2 x 1-1/2" GALV. BOLT ASSY.	2
* ⑨	3/8 x 3/4" GALV. BOLT ASSY.	38
* ⑩	3/8" GALV. FLAT WASHER	38

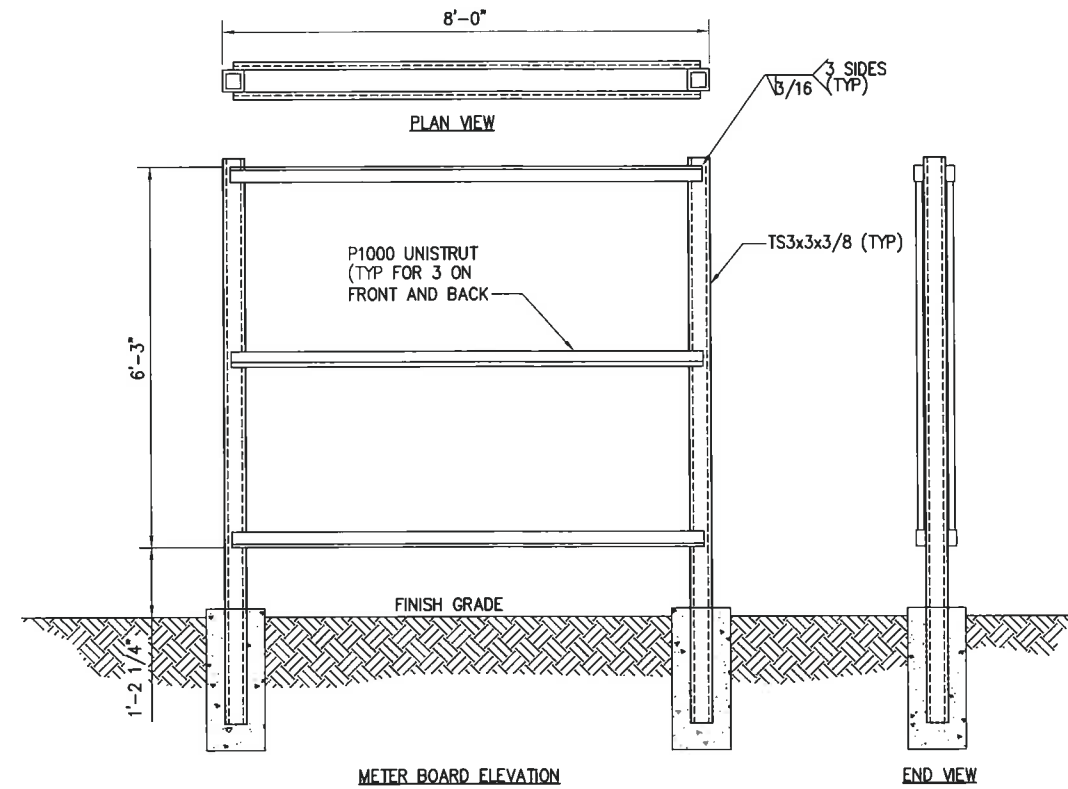
\* NOT SHOWN  
+ TO PREVENT CORROSION, ENSURE THAT THE PIPE SLEEVE IS COMPLETELY BELOW GROUND LEVEL AND ENCASED IN CONCRETE.

**1** UTILITY RACK DETAILS  
NOT TO SCALE.

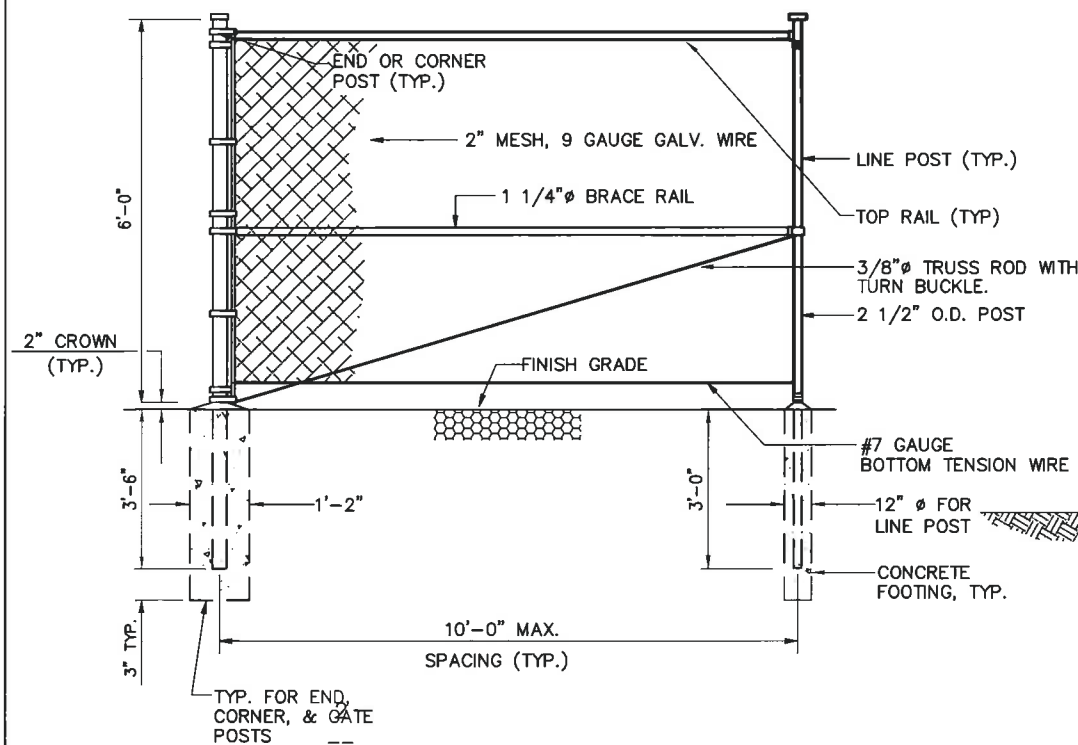
- NOTES:**
- UNLESS OTHERWISE NOTED, ALL UNDERGROUND PVC TO BE SCH 40.
  - ALL ABOVE GRADE PVC TO BE SCH 40. ALL CONNECTIONS TO BE SCH 40 PVC OR SEALTIGHT. VERIFY WITH CONSTRUCTION MANAGER PRIOR TO BID.
  - ALL WIRE CONNECTIONS & CONDUITS TO BE SUPPLIED BY CONTRACTOR UNLESS OTHERWISE NOTED OR SPECIFIED BY CONSTRUCTION MANAGER.
- ④ ADDITIONAL ANGLE ADAPTORS (NOT SHOWN) ARE USED TO MOUNT SERVICE BOXES TO THE VERTICAL MEMBERS.



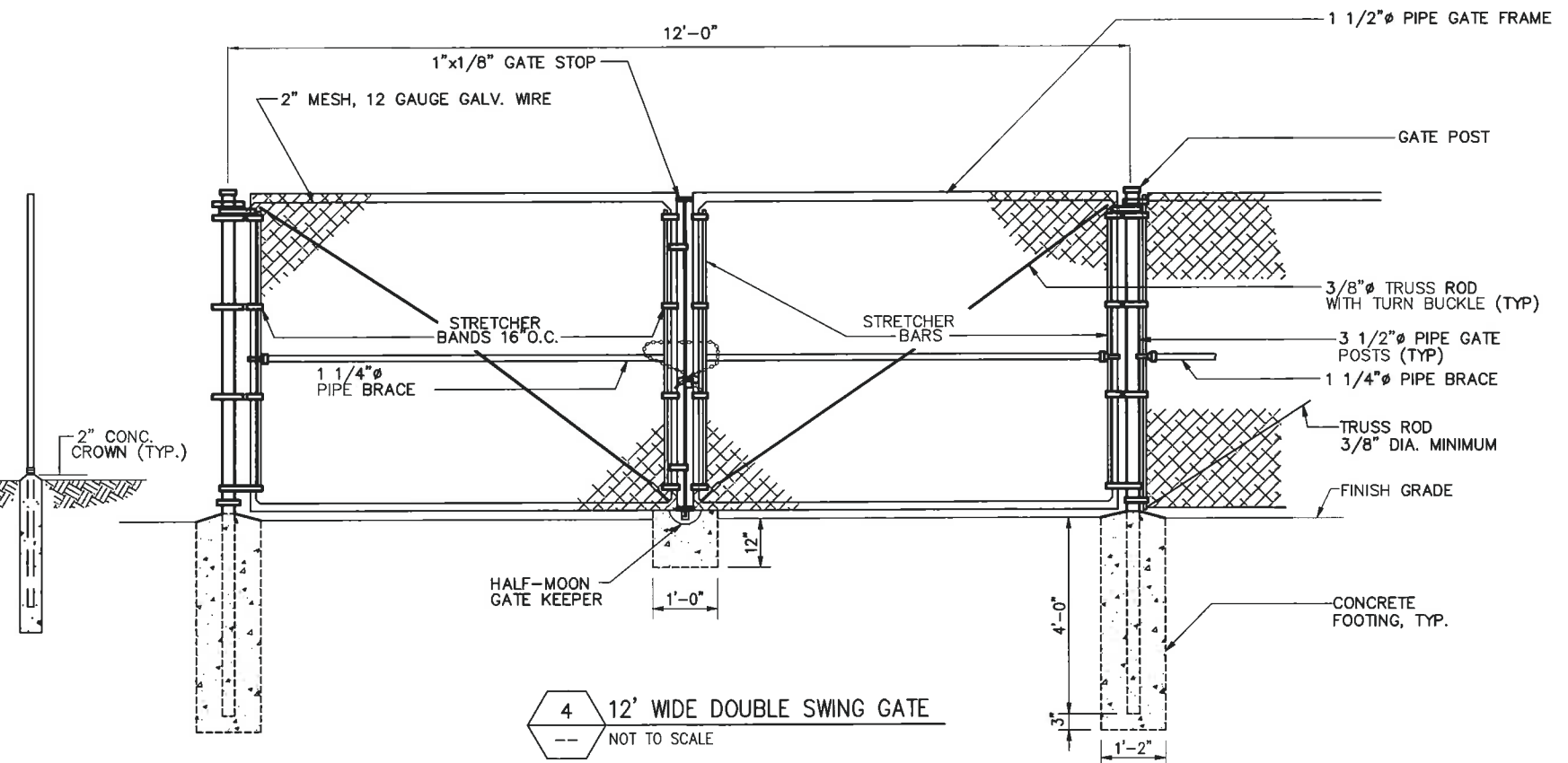
1 DRIVEWAY SECTION - CROWNED  
 --- NOT TO SCALE



3 8'-0" WIDE METER BOARD FABRICATION DETAIL  
 --- NOT TO SCALE



2 CHAIN LINK FENCE DETAIL (ELEVATION)  
 --- NOT TO SCALE



4 12' WIDE DOUBLE SWING GATE  
 --- NOT TO SCALE

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 Latham, NY 12110  
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 FAX: (518) 690-0793



No.	Submitted / Revision	App'd	Date
2	REVISED ABUTTERS MAP	ADD	7/29/11
1	REV PER COMMENT	BPM	3/25/11
0	FOR PERMIT	BPM	3/2/11

Drawn: BPM Date: 3/2/11  
 Designed: ADD Date: 3/2/11  
 Checked: ADD Date: 3/2/11

Project Number: 226-015  
 Project Title: WATERTOWN CT1140  
 655 BASSETT RD  
 WATERTOWN, CT 06795

Prepared For: NORTH ATLANTIC TOWERS  
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Drawing Scale: AS NOTED  
 Date: 3/25/11  
**ZD**

Drawing Title: **DETAILS**

Drawing Number: **Z8**



Federal Aviation Administration  
 Air Traffic Airspace Branch, ASW-520  
 2601 Meacham Blvd.  
 Fort Worth, TX 76137-0520

Aeronautical Study No.  
 2010-ANE-50-OE

Issued Date: 02/10/2010

Curtis Miller  
 Florida Tower Partners, LLC  
 401 N Cattlemen Road  
 Suite 305  
 Sarasota, FL 34232

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole CT1140 Watertown  
 Location: Watertown, CT  
 Latitude: 41-39-27.63N NAD 83  
 Longitude: 73-08-10.74W  
 Heights: 199 feet above ground level (AGL)  
 1038 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking and/or lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 08/10/2011 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE POSTMARKED OR DELIVERED TO THIS OFFICE AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE.**

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (781) 238-7522. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2010-ANE-50-OE.

**Signature Control No: 677148-122614811**

( DNE )

Suzanne Dempsey  
Technician

Attachment(s)  
Frequency Data

cc: FCC

**Frequency Data for ASN 2010-ANE-50-OE**

<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W



11 Herbert Drive  
Latham, NY 12110  
Phone: (518) 690-0790  
Fax: (518)-690-0793

**FAA 1-A SURVEY CERTIFICATION**

**Applicant:** Florida Tower Partners, LLC  
401 N. Cattlemen Rd., Ste. 305  
Sarasota, FL 34232

**Site Name:** Watertown  
**Site Number:** CT1140  
**Site Address:** 655 Bassett Road  
Watertown, CT 06795

<b>Source of Coordinates:</b>	<input checked="" type="checkbox"/>	GPS Survey	<input type="checkbox"/>	Ground Survey
<b>Source of Vertical Datum:</b>	<input checked="" type="checkbox"/>	GPS Survey	<input type="checkbox"/>	Ground Survey
<b>Structure Type:</b>	<input checked="" type="checkbox"/>	New Tower	<input type="checkbox"/>	Existing Tower
	<input type="checkbox"/>	Water Tank	<input type="checkbox"/>	Smoke Stack
			<input type="checkbox"/>	Roof Top
			<input type="checkbox"/>	Silo

**Latitude:** N 41° 39' 27.63" (NAD 83)

**Longitude:** W 73° 08' 10.74" (NAD 83)

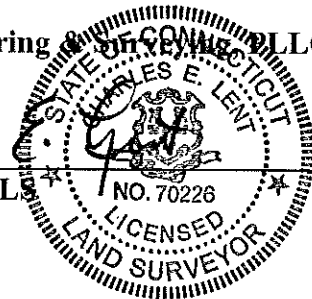
**Ground Elevation:** 839 feet AMSL (NAVD 88)

**Certification:** Certification: I certify that the coordinates of N 41° 39' 27.63" / W 73° 08' 10.74" (NAD 83) are accurate to within ± 10 feet horizontally and that the ground elevation of 839 feet (NAVD 88) is accurate to within ± 3 feet vertically. The horizontal datum (coordinates) are based on the North American Datum of 1983 (NAD 83) and are expressed in degrees, minutes and seconds to the nearest hundredth of a second. The vertical datum (elevations) are based on the North American Vertical Datum of 1988 (NAVD 88) and are determined to the nearest foot.

**Company:** Infinigy Engineering & Surveying, LLC

**Surveyor Signature and Seal:**

Charles E. Lent, L.S.



**Date:** November 13, 2009