

CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS

Connecticut Siting Council

APPLICATION OF CELLCO PARTNERSHIP
D/B/A VERIZON WIRELESS

WATERFORD NE FACILITY

DOCKET NO. _____

MAY 20, 2011



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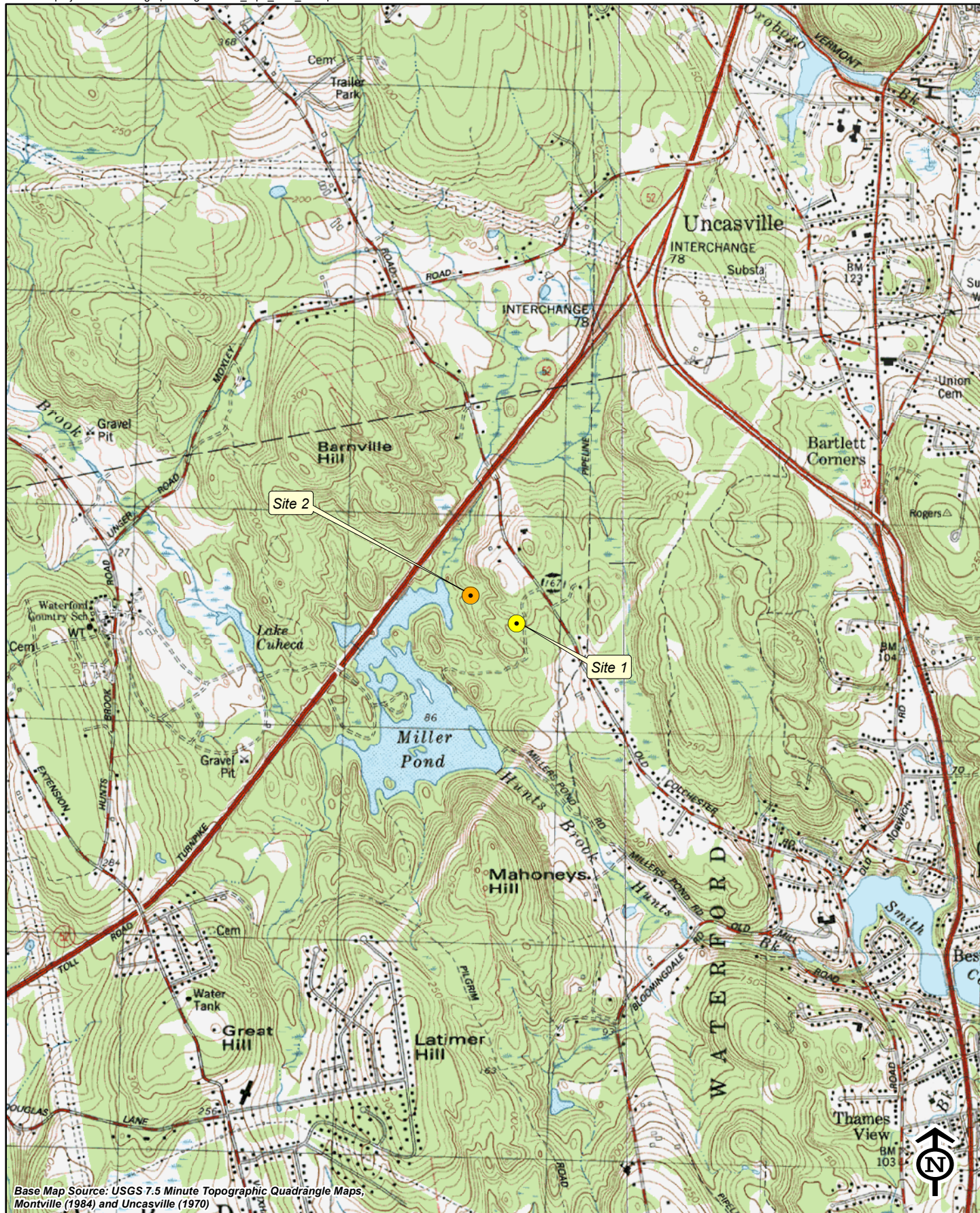
EXECUTIVE SUMMARY

Cellco Partnership d/b/a Verizon Wireless (“Cellco”) (“Applicant”), proposes to construct a telecommunications tower and related facility at one of two locations in the northeast portion of the Town of Waterford (the “Waterford NE Facility”). The Waterford NE Facility will provide wireless services to Cellco customers along portions of Interstate 395, and local roads as well as residential and commercial land uses in the Quaker Hill area of Waterford.

The first alternative site (“Site 1”) would be located on an approximately 45.9 acre parcel at 146 Old Colchester Road in Waterford. This parcel is owned by the Town of Waterford. At Site 1, Cellco proposes the construction of a 130-foot telecommunications tower. Cellco will install fifteen (15) panel-type antennas on a low-profile square antenna platform at the 130-foot level on the tower. The top of Cellco’s antennas will extend to an overall height of approximately 133 feet above ground level (“AGL”). Cellco would also install a 12’ x 24’ shelter on the ground near the base of the tower to house its radio equipment and a diesel-fueled back-up generator. The tower and equipment shelter will be located within a 50’ x 50’ fenced compound. Vehicular access to Site 1 would extend from Old Colchester Road over a new gravel driveway, a distance of approximately 765 feet. Utilities would extend from existing service along Old Colchester Road.

The second alternative site (“Site 2”) would be located on a 12.8 acre parcel at 164 Old Colchester Road. This parcel is owned by Jimmie R. Padgett, Jr. At Site 2, Cellco proposes the construction of a 150-foot telecommunications tower. Cellco would install fifteen (15) panel-type antennas on a low-profile square antenna platform at the 150-foot level on the tower. The top of Cellco’s antennas would extend to an overall height of 153 feet AGL. Cellco would also

install a 12' x 24' shelter on the ground near the base of the tower to house its radio equipment and a propane-fueled back-up generator. The tower, equipment shelter and 1,000 gallon propane tank would be located within a 50' x 50' compound area. Vehicular access to Site 2 would extend from Old Colchester Road over the property owner's existing paved driveway a distance of approximately 795 feet then over a new gravel driveway extension an additional distance of approximately 280 feet. Utilities would also extend from existing service along the property owner's existing driveway to the cell site a distance of approximately 280 feet.

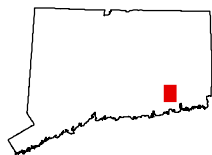


Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Montville (1984) and Uncasville (1970)



Vanasse Hangen Brustlin, Inc.

**USGS Topographic Map
Proposed Verizon Wireless
Telecommunications Facility
Waterford NE
Site 1 - 146 Old Colchester Road
Site 2 - 164 Old Colchester Road
Waterford, Connecticut**

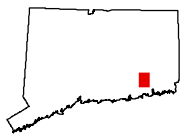
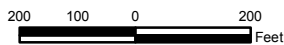


Quadrangle Location





Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Quadrangle Location

Vanasse Hangen Brustlin, Inc.

**Aerial Photograph
Proposed Verizon Wireless
Telecommunications Facility
Waterford NE**

**Site 1 - 146 Old Colchester Road
Site 2 - 164 Old Colchester Road
Waterford, Connecticut**



**STATE OF CONNECTICUT
CONNECTICUT SITING COUNCIL**

IN RE: :
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APPLICATION OF CELLCO PARTNERSHIP : **DOCKET NO. _____**
D/B/A VERIZON WIRELESS FOR A :
CERTIFICATE OF ENVIRONMENTAL :
COMPATIBILITY AND PUBLIC NEED FOR :
THE CONSTRUCTION, MAINTENANCE :
AND OPERATION OF A WIRELESS :
TELECOMMUNICATIONS FACILITY IN :
WATERFORD, CONNECTICUT : **MAY 20, 2011**

**APPLICATION FOR CERTIFICATE OF
ENVIRONMENTAL COMPATIBILITY AND PUBLIC NEED**

I. INTRODUCTION

A. Authority and Purpose

This Application and the accompanying attachments (collectively, the “Application”) is submitted by Cellco Partnership d/b/a Verizon Wireless (“Cellco”) or the (“Applicant”), pursuant to Chapter 277a, Sections 16-50g et seq. of the Connecticut General Statutes (“C.G.S.”), as amended, and Sections 16-50j-1 et seq. of the Regulations of Connecticut State Agencies (“R.C.S.A.”), as amended. The Application requests that the Connecticut Siting Council (“Council”) issue a Certificate of Environmental Compatibility and Public Need (“Certificate”) for the construction, maintenance, and operation of a wireless telecommunications facility, at one of two locations in the northeast portion (a/k/a Quaker Hill section) of the Town of Waterford, Connecticut (the “Waterford NE Facility”). The proposed Waterford NE Facility would provide wireless telecommunications service along significant portions of Interstate 395 (“I-395”), and

local roads, as well as residential and commercial land uses in Quaker Hill. Coverage gaps currently exist at both cellular and PCS frequencies between Cellco's existing Uncasville, Montville 2, Waterford and Groton 2 cell sites. (See Coverage Maps behind Tab 7 of this Application).

Cellco's Uncasville cell site consists of antennas at the 142-foot level of a existing 190-foot tower at 71 Moxley Road in Montville. This tower is owned by Mariner Towers and is located approximately 1.5 miles north of the two alternative Waterford NE Facility locations. Cellco's Montville 2 cell site consists of antennas at the 173-foot level of a 183-foot tower at 45 Fargo Road in Waterford. This tower is owned by SBA and is located approximately 2.8 miles southwest of the two alternative Waterford NE Facility locations. Cellco's Waterford cell site consists of antennas at the 135-foot level of a 170-foot tower at 53 Dayton Road in Waterford. This tower is owned by the Cohanzie Fire Department and is located approximately 2.7 miles south of the two alternative Waterford NE Facility locations. Cellco's Groton 2 cell site consists of antennas at the 147-foot level of a 150-foot tower at 1294 Pleasant Valley Road in Groton. This tower is owned by SBA and is located approximately 3 miles east of the two alternative Waterford NE Facility locations.

The first alternative cell site ("Site 1") would be located in the easterly portion of an approximately 45.9 acre parcel owned by the Town of Waterford at 146 Old Colchester Road. At Site 1, Cellco would construct a 130-foot self-supporting monopole telecommunications tower. Cellco would install a total of fifteen (15) panel-type antennas (six (6) cellular antennas; six (6) PCS antennas; and three (3) LTE antennas) with their centerline at the 130-foot level on the tower. To accommodate its antenna orientation requirements, Cellco would attach its

antennas to a low-profile square antenna platform. The top of the antennas would extend to an overall height of approximately 133 feet above ground level (“AGL”). Equipment associated with Cellco’s antennas and a diesel-fueled back-up generator would be located in a 12’ x 24’ shelter proposed to be installed near the base of the tower. The tower and equipment shelter will remain within the limits of a 50’ x 50’ fenced compound. Vehicular access to Site 1 would extend from Old Colchester Road over a new gravel driveway a distance of approximately 765 feet. This driveway would follow the route of an existing dirt path on the Town’s parcel. Utilities would extend, underground, from existing service along Old Colchester Road.

The proposed Site 1 Facility will provide reliable wireless service to a 2.3 mile portion of I-395, and an overall area of 7.66 square miles at cellular (850 MHz) frequencies; a 2.08 mile portion of I-395, and an overall area of 6.21 square miles at PCS (1900 MHz) frequencies; and a 2.3 mile portion of I-395, and an overall area of 7.7 square miles at LTE (700 MHz) frequencies.

The second alternative cell site (“Site 2”) would be located in the southerly portion of a 12.8 acre parcel owned by Jimmie R. Padgett, Jr. at 164 Old Colchester Road. At Site 2, the Applicant would construct a 150-foot self-supporting monopole telecommunications tower. Cellco would install a total of fifteen (15) panel-type antennas (six (6) cellular antennas; six (6) PCS antennas; and three (3) LTE antennas) with their centerline at the 150-foot level. To accommodate its antenna orientation requirements, Cellco would attach its antennas to a low-profile square antenna platform. The top of Cellco’s antennas would extend to an overall height of approximately 153 AGL. Equipment associated with Cellco’s antennas and a propane-fueled back-up generator would be located in a 12’ x 24’ shelter proposed to be installed near the base of the tower. The tower, equipment shelter and a 1,000 gallon propane tank will remain within

the limits of a 50' x 50' fenced compound. Vehicular access to Site 2 would extend from Old Colchester Road over a portion of the property owner's existing paved driveway a distance of approximately 795 feet, then over a new gravel driveway extension an additional distance of approximately 280 feet. Utilities would extend underground from existing overhead service along the owner's existing access driveway, located approximately 280 feet to the north of the cell site.

The proposed Site 2 Facility will provide reliable wireless service to a 2.3 mile portion of I-395, and an overall area of 6.3 square miles at cellular (850 MHz) frequencies; a 2.2 mile portion of I-395, and an overall area of 5.28 square miles at PCS (1900 MHz) frequencies; and a 2.4 mile portion of I-395, and an overall area of 6.4 square miles at LTE (700 MHz) frequencies.

The towers and facility compound areas of both Site 1 and Site 2 would be designed to accommodate additional wireless carriers as well as state or local emergency services antennas and equipment.

Cellco's equipment shelter would house radio and related equipment, including (a) receiving, transmitting, switching, processing and performance monitoring equipment; and (b) automatic heating and cooling equipment. A back-up generator would also be installed in a segregated generator room within the shelter for use during power outages and periodically for maintenance purposes. Due to its proximity to wetland areas, at Site 2, Cellco would install a propane-fueled generator inside its shelter and a 1,000 gallon propane fuel tank within the fenced facility compound.

Both the Site 1 and Site 2 compounds would be enclosed by an 8-foot high security fence and gate. Cellco's equipment shelter would be equipped with a silent intrusion and system alarms

and will be monitored on a 24-hour basis to receive and to respond to incoming alarms or other technical problems. Cellco's Site 1 diesel-fueled generator will maintain a 210 gallon fuel "belly" tank as an integral part of the generator unit. The generator's fuel tank is double-walled and maintains a leak detection alarm. As an additional level of safety, the floor of Cellco's generator room is capable of maintaining 120% of the capacity of all generator fuels and fluids, in the unlikely event of a complete failure of the generator unit. The equipment shelter would remain unstaffed, except as required for maintenance. Once the cell site is operational, maintenance personnel generally visit the cell site on a monthly basis. More frequent visits may be required if there are problems with the cell site equipment.

Included in this Application, as Attachments 1 and 2, are factual summaries and project plans for the Site 1 and Site 2 Facilities. These summaries, along with the other attachments submitted as part of this Application, contain all of the site-specific information required by statute and the regulations of the Council.

B. The Applicant

Cellco is a Delaware Partnership with an administrative office located at 99 East River Drive, East Hartford, CT, 06108. Cellco is licensed by the Federal Communications Commission ("FCC") to operate a wireless telecommunications system in the State of Connecticut within the meaning of C.G.S. Section 16-50i(a)(6). Cellco has extensive national experience in the development, construction and operation of wireless telecommunications systems and the provision of wireless telecommunications service to the public. Operation of the wireless telecommunications systems and related activities are Cellco's sole business in the State of Connecticut.

Correspondence and/or communications regarding this Application may be addressed to:

Sandy Carter, Regulatory Manager
Verizon Wireless
99 East River Drive
East Hartford, Connecticut 06108

A copy of all such correspondence or communications should also be sent to:

Robinson & Cole LLP
280 Trumbull Street
Hartford, Connecticut 06103-3597
(860) 275-8200
Attention: Kenneth C. Baldwin, Esq.

C. Application Fee

The estimated total construction cost for either the Site 1 or Site 2 Facility would be less than \$5,000,000. Therefore, pursuant to Section 16-50v-1a(b) of the Regulations of Connecticut State Agencies, a fee of \$1,250 accompanies this Application in the form of a check payable to the Council.

II. SERVICE AND NOTICE REQUIRED BY C.G.S. SECTION 16-50I(b)

Copies of this Application have been sent to municipal, regional, state and federal officials, pursuant to C.G.S. Section 16-50I(b). A certificate of service, along with a list of the parties served with a copy of the Application, is included as Attachment 3.

Notice of Cellco's intent to submit this Application was published on May 17 and 18, 2011, by Cellco in the *New London Day* pursuant to C.G.S. Section 16-50I(b). A copy of the published legal notice is included as Attachment 4. A copy of an Affidavit of Publication will be forwarded to the Council as soon as it is available.

Attachment 5 contains a certification that notices were sent to each person appearing of record as an owner of property that may be considered to abut the land on which the Site 1 and Site

2 Facilities would be located in accordance with C.G.S. Section 16-50(b), as well as a list of the property owners to whom such notice was sent and a sample notice letter.

III. REQUIRED INFORMATION: PROPOSED WIRELESS FACILITY

The purpose of this section is to provide an overview and general description of the Site 1 and Site 2 Facilities proposed to be installed in Waterford.

A. General Information

Prior to the 1980's, mobile telephone service was characterized by insufficient frequency availability, inefficient use of available frequencies and poor quality of service. These limitations generally resulted in problems of congestion, blocking of transmissions, interference, lack of coverage and relatively high cost. Consequently, the FCC, in its Report and Order released May 4, 1981 in FCC Docket No. 79-318, recognized the public need for technical improvement, wide-area coverage, high quality service and a degree of competition in mobile telephone service.

More recently, the federal Telecommunications Act of 1996 (the "Act") emphasized and expanded on these aspects of the FCC's 1981 decision. Among other things, the Act recognized an important nationwide public need for high-quality wireless telecommunication services of all varieties. The Act also expressly promotes competition and seeks to reduce regulation in all aspects of the telecommunications industry in order to foster lower prices for consumers and to encourage the rapid deployment of new telecommunications services and technologies.

The proposed Waterford NE Facility would be part of Cellco's expanding wireless telecommunications network envisioned by the Act and has been developed to help meet these nationwide goals. In particular, Cellco's system has been designed, and the cell sites proposed in

this Application have been selected, so as to maximize the geographical coverage and quality of service while minimizing the total number of cell sites required.

Because the FCC and the United States Congress have determined that there is a pressing public need for high-quality wireless telecommunications service nationwide, the federal government has preempted the determination of public need by states and municipalities, including the Council, with respect to public need for wireless service to be provided by the proposed Waterford NE Facility. In addition, the FCC has promulgated regulations containing technical standards for wireless systems, including design standards, in order to ensure the technical integrity of each system and nationwide compatibility among all systems. State and local regulation of these matters is likewise preempted. The FCC has also exercised its jurisdiction over and preempted state and local regulation with respect to radio frequency emissions and interference issues by establishing regulations in this area as well.

Pursuant to FCC authorizations, Cellco has constructed and currently operates a wireless system throughout Connecticut. This system, together with Cellco's system throughout its east coast and nationwide markets, has been designed and constructed to operate as one integrated, contiguous system, consistent with Cellco's business policy of developing compatibility and continuity of service on a regional and national basis.

Recognizing the public safety benefits that enhanced wireless telecommunications networks can provide, the United States, Congress also enacted the Wireless Communications and Public Safety Act of 1999 to promote and enhance public safety by making 911 the universal emergency assistance number, furthering the deployment of wireless 911 capabilities and further encouraging the construction and operation of seamless, ubiquitous and reliable wireless networks. In 2004,

Congress enacted the Enhanced 911 Act for the specific purpose of enhancing and promoting Homeland Security, public safety and citizen activated emergency response capabilities. These goals and other related responsibilities imposed on wireless service providers can only be satisfied if Cellco maintains a ubiquitous and reliable wireless network.

Included as Attachment 6 is a copy of the FCC's authorization issued to Cellco for its wireless service in New London County, Connecticut. The FCC's rules permit a licensee to modify its system, including the addition of new cell sites, without prior approval by the FCC, as long as the licensee's authorized service area is not enlarged. The Waterford NE Facility would not enlarge Cellco's authorized service area.

B. Public Need and System Design

1. Public Need

As noted above, the Act has pre-empted any state or local determination of public need for wireless services. In New London County, Cellco holds an FCC License to provide wireless services in the cellular, PCS and, most recently, LTE frequency ranges. Pursuant to its FCC Licenses, Cellco has developed and continues to develop a network of cell sites to serve the demand for wireless services throughout Connecticut, in general and in northeast Waterford, in particular. Cellco's network currently provides coverage in Waterford and the surrounding areas from its existing Uncasville, Montville 2, Waterford and Groton 2 cell sites. Plots showing coverage from Cellco's existing cell sites alone and together with the coverage from either the Site 1 or Site 2 Facilities are included as Attachment 7.

2. System Design and Equipment

a. System Design

Cellco's wireless system in general and the proposed Waterford NE Facility, in particular, have been designed and developed to allow Cellco to achieve and to maintain high quality, reliable wireless service without interruption from dropped calls and interference.

The system design provides for frequency reuse and hand-off, is capable of orderly expansion and is compatible with other wireless systems. The resulting quality of service compares favorably with the quality of service provided by conventional wireline telephone service. The wireless system is designed to assure a true cellular configuration of base transmitters and receivers in order to cover the proposed service area effectively while providing the highest quality of service possible. Cell site transmissions are carefully tailored to the FCC's technical standards with respect to coverage and interference and to minimize the amount of power that is radiated.

Mobile telephone switching offices ("MTSOs") in Windsor and Wallingford are interconnected and operate Cellco's wireless systems in Connecticut as a single network, offering the subscriber uninterrupted use of the system while traveling throughout the State. This network is further interconnected with the local exchange company ("LEC") and inter-lata (long distance) carriers network.

Cellco has designed its wireless system in conformity with applicable standards and constraints for wireless systems. Cellco's system is also designed to minimize the need for additional cell sites in the absence of additional demand or unforeseen circumstances.

b. Cellular System Equipment

The key elements of the cellular system are the two MTSOs located in Windsor and Wallingford and the various connector cell sites around the state. Cellco's CDMA wireless networks are deployed on two platforms: the earlier AUTOPLEX system, using Series II base stations, and the newer FLEXENT CDMA system, using smaller, more compact modular base stations. Because the Series II base stations are no longer manufactured, the newer CDMA systems, using smaller, more compact modular base stations are used for all current installations.

The major electronic components of each cell site are radio frequency transmission and receiving equipment and cell site controller equipment. Cellco's cellular system uses Lucent Flexent® Modular Cell 4.0B cell site equipment to provide complete cell site control and performance monitoring. This equipment is capable of expanding in modules to meet system growth needs. The cell site equipment primarily provides for: message control on the calling channel; call setup and supervision; radio frequency equipment control; internal diagnostics; response to remote and local test commands; data from the mobile or portable unit in both directions and on all channels; scan receiver control; transmission of power control commands; rescanning of all timing; and commands and voice channel assignment. Additional information with respect to the Lucent Flexent® Modular Cell 4.0B equipment is contained in Attachment 8.

3. Technological Alternatives

Cellco submits that there are no equally effective technological alternatives to the proposal contained herein. In fact, Cellco's wireless system represents state-of-the-art technology offering high-quality service. Cellco is aware of no viable and currently available alternatives to its system design for carriers licensed by the FCC.

C. Site Selection and Tower Sharing

1. Cell Site Selection

The principal goal in selecting a cell site is to locate a facility that will allow Cellco to build and to operate a high-quality wireless system with the least overall environmental impact. The Applicant has determined that either of the proposed Site 1 or Site 2 Facilities would satisfy this goal. Service from either alternative site location will help to resolve existing coverage problems and to provide high-quality reliable service primarily along portions of I-395 and local roads, as well as residential and commercial land uses in the area.

The methodology of cell site selection for a wireless system generally limits the search for possible locations to specific locations within a designated site search area. A list of existing towers or other non-tower structures considered as part of the Waterford NE site search effort is included in Attachment 9. Cellco currently shares the existing towers in the area including those sites identified on the coverage maps. (See Attachment 7). These existing cell sites cannot satisfy the wireless service objectives for the Waterford NE search area. (See Existing cellular and PCS coverage maps in Attachment 7). Cellco also regularly investigates the use of existing, non-tower structures in an area, when available, as an alternative to building a new tower. No existing non-tower structures of suitable height exist in northeast Waterford. Cellco initiated a site search process for Waterford NE cell site in September, 2006, and identified the property at 164 Old Colchester Road (Site 2) as a viable candidate for a cell site. Cellco determined that an antenna height of 150 feet at this site would satisfy its Waterford NE service objectives. During the course of its initial local input meeting with Town of Waterford officials, Cellco was asked to review and consider for inclusion as a alternate site, a portion of Town-owned property at 146 Old Colchester Road (Site 1). Due to the higher ground elevation at Site 1, Cellco determined that an antenna

height of 130 feet would satisfy its Waterford NE service objectives. The site search summary (Attachment 9) together with the site information contained in Attachments 1 and 2 support Cellco's position that the sites selected represent the most feasible alternative of the sites investigated.

2. Tower Sharing

The Applicant will design the approved facility tower and compound to be shared by a minimum of four wireless carriers, and the Town, or local emergency service providers if a need exists. This type of tower sharing arrangement would reduce, if not eliminate, the need for these other carriers or municipal entities to develop a separate tower in this same area in the future. As of the date of this filing, no other carrier has yet expressed any interest in the Waterford NE Facility.

D. Cell Site Information

1. Site Facilities

At Site 1, Cellco would construct a new 130-foot tall monopole tower. At the top of the tower, Cellco would install fifteen (15) panel-type directional antennas attached to a low-profile square antenna platform. Cellco would install a 12' x 24' single-story shelter near the base of the Site 1 tower to house its receiving, transmitting, switching, processing and performance monitoring equipment and required heating and cooling equipment along with a diesel-fueled back-up generator. The Site 1 tower and equipment shelter would be surrounded by an 8-foot high security fence and gate. (See Attachment 1).

At Site 2, the Applicant would construct a new 150-foot tall monopole tower. At the top of the tower, Cellco would install fifteen (15) panel-type directional antennas attached to a low-profile square antenna platform. Cellco would install a 12' x 24' single-story shelter near the base of the Site 2 tower to house its receiving, transmitting, switching, processing and performance monitoring

equipment and the required heating and cooling equipment, along with a propane-fueled back-up generator. The Site 2 tower, equipment shelter and a 1,000 gallon propane tank would be surrounded by an 8-foot high security fence and gate. (See Attachments 1 and 2).

The equipment shelter would be equipped with silent intrusion and systems alarms. Celco personnel will be available on a 24-hour basis to receive and to respond to incoming alarms. The equipment building will remain unstaffed, except as required for periodic maintenance purposes.

2. Overall Costs and Benefits

Aside from the limited visual impacts discussed further below, the Applicant believes that there are no significant costs attendant to the construction, maintenance, and operation of the proposed Waterford NE Facility. In fact, the public will benefit substantially from its increased ability to receive high-quality, reliable wireless service in northeast Waterford.¹ The Waterford NE Facility would be a part of a communications system that addresses the public need identified by the FCC and the United States Congress for high-quality, competitive mobile and portable wireless service. Moreover, the proposed cell site would be part of a system designed to limit the need for additional cell sites in the future.

The overall costs to the Applicant for development of the proposed cell site are set forth in Section III.E. of the Application.

¹ Businesses across the State have become more dependent on wireless telecommunication services. The public safety benefits of wireless telephone service are illustrated by the Connecticut State Police Enhanced 911 emergency calling system. The E-911 emergency calling system is available statewide to all wireless telephone users. Numerous other emergency service organizations have turned to wireless telephone service for use during natural disasters and severe storms when wireline service is interrupted or unavailable.

3. Environmental Compatibility

Pursuant to Section 16-50p of the General Statutes, in its review of an Application, the Council is required to evaluate the nature of the probable environmental impacts, including the specific impacts of the Site 1 and Site 2 Facilities, and determine whether alone or cumulatively with other effects, these impacts conflict with the policies of the state concerning the natural environment, ecological balance, public health and safety, scenic, historic and recreational values, forests and parks, air and water purity and fish and wildlife.

a. Primary Facility Impact is Visual

The wireless telecommunications system of which the proposed Waterford NE Facility would be a part has been designed to meet the public need for high-quality, reliable wireless service while, at the same time, minimizing any potential adverse environmental impact. In part because there are few, if any other significant physical environmental effects, one of the primary impacts of facilities such as this is visual. This visual impact of any particular tower will vary from location to location around a tower site, depending upon factors such as tower height, vegetation, topography, the distance to nearby properties from the tower and the location of buildings and roadways in a "sight line" toward the tower. Visual impact of a tower can be further reduced through the proper use of alternative tower structures; so-called "stealth installations." Where appropriate, telecommunications towers camouflaged as trees or other appropriate structures, can help to further reduce visual impacts associated with these structures. See Attachment 10 and Attachment 11 contain Visual Resource Evaluation Reports, prepared by VHB, Inc. (the "VHB Visual Reports") for the Site 1 and Site 2 Facilities, respectively. The VHB Visual Reports assess the visual impact of the Site 1 and Site 2 towers and include photosimulations for the Council's review and consideration.

(1) **Site 1 Visibility**

According to the VHB Report for Site 1, areas where the top of the tower would be visible above the surrounding tree canopy comprise approximately fourteen (14) acres or less than two-tenths of one percent of the 8,042 acre study area. The areas of year-round visibility associated with the Site 1 tower generally occur over the open water of the southwest portions of Millers Pond. Areas where seasonal views are anticipated comprise of approximately thirty (30) acres and are generally located in the area immediately surrounding the Site 1 Facility location.

There are four (4) residences within 1,000 feet of the Site 1 Facility, the closest of which is located at 152 Old Colchester Road, approximately 560 feet to the north of the Site 1 tower location. The property at 152 Old Colchester Road is listed on Cellco's abutting properties list behind Attachment 5 of this Application.

(2) **Site 2 Visibility**

According to the VHB Report for Site 2, areas where the tower would be visible above the tree canopy comprise approximately thirteen (13) acres or less than two-tenths of one percent of the 8,042 acre study area. Like the Site 1 Facility, the majority of the areas of year-round visibility of the Site 2 tower occur over the open water of Millers Pond, to the southwest of the tower site. Areas where seasonal views are anticipated comprise approximately thirty-two (32) acres and are generally located in the area immediately surrounding the Site 2 Facility location.

There are four (4) residences within 1,000 feet of Site 2, including the owner's residence. The closest off-site residence is located at 152 Old Colchester Road, approximately 628 feet to the east of the Site 2 tower location. The property at 152 Old Colchester Road is listed on Cellco's abutting properties list behind Attachment 5 of this Application.

Weather permitting, the Applicant will raise balloons with a diameter of at least three (3) feet at the Site 1 and Site 2 Facility locations on the day of the Council's hearing on this Application, or at a time otherwise specified by the Council.

b. Environmental Reviews and Agency Comments

Section 16-50j of the General Statutes requires the Council to consult with and to solicit comments on the Application from the Commissioners of the Departments of Environmental Protection, Public Health, Public Utility Control, Economic Development, and Transportation, the Council on Environmental Quality, and the Office of Policy and Management, Energy Division. In addition to the Council's solicitation of comments, Cellco, as a part of the National Environmental Policy Act ("NEPA") Checklist, each solicit comments on the proposed Site 1 and Site 2 Facilities from the U.S. Department of the Interior, Fish and Wildlife Service ("USFWS"), Environmental and Geographic Information Center of the Connecticut Department of Environmental Protection ("DEP") and the Connecticut Historical Commission, State Historic Preservation Officer ("SHPO"). Information on the USFWS and DEP reviews regarding impacts on known populations of Federal or State Endangered, Threatened or Special Concern Species occurring at the proposed site are included in Attachment 12.

According to the USFWS letter dated January 3, 2011, three federally-listed endangered and threatened species occur in Waterford, Connecticut. These include the two bird species (Piping Plover, Roseate Turn) and one plant species (Small Whorled Pagonia). The proposed development of the Site 1 or Site 2 Facilities will not, however, result in an adverse effect to any of these listed species. See USFWS information and the March 3, 2011 (Site 1) and May 4, 2011 (Site 2) Compliance Memoranda from VHB, Inc. included in Attachment 12. According to the DEP, there

are no State listed species within the Site 1 or Site 2 project areas. A copy of the DEP's November 29, 2010 letter referring to the Site 1 Facility and February 26, 2010 letter referring to the Site 2 Facility are also included as a part of Attachment 12.

Also included in Attachment 12 are two letters from the SHPO confirming that the Site 1 and Site 2 Facilities will have no adverse effect on historic properties or architectural or archeological resources listed on or eligible for the National Register of Historic Places.

This review by federal and state agencies furnishes ample expert opinion on the potential environmental impacts from either the Site 1 or Site 2 Facilities in the context of the criteria which the Council must consider.

c. Non-Ionizing Radio Frequency Radiation

The FCC has adopted a standard for exposure to Radio Frequency ("RF") emissions from telecommunications facilities like that proposed in this Application. To ensure compliance with the applicable standards, Cellco has performed maximum power density calculations for the proposed cell sites according to the methodology prescribed by the FCC Office of Engineering and Technology Bulletin No. 65, Edition 97-01 (August 1997) ("OET Bulletin 65"). The calculation is a conservative, worst-case approximation for RF power density levels at the closest accessible point to the antennas, in this case the base of either the Site 1 or Site 2 tower, and with all antennas transmitting simultaneously on all channels at full power. The calculations indicate that the maximum worst-case power density level for Cellco's cellular, PCS and LTE antennas would be 17.42% of the Standard at Site 1 and 12.69% of the Standard at Site 2. The General Power Density Calculation referred to above is included behind Attachment 13.

d. Other Environmental Issues

No sanitary facilities are required for either Site 1 or Site 2. The operations at the Waterford NE Facility will not cause any significant air, water, noise or other environmental impacts, or hazard to human health. Based on agency comments received and field investigations completed by the Cellco project team, the Applicant submits that the proposed Site 1 and Site 2 Facilities will have no significant adverse effect on scenic, natural, historic or recreational features, and that none of the potential effects from either the Site 1 or Site 2 Facilities alone or cumulatively with other effects is sufficient reason to deny this Application.

4. Consistency with Local Land Use Controls

The Council Application Guide for Community Antenna Television and Telecommunication Facilities, as amended in April 2010, requires the inclusion of a narrative summary of the project's consistency with the Town's Plan of Preservation, Conservation and Development, Zoning Regulations and Inland Wetlands and Watercourses Regulations, as well as a description of planned and existing uses of the site location and surrounding properties.

a. Planned and Existing Land Uses

The proposed Site 1 Facility would be located on an approximately 45.9 acre undeveloped parcel owned by the Town of Watertown. Portions of this parcel are used for passive recreational purposes. The proposed Site 2 Facility would be located on an approximately 12.84 acre parcel owned by Jimmie R. Padgett, Jr. and used for private residential purposes. Both parcels are in the Rural District zone. Both the Site 1 and Site 2 tower sites are surrounded by undeveloped wooded areas and low density residential land uses. (See aerial photograph at p. iv of this narrative).

b. Plan of Preservation, Conservation and Development

The Town of Waterford's Plan of Preservation, Conservation and Development (the "Plan"), recognizes the importance of maintaining and improving upon utility infrastructure of all kinds including wireless telecommunications. In Section 12, for instance, the Plan states:

To encourage economic development and best meet the needs of local residents and businesses, the Town should encourage a program of continual improvement of . . . communication service and capacity.

Also in Section 12, the Plan states:

The Town should continue to carefully review the evolution of telecommunications technology (such as cellular communications from towers) in order to provide for the reasonable needs of residents and businesses while considering the overall impact on the community.

The development of the proposed Waterford NE cell site is consistent with these development goals. Four (4) copies of the Plan were filed, in bulk, with the Council.

c. Zoning Regulations

According to the Town's Zoning Map, both the Site 1 and Site 2 Facilities are located in the RU-120 Rural Residential District. Pursuant to Section 6.2.1 of the Waterford Zoning Regulations, towers are permitted in the RU-120 zone subject to the approval of a Special Permit. Four (4) copies of the Waterford Zoning Regulations were filed, in bulk, with the Council.

d. Inland Wetland and Water Course Regulations

The Inland Wetlands and Watercourses Regulations of the Town of Waterford (the "IWW Regulations") define Regulated Activity as any operation within, or use of, a wetland or watercourse involving removal or deposition of material, or any obstruction, construction, alteration or pollution of the land of such wetlands or watercourses. The Waterford Conservation

Commission also regulates any activity within an "Upland Review Area," defined as that area with 100 feet, measured horizontally, from the boundary of any wetland or watercourse under its jurisdiction. Four (4) copies of the IWW Regulations were filed, in bulk, with the Council.

Dean Gustafson, Professional Soil Scientist with VHB, Inc., conducted a field investigation and completed separate Wetlands Delineation Reports and Wetland and Vernal Pool Impact Analysis for both the Site 1 and Site 2 Facility locations.

The closest wetland area to the Site 1 Facility compound is located approximately 120 feet to the south, identified as Wetland Area #1. (See Plan Sheets C-1.0 and C-1.1 in Attachment 1). A small vernal pool was identified within the limits of Wetland Area #1. A portion of the proposed access driveway to the Site 1 compound would extend within approximately 160 feet of a small wetland area identified as Wetland Area #2.

The closest wetland area to the Site 2 Facility compound is located approximately 35 feet to the west, identified as Wetland Area #2. (See Plan Sheet C-1.1 in Attachment 2). Grading associated with the Site 2 compound extends to within approximately 10 feet of Wetland Area #2. The proposed driveway extension will cross between two portions of Wetland Area #1, in an area previously disturbed with a driveway crossing. A vernal pool has been identified within the limits of Wetland Area #1, to the east of the proposed driveway extension.

Construction associated with either Site 1 or Site 2 will have no direct impact on wetland areas or vernal pools proximate to proposed site development activity. Certain protective measures, outlined in the Vernal Pool Impact Analysis, will help Cellco avoid unintentional impacts on these sensitive areas.

Copies of the Wetlands Delineation Reports and Vernal Pool Impact Analysis are included in Attachment 14.

In accordance with the Connecticut Soil Erosion Control Guidelines, as established by the Council for Soil and Water Conservation, adequate and appropriate soil erosion and sedimentation control measures will be established and maintained throughout the cell site construction period. In addition, the Applicant will employ appropriate construction management practices to ensure that no pollutants would be discharged to any nearby watercourse or wetland areas or to area groundwater during the construction process.

According to the Federal Emergency Management Agency Flood Insurance Rate Map ("FIRM"), Community Panel Number 0901070020C (Map Revised: September 5, 1990), the Site 1 and Site 2 Facilities would be located in Flood Zone X (unshaded). A copy of the FIRM is included in Attachment 15.

5. Local Input

Section 16-50l(e) of the Connecticut General Statutes, as amended, requires local input on matters before the Council. On July 8, 2010, Cellco representatives met with Waterford's First Selectman, Daniel M. Steward and Planning Director Thomas Wagner, to commence the sixty (60) day municipal consultation process. Copies of technical information summarizing Cellco's plans to establish a telecommunications facility at the Padgett property were submitted to the Town. At the time of the initial meeting, Cellco was proposing only one alternative tower location, at 164 Old Colchester Road, now the Site 2 Facility location. At the July 8, 2010 meeting, Town officials asked Cellco to consider, as an alternative, the development of a facility on the Town parcel at 146

Old Colchester Road. Cellco immediately began lease negotiations with the Town for use of this parcel.

On September 21, 2010, the Waterford Board of Selectmen held a public hearing regarding Cellco's proposal to lease Town property as an alternate tower site. At that meeting, Cellco presented information on both the Site 1 and Site 2 Facility locations, its need for improved wireless services in northeast Waterford and the Connecticut Siting Council application process. Notice of the September 21, 2010 Board of Selectmen public hearing was sent to abutting property owners of the Town and Padgett parcels and was published in the *New London Day*. The proposal to lease Town property (Site 1) was also referred to the Town's Planning and Zoning Commission and Parks and Recreation Commission for comment. Both the Planning and Zoning Commission and Parks and Recreation Commission voted to recommend approval of the proposed leasing of Town property to Cellco for the development of a telecommunications facility.

6. Consultations With State and Federal Officials

Attachment 12 and Section III.D. of the Application describes Cellco's consultations with state and federal officials regarding Cellco's proposed Site 1 and Site 2 Facilities.

a. Federal Communications Commission

The FCC did not review this particular proposal. As discussed above, FCC approval is not required where the authorized service area is not enlarged.

b. Federal Aviation Administration

Cellco conducted the appropriate analyses for the proposed Site 1 and Site 2 Facility towers to determine if either proposed structure would constitute an obstruction or hazard to air navigation. These analyses have confirmed, pursuant to FAA standards and guidelines that neither the Site 1 nor Site 2 towers would constitute an obstruction or hazard to air navigation. No obstruction

marking or lighting would, therefore, be required at either alternative location. Copies of the FAA analyses are included in Attachment 16.

c. United States Fish and Wildlife Service

According to the USFWS, there are federally-listed threatened or endangered species or critical habitat that occur in or near the Site 1 or Site 2 project area. However, the proposed development is not likely to result in an adverse effect to those listed species. (See USFWS Memorandum dated March 3, 2011 for Site 1 and USFWS Memorandum dated May 4, 2011 for Site 2 – Attachment 12).

d. Connecticut Department of Environmental Protection

(1) Environmental and Geographic Information Center

As discussed above, the DEP determined that there are no known extant populations of Federal or State Endangered, Threatened or Special Concern Species that occur at the Site 1 or Site 2 Facility locations. (See correspondence contained in Attachment 12).

(2) Bureau of Air Management

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this Application will require the issuance of a permit from the DEP Bureau of Air Management. As proposed, this emergency generator will be run only during the interruption of utility service to the cell site and periodically as required for maintenance purposes. Cellco will obtain the necessary permit prior to installing the generator at the Waterford NE Facility.

e. Connecticut State Historic Preservation Officer

As discussed above, Attachment 12 also includes the SHPO's determination for both the Site 1 and Site 2 Facilities. In two separate responses the SHPO determined that both the

proposed Site 1 and Site 2 Facilities will have no adverse effect on architectural or archaeological resources listed on or eligible for listing in the National Register of Historic Places.

E. Estimated Cost and Schedule

1. Overall Estimated Costs

The total estimated cost of construction for Site 1 is \$855,000. This estimate includes:

(1)	Cell site radio equipment of approximately	\$450,000
(2)	Tower, coax and antenna costs of approximately	200,000
(3)	Power systems costs of approximately	20,000
(4)	Equipment building costs of approximately	50,000
(5)	Miscellaneous costs (including site preparation and installation) of approximately	135,000

The total estimated cost of construction for Site 2 is \$843,000. This estimate includes:

(1)	Cell site radio equipment of approximately	\$450,000
(2)	Tower, coax and antenna costs of approximately	240,000
(3)	Power systems costs of approximately	28,000
(4)	Equipment building costs of approximately	50,000
(5)	Miscellaneous costs (including site preparation and installation) of approximately	75,000

2. Overall Scheduling

Site preparation and engineering would commence following Council approval of Cellco's Development and Maintenance ("D&M") plan and are expected to be completed within two to four weeks. Due to the delivery schedules of the manufacturers, installation of the building and installation of the tower are expected to take an additional two weeks. Equipment installation is expected to take an additional two weeks after installation of the building and installation of the

tower. Cell site integration and system testing is expected to require two weeks after equipment installation.


IV. CONCLUSION

Based on the facts contained in this Application, Cellco submits that the establishment of the Waterford NE Facility, at either Site 1 or Site 2, will not have a substantial adverse environmental effect. A public need exists for high quality reliable wireless service in the northeast portion of the Town of Waterford and throughout New London County, as determined by the FCC and the United States Congress, and a competitive framework for providing such service has been established by the FCC and the Telecommunications Act of 1996. Cellco submits that the public need far outweighs any possible environmental effects resulting from the construction of either of the proposed alternative cell sites.

WHEREFORE, Cellco respectfully requests that the Council grant this Application for a Certificate of Environmental Compatibility and Public Need for the proposed Waterford NE Facility.

Respectfully submitted,

CELLCO PARTNERSHIP D/B/A VERIZON
WIRELESS

By: 

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, Connecticut 06103-3597
(860) 275-8200
Attorneys for the Applicant

WATERFORD NORTHEAST

Site 1
146 Old Colchester Road
Waterford, Connecticut

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

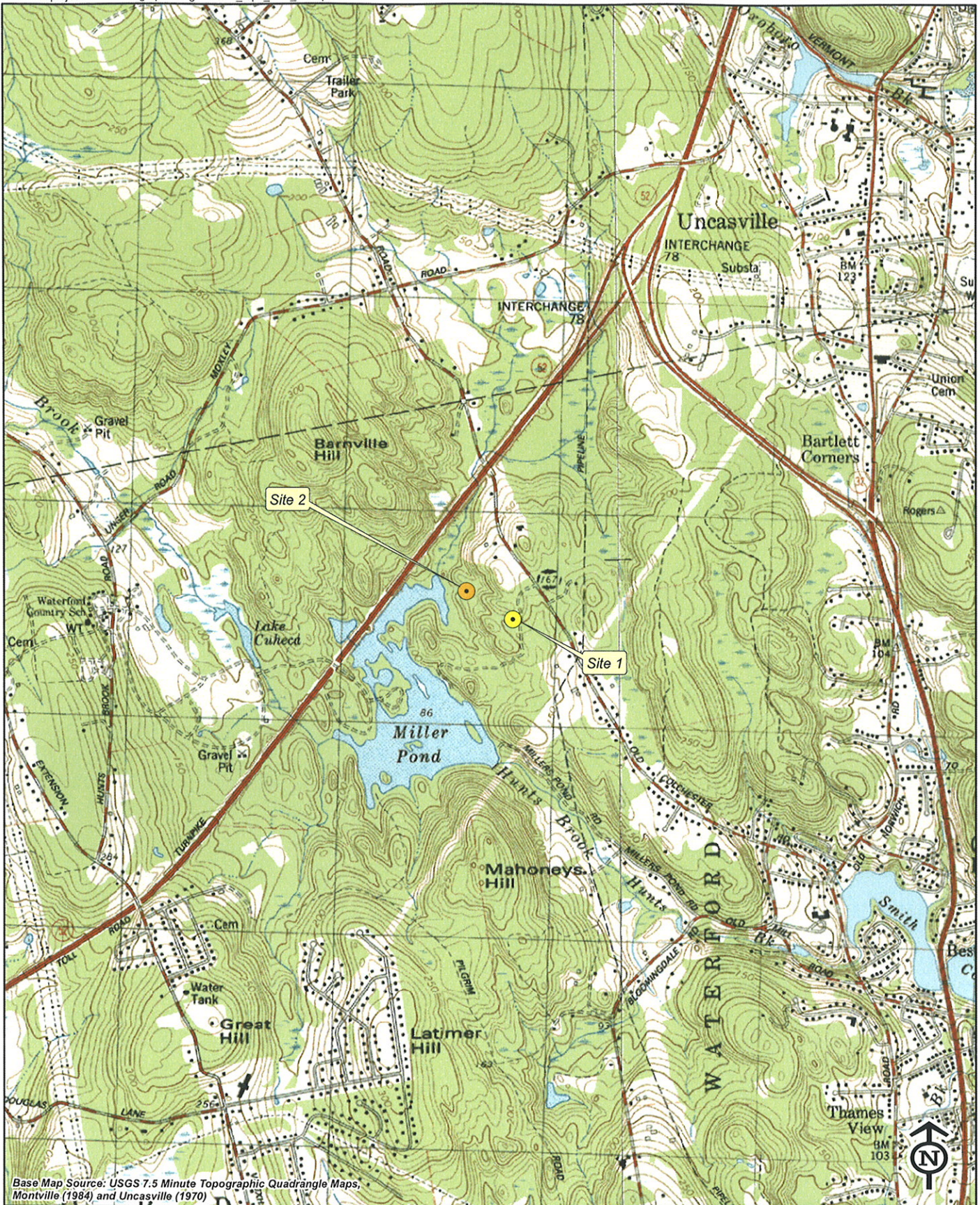
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SITE NAME: SITE 1 – 146 Old Colchester Road, Waterford, CT

GENERAL CELL SITE DESCRIPTION

The proposed Site 1 cell site would be located in the northeasterly portion of an approximately 45.9 acre parcel owned by the Town of Waterford. The Town parcel is located on the southerly side of Old Colchester Road in northeast Waterford (the "Site 1 Facility"). The Site 1 Facility would consist of a 130-foot telecommunications tower and a 12' x 24' equipment shelter located near the base of the tower. The shelter would house Cellco's radio equipment and diesel-fueled back-up generator. The tower and shelter would be located within a 50' x 50' fenced compound. Cellco's antennas would be attached to a low-profile square antenna platform at the top of the tower with their centerline at the 130-foot level. The top of the Cellco antennas would extend above the top of the tower to a height of approximately 133 feet above ground level. Vehicular access to the Site 1 Facility would extend from Old Colchester Road over a new gravel driveway a distance of approximately 765 feet to the site compound. Utility service would extend from Old Colchester Road to the cell site.



Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Montville (1984) and Uncasville (1970)



Quadrangle Location

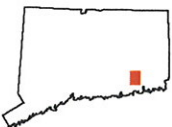
Vanasse Hangen Brustlin, Inc.

USGS Topographic Map
 Proposed Verizon Wireless
 Telecommunications Facility
 Waterford NE
 Site 1 - 146 Old Colchester Road
 Site 2 - 164 Old Colchester Road
 Waterford, Connecticut





Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Quadrangle Location



Vanasse Hangen Brustlin, Inc.

**Aerial Photograph
 Proposed Verizon Wireless
 Telecommunications Facility
 Waterford NE
 Site 1 - 146 Old Colchester Road
 Site 2 - 164 Old Colchester Road
 Waterford, Connecticut**



SITE EVALUATION REPORT

SITE NAME: SITE 1 – 146 Old Colchester Road, Waterford, CT

I. LOCATION

- A. COORDINATES: 41°-24'-51.666" N 72°-07'-49.621" W
- B. GROUND ELEVATION: Approximately 160± feet AMSL
- C. USGS MAP: Montville, CT
- D. SITE ADDRESS: 146 Old Colchester Road, Waterford, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is zoned RU-120 and R-40 Residential.

II. DESCRIPTION

- A. SITE SIZE: 100' x 100' Leased Area
50' x 50' Fenced Compound
- B. LESSOR'S PARCEL: Approximately 45.9 acres
- C. TOWER TYPE/HEIGHT: 130' Monopole Tower
133' Top of Antennas
- D. SITE TOPOGRAPHY AND SURFACE: Topography in the area is generally characterized by gently rolling hills. Clearing and grading for construction of the site compound and access driveway will be required. Cellco anticipates the need to remove 45 trees, 6" or greater diameter at breast height ("dbh").
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower is located in the northeasterly portion of a 45.9 acre Town-owned parcel. Presently the parcel is vacant and used for passive recreational purposes. Land surrounding the parcel is used for low density residential purposes. The closest wetland area is located approximately 120 feet to the south of the Site 1 Facility compound.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The Site 1 Facility is located on an approximately 45.9 acre Town-owned parcel (a former Sportsman's Club). The property is surrounded by low density residential areas, I-395 and Millers Pond. (See Topographic Map at p. 2 and Aerial Photograph at p. 3).

III. FACILITIES

- A. POWER COMPANY: Connecticut Light and Power
- B. POWER PROXIMITY TO SITE: Approximately 765 feet to the north along Old Colchester Road.
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Old Colchester Road over a new gravel driveway a distance of 765 feet.
- F. CLEARING AND FILL REQUIRED: Tree clearing and grading will be required for construction of the tower, site compound and access drive. Detailed construction plans would be developed if this location is approved by the Siting Council.

IV. LEGAL

- A. PURCHASE [] LEASE [X]
- B. OWNER: Town of Waterford
- C. ADDRESS: 146 Old Colchester Road, Waterford, CT 06385
- D. DEED ON FILE AT: Town of Waterford, CT Land Records

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FACILITIES AND EQUIPMENT SPECIFICATION
(NEW TOWER & EQUIPMENT BUILDING)

SITE NAME: SITE 1 – 146 Old Colchester Road, Waterford, CT

I. TOWER SPECIFICATIONS:

- A. MANUFACTURER: To be determined
- B. TYPE: Self-supporting monopole
- C. TOWER HEIGHT: 130' DIMENSIONS: Approx. 55" base
Approx. 30" top

II. TOWER LOADING:

A. CELLCO EQUIPMENT:

- 1. Antennas (15)
 - Six (6) Model LPA 80063/6CF Cellular
 - Six (6) Model LPA 185063/12CF PCS
 - Three (3) Model BXA-70063/6CF LTE
 - Antenna Centerline 130' AGL
- 2. Low-Profile, square antenna platform at 130'
- 3. GPS Antenna: Mounted on the top of the equipment shelter
- 4. Transmission Lines:
 - a. MFG/Model: Andrews LDF5-50A
 - b. Size: 1 5/8"

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The towers will be designed in accordance with Electronic Industries Association Standard EIA/TIA-222-F "Structural Standards for Steel Antenna Towers and Antenna Support Structures." The foundation designs would be based on soil conditions at the site. Details for the towers and foundation designs will be provided as a part of the final D&M Plan.

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: SITE 1 – 146 Old Colchester Road, Waterford, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the access drive or facility compound. The equipment used will not discharge any pollutants to area surface or groundwater systems. The closest wetland area is located approximately 120 feet to the south of the Site 1 Facility compound.

B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at the site would emit no air pollutants of any kind. For limited periods during power outages and periodically for maintenance purposes, minor levels of emissions from the on-site generator would result.

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this application would require the issuance of a Connecticut Department of Environmental Protection Air Bureau permit for potential emissions. Cellco would obtain this permit prior to installing the generator at the approved cell site.

C. LAND

Clearing and grading of the tower compound and access drive will be required. The remaining land of the Lessor would remain unchanged by the construction and operation of the cell site.

D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator which would be run during power failures and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's cellular, PCS and LTE antennas at the Site 1 Facility would be 17.42% of the Standard.

F. VISIBILITY

See Visual Resource Evaluation Report included as Attachment 10.

Cellco Partnership

d.b.a. **verizon** wireless

WIRELESS COMMUNICATIONS FACILITY

WATERFORD NE

SITE 1

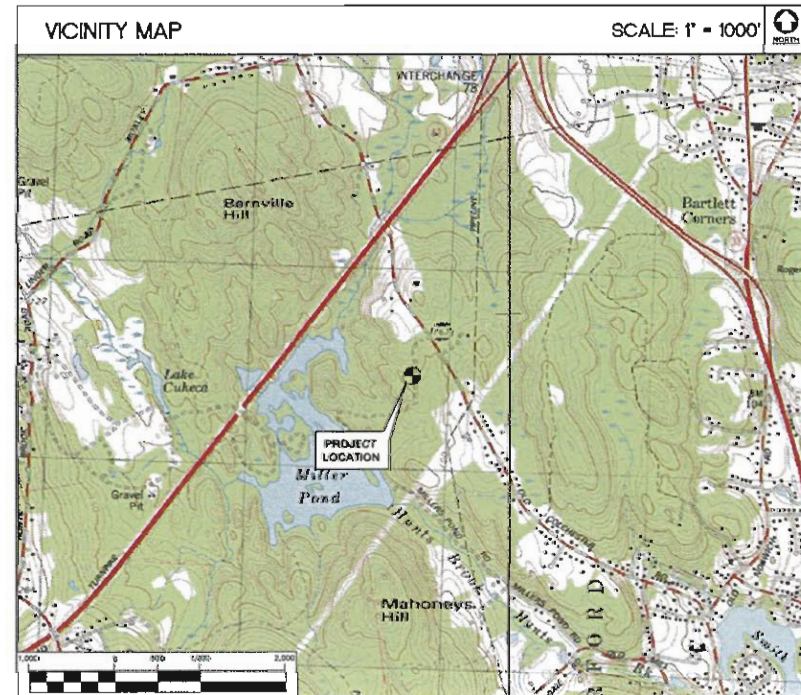
146 OLD COLCHESTER ROAD

QUAKER HILL, CT 06375

SITE DIRECTIONS		
FROM:		TO:
99 EAST RIVER DRIVE EAST HARTFORD, CONNECTICUT		146 OLD COLCHESTER ROAD QUAKER HILL, CT 06375
1. Start out going NORTHEAST on E RIVER DR.	0.0 mi	
2. Merge onto I-84 E/US-6 E via the ramp on the LEFT toward BOSTON.	0.2 mi	
3. Merge onto CT-2 E via EXIT 55 toward NORWICH/NEW LONDON	36.3 mi	
4. Merge onto I-395 S/GOVERNOR JOHN DAVIS LODGE TURNPIKE via EXIT 285 toward CT-2A/NEW HAVEN.	8.3 mi	
5. Keep LEFT to take MONTVILLE CONN via EXIT 78 toward CT-32/NEW LONDON.	1.2 mi	
6. MONTVILLE CONN becomes CT-32/MOHEGAN AVE.	0.2 mi	
7. Turn RIGHT onto OLD NORWICH RD.	0.0 mi	
8. Turn LEFT to stay on OLD NORWICH RD.	0.8 mi	
9. Turn RIGHT onto OLD COLCHESTER RD.	0.0 mi	
10. 146 OLD COLCHESTER RD is on the LEFT.		

GENERAL NOTES
1. PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

SITE INFORMATION
THE SCOPE OF WORK SHALL INCLUDE:
1. THE CONSTRUCTION OF A 50'X50' FENCED WIRELESS COMMUNICATIONS COMPOUND WITHIN A 100'X100' LEASE AREA.
2. A TOTAL OF UP TO FIFTEEN (15) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 130'± AGL ON A 130'± PROPOSED STEEL MONOPOLE TOWER.
3. TOTAL ACCESS DRIVE LENGTH IS 765'± OFF OF OLD COLCHESTER ROAD. THE ENTIRE PROPOSED ACCESS DRIVE WILL FOLLOW ALONG AN EXISTING DIRT/GRASS PATH WHICH WILL BE IMPROVED AS A 12" WIDE GRAVEL ACCESS DRIVE.
4. UTILITIES FOR THE PROPOSED CELCO PARTNERSHIP WIRELESS COMMUNICATIONS FACILITY ARE PROPOSED TO BE ROUTED UNDERGROUND FROM THE EXISTING SNET POLE #2064 NEAR THE PROPOSED GRAVEL ACCESS DRIVE ENTRANCE OFF OF OLD COLCHESTER ROAD TO THE PROPOSED UTILITY TRANSFORMER AND BACKBOARD LOCATED ADJACENT TO THE PROPOSED FACILITY COMPOUND. NO SITE WALK WITH UTILITY COMPANY REPRESENTATIVES HAS BEEN COMPLETED TO DATE. SUCH SITE VISIT SHALL BE PERFORMED DURING THE D&M PHASE OF THE PROJECT.
5. A 29'x 40' GRAVEL PARKING AREA IS PROPOSED TO BE LOCATED ADJACENT TO THE ACCESS DRIVE NEAR THE ACCESS ENTRANCE OFF OF OLD COLCHESTER ROAD FOR THE TOWN'S USE
6. FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE D&M PLANS.
7. THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2009 CONNECTICUT SUPPLEMENT.
8. THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
9. THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.

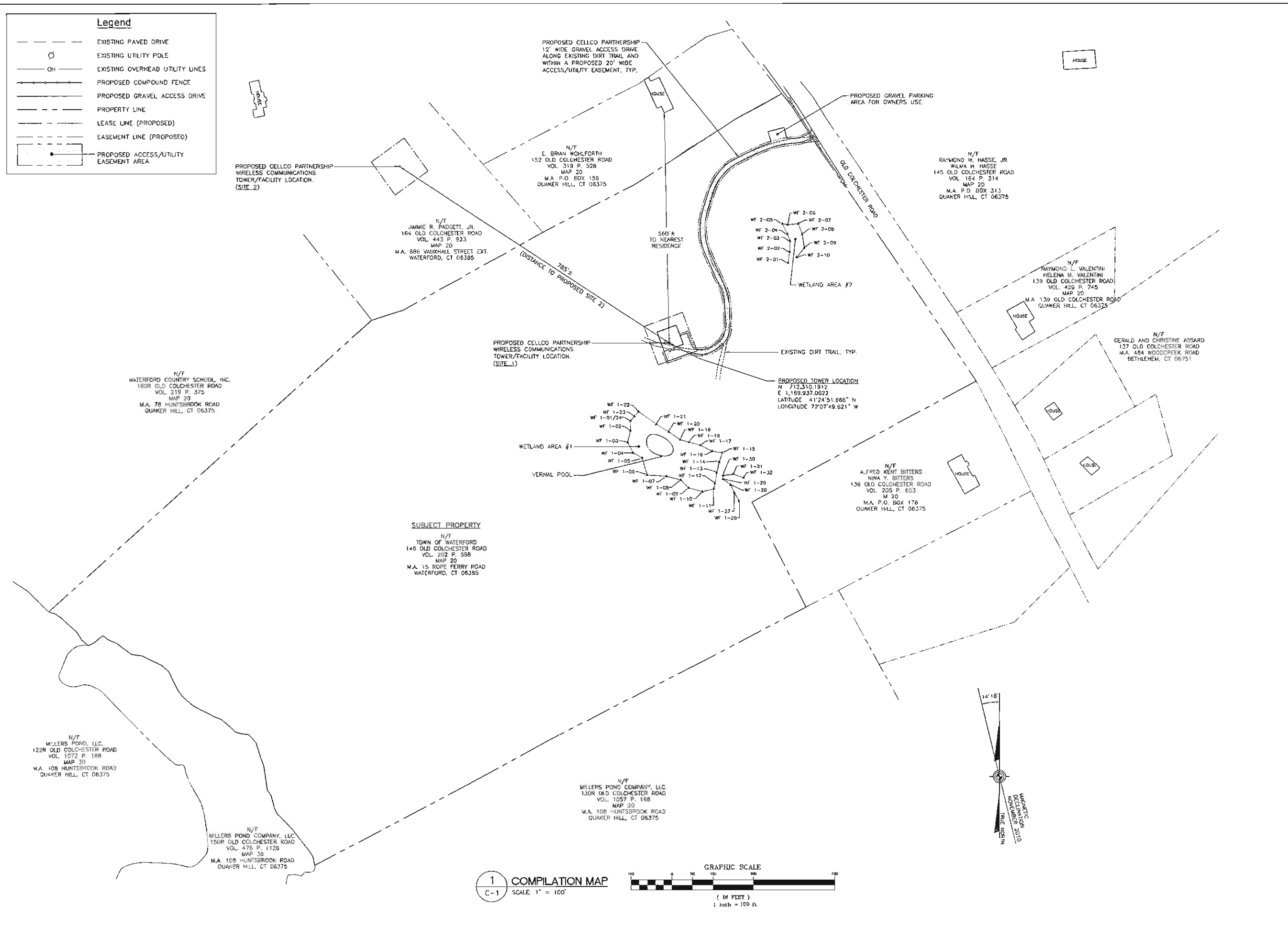


PROJECT SUMMARY	
SITE NAME:	WATERFORD NE - SITE 1
SITE ADDRESS:	146 OLD COLCHESTER ROAD QUAKER HILL, CT 06375
PROPERTY OWNER:	TOWN OF WATERFORD M.A. 15 ROPE FERRY ROAD WATERFORD, CT 06385
LESSEE/TENANT:	CELCO PARTNERSHIP d.b.a. VERIZON WIRELESS 99 EAST RIVER DRIVE EAST HARTFORD, CT 06108
CONTACT PERSON:	SANDY CARTER CELCO PARTNERSHIP (860) 803-8219
ENGINEER:	CEN TEK ENGINEERING 63-2 NORTH BRANFORD ROAD BRANFORD, CT 06405 (203) 488-0580
TOWER COORDINATES:	LATITUDE 41°-24'-51.666" LONGITUDE 72°-07'-49.621" GROUND ELEVATION: 159.91'± A.M.S.L. COORDINATES AND GROUND ELEVATION BASED ON FAA 2C SURVEY CERTIFICATION PREPARED BY CEN TEK ENGINEERING, INC. DATED OCTOBER 14, 2010

SHEET INDEX		
SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	3
C-1.0	COMPILATION PLAN	3
C-1.1	PARTIAL SITE/ SITE SURVEY PLAN	3
C-2	COMPOUND PLAN AND ELEVATION	3
C-3	SITE DETAILS AND NOTES	3
C-4	SITE DETAILS AND SHELTER ELEVATIONS	3
C-5	SHELTER FOUNDATION PLAN, DETAILS AND NOTES	3

DESIGNED BY: CFC	DRAWN BY: TSP
CHK'D BY: DMD	
Cellco Partnership d.b.a. Verizon Wireless	
Cellco Partnership d/b/a Verizon Wireless WATERFORD NE SITE 1 146 OLD COLCHESTER ROAD QUAKER HILL, CT 06375	
DATE: 12/10/09	
SCALE: AS NOTED	
JOB NO. 10122	
TITLE SHEET	
T-1	
Sheet No. 1 of 7	

Legend	
	EXISTING PAVED DRIVE
	EXISTING UTILITY POLE
	EXISTING OVERHEAD UTILITY LINES
	PROPOSED COMPOUND FENCE
	PROPOSED GRAVEL ACCESS DRIVE
	PROPERTY LINE
	LEASE LINE (PROPOSED)
	EASEMENT LINE (PROPOSED)
	PROPOSED ACCESS/UTILITY EASEMENT AREA



DESIGNED BY:	CFC
DRAWN BY:	DMD
CHECK'D BY:	CFC

REV.	DATE	BY	DESCRIPTION
1	05/16/11	DMD	REVISED FOR CT SITING COUNCIL
2	06/15/11	DMD	REVISED FOR CT SITING COUNCIL
3	07/15/11	DMD	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW

CELLULOSIC ENGINEERING
 PROFESSIONAL ENGINEERING
 d.b.a. Verizon Wireless

CENTEK engineering
 Central Connecticut
 203.480.0800
 203.480.0800 Fax
 203.480.0800
 Berlin, CT 06033
 www.CentekEng.com

Cellco Partnership d/b/a Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
 SITE 1
 146 OLD COLCHESTER ROAD
 QUAKER HILL, CT 06375

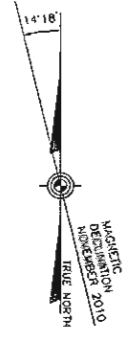
DATE: 12/10/09
 SCALE: AS NOTED
 JOB NO. 10122

COMPILATION MAP

C-10
 Sheet No. 2 of 2

SYMBOLS LEGEND

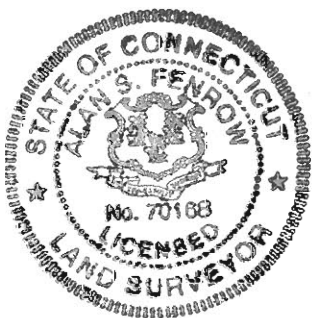
	GUY ANCHOR		WIRE FENCE LINE
	SIGN		WOOD FENCE LINE
	MAILBOX		OVERHEAD UTILITY
	UTILITY POLE (EXISTING)		PROPERTY LINE
	IRON PIPE		EASEMENT LINE (PROPOSED)
	CONC MON		GRAVEL ACCESS DRIVE (PROPOSED)
	EXISTING CONIFEROUS TREE		LEASE LINE (PROPOSED)
	EXISTING DECIDUOUS TREE		CONTOUR LINE
	EXISTING DECIDUOUS TREE TO BE REMOVED		GRAIDING LINE
	EXISTING CONIFEROUS TREE TO BE REMOVED		WETLAND BOUNDARY
	STONE WALL (EXISTING)		SILT FENCE-EROSION & SEDIMENTATION CONTROL
	DIRT PATH (EXISTING)		SILT FENCE/HAY BALE-EROSION & SEDIMENTATION CONTROL
	CHAINLINK FENCE (PROPOSED)		LEDGE



- NOTES:
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1995.
 - THIS SURVEY DEPICTS EXISTING CONDITIONS FOR A PROPOSED TELECOMMUNICATIONS SITE.
 - THE BOUNDARY LINES DEPICTED HEREON ARE COMPILED FROM OTHER MAPS, DEEDS, AND A LIMITED FIELD SURVEY. THESE LINES ARE NOT TO BE CONSTRUED AS A BOUNDARY OPINION AND ARE SUBJECT TO CHANGE BASED UPON A COMPLETE BOUNDARY SURVEY. PROPERTY MAY BE SUBJECT TO ENCUMBRANCES, EASEMENTS, RIGHTS OF WAY AS A TITLE SEARCH MAY DISCLOSE.
 - THIS SURVEY CONFORMS TO CLASS D HORIZONTAL ACCURACY STANDARDS AND CLASS F-2 TOPOGRAPHIC ACCURACY STANDARDS.
 - COORDINATES DEPICTED HEREON REFER TO THE CONNECTICUT COORDINATE SYSTEM (NAD 83) ESTABLISHED WITH GPS UNDER THE GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON JUNE 26, 2009.
 - ELEVATIONS DEPICTED HEREON ARE BASED UPON CONNECTICUT GEODETIC SURVEY STATION 1131 NVD 29 DATUM WITH ELEVATION = 134.037 FEET.
 - SUBJECT PARCEL IS DEPICTED AS 146 OLD COLCHESTER ROAD ON TOWN OF WATERFORD ASSESSORS MAP 20.
 - SUBJECT PARCEL IS CURRENTLY OWNED BY THE TOWN OF WATERFORD.
 - SUBJECT PARCEL IS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN) ON A FIRM FLOOD INSURANCE RATE MAP TOWN OF WATERFORD, CONNECTICUT, NEW LONDON COUNTY, PANEL 20 OF 20 COMMUNITY PANEL NUMBER 090107 0020C, MAP REVISED SEPTEMBER 5, 1990.
 - SUBJECT PARCEL AREA IS ±45.9 ACRES.

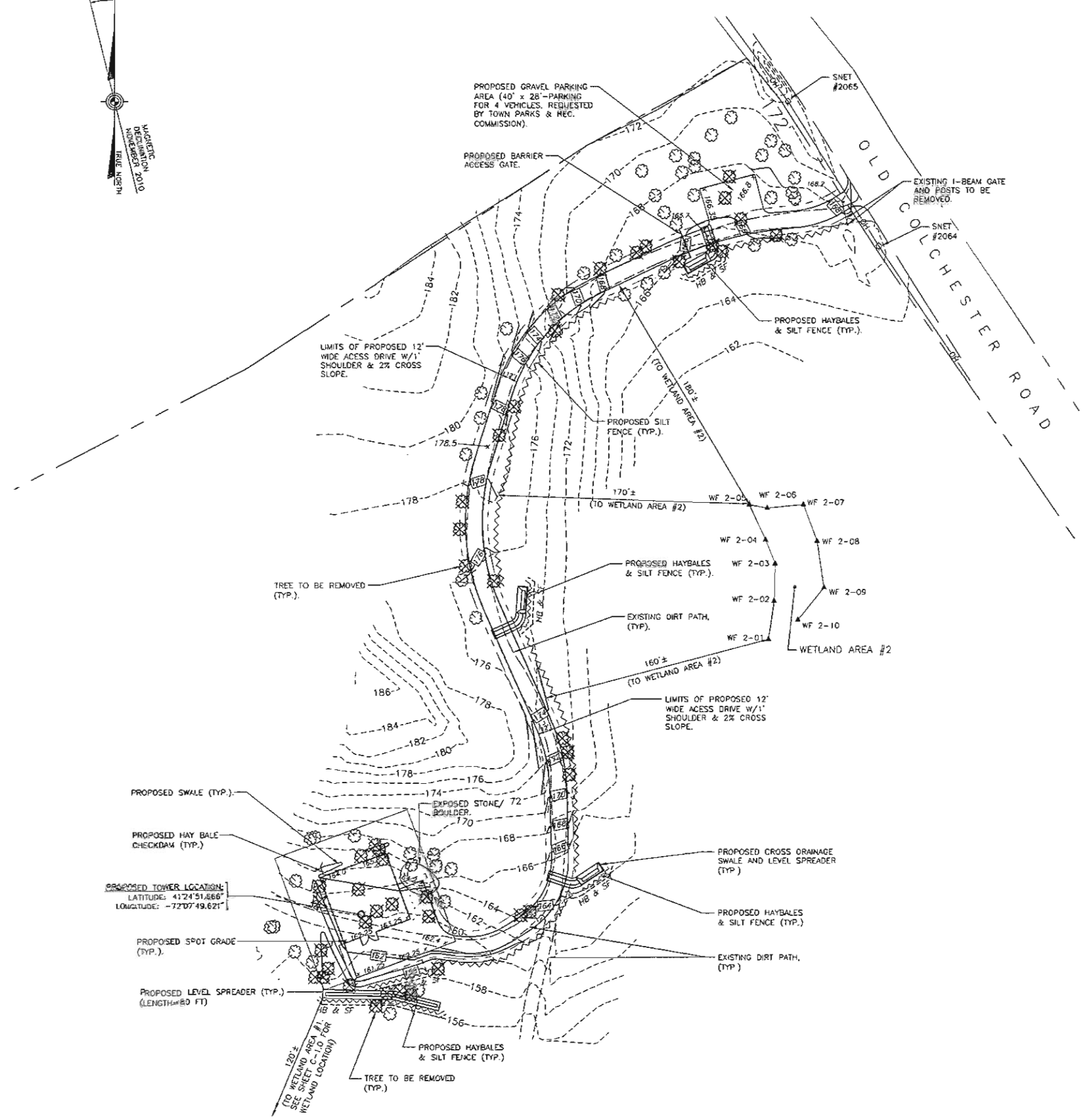
- MAP REFERENCES:
- "PLAN SHOWING THE SUBDIVISION OF LAND OF SENKOW BUILDERS, INC. OLD COLCHESTER ROAD WATERFORD, CONNECTICUT ZONE: RU-120." SCALE: 1"=50' DATED: OCTOBER 18, 1982, LAST REVISED JANUARY 26, 1983, WILLIAM F. KENT, L.S. TO MAP #1292.
 - "PLAN SHOWING PROPERTY OF THE ESTATE OF CHARLES R. MUSCARELLA 116 OLD COLCHESTER ROAD VILLAGE OF OJAKER HILL WATERFORD, CONNECTICUT," SCALE: 1"=100' DATED: AUGUST 19, 2000, WILLIAM F. KENT, L.S. TO MAP #4301.
 - "PLAN SHOWING PROPERTY LINE REVISIONS AND LAND TO BE CONVEYED PROPERTIES OF MILLERS PON COMPANY, L.L.C. AND JAMES P. O'WALLEY OLD COLCHESTER ROAD, OJAKER HILL, CT." SCALE: 1"=100' DATED: APRIL 2008, BRIAN E. SITT, L.S. TO MAP #5631.

TREE REMOVAL SUMMARY	
TREES PROPOSED TO BE REMOVED IN PROXIMITY OF PROPOSED CELCO PARTNERSHIP 20' WIDE ACCESS EASEMENT	= 29
TREES PROPOSED TO BE REMOVED WITHIN AND ADJACENT TO PROPOSED LEASE AREA	= 16
TOTAL TREES PROPOSED TO BE REMOVED	= 45
RESIDENCES WITHIN 1000 FEET	
RESIDENCES WITHIN 1000 FEET OF PROPOSED TOWER.	= 4



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

Alan S. Fenrow 5/16/2011
 ALAN S. FENROW LS #70168 DATE



1 PARTIAL SITE / SITE SURVEY
 C-1.1 SCALE: 1" = 40'

DESIGNED BY:	CFC	
DRAWN BY:	DMD	
CHK'D BY:	CFC	
REVISIONS:		
NO.	DATE	DESCRIPTION
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3	05/16/11	ISSUED FOR CT SING. COUNCIL
4	05/16/11	ISSUED FOR CT SING. COUNCIL - CLIENT REVIEW
5	05/16/11	ISSUED FOR CT SING. COUNCIL - CLIENT REVIEW
6	05/16/11	ISSUED FOR CT SING. COUNCIL - CLIENT REVIEW
7	05/16/11	ISSUED FOR CT SING. COUNCIL - CLIENT REVIEW
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19	05/16/11	ISSUED FOR CT SING. COUNCIL - CLIENT REVIEW
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Cellco Partnership
 d.b.a. Verizon Wireless

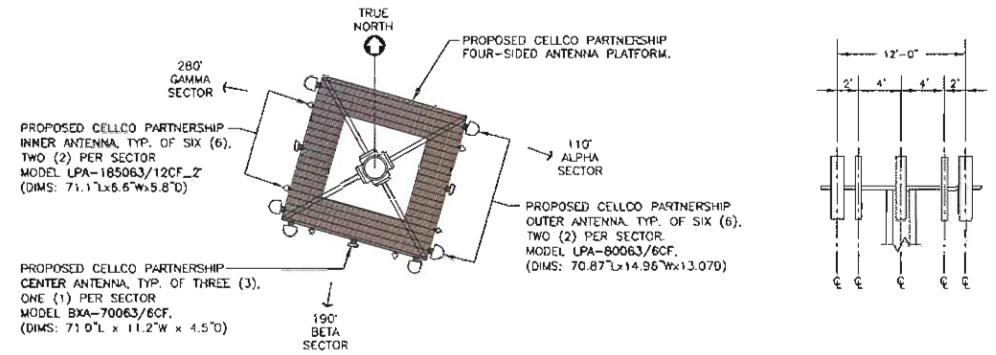
CENTER engineering
 Connected Solutions
 2031 480-5800
 2030 480-4857 Fax
 637 North Main Road
 Hartford, CT 06106
 www.CenterEng.com

Cellco Partnership d/b/a Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
 SITE 1
 148 OLD COLCHESTER ROAD
 OJAKER HILL, CT 06375

DATE: 12/10/09
 SCALE: AS NOTED
 JOB NO. 10122

PARTIAL SITE/
 SITE SURVEY PLAN

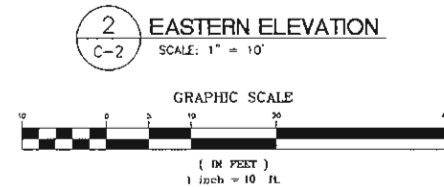
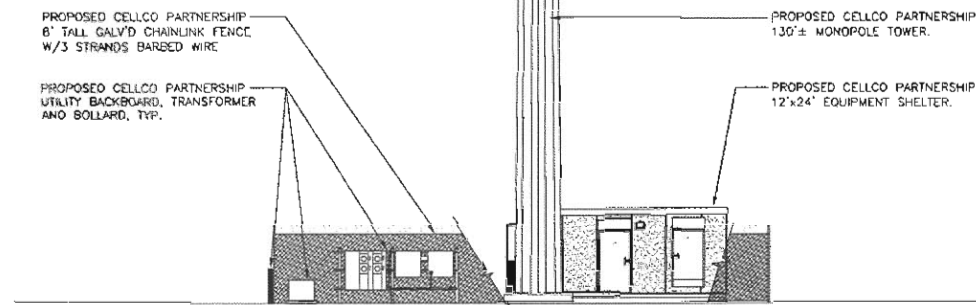
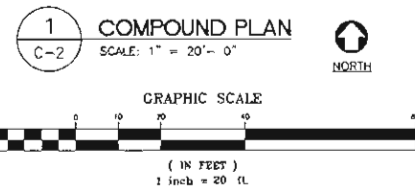
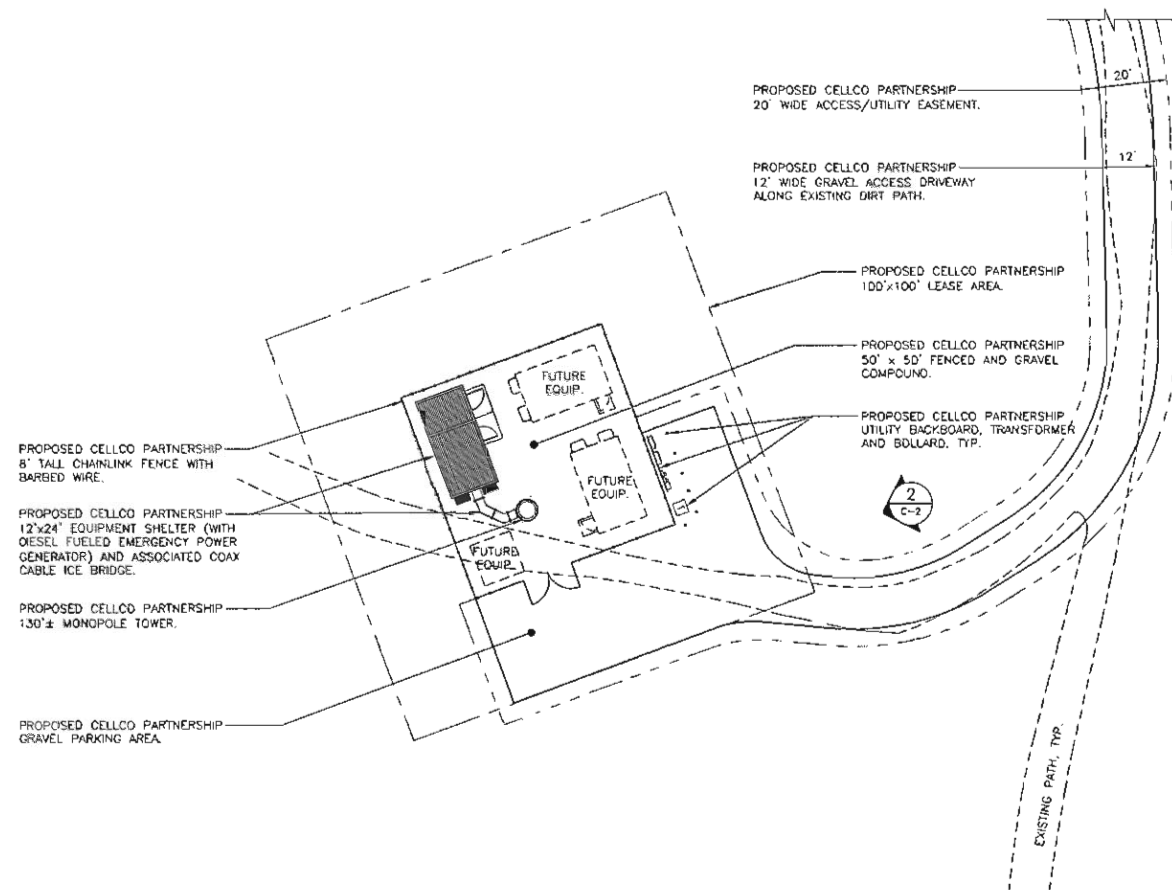
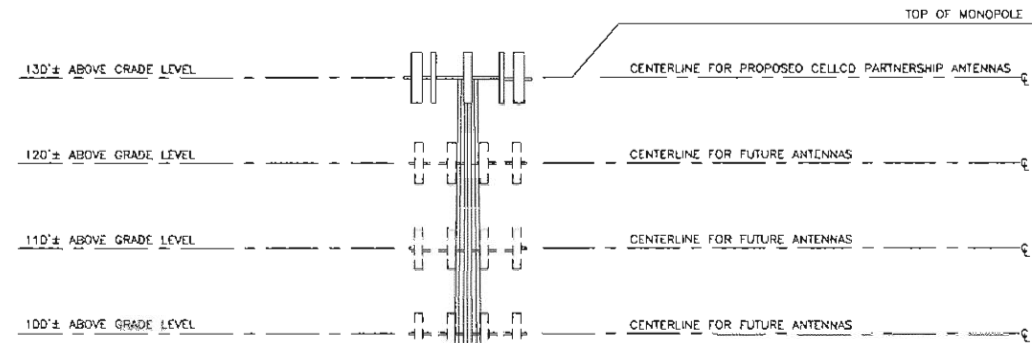
C-1.1
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PLAN VIEW

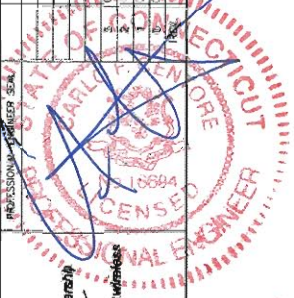
SECTOR ELEVATION

3 ANTENNA MOUNTING CONFIGURATION
C-2 NOT TO SCALE



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DRAWN BY: TSP
CHK'D BY: DMD

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2	06/15/11	DMD	REVISED FOR CT STING COUNCIL
3	06/15/11	CTC	ISSUED FOR CT STING COUNCIL - CLIENT REVIEW
4	07/11/11	DMD	ISSUED FOR CT STING COUNCIL - CLIENT REVIEW
5	07/11/11	DMD	ISSUED FOR CT STING COUNCIL - CLIENT REVIEW



CEN TEK engineering
Communications Solutions

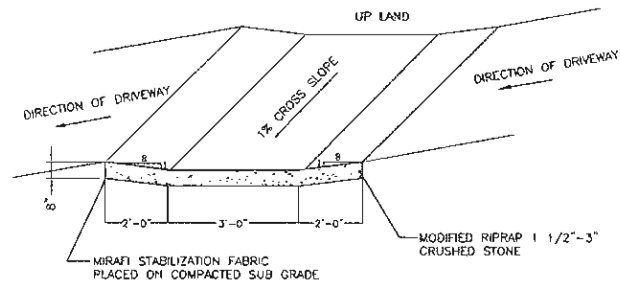
2031 486-0000
2031 486-0009 Fax
355 New Britain Road
New Britain, CT 06110
www.cenitekeng.com

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
SITE 1
146 OLD COLCHESTER ROAD
OUAKER HILL, CT 06375

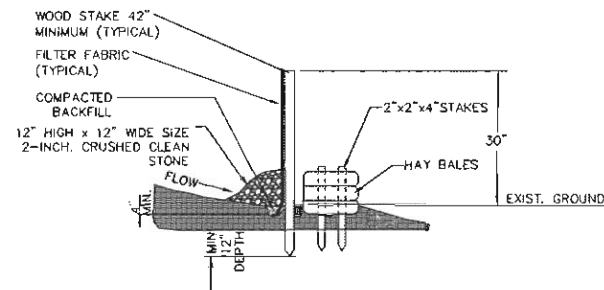
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JOB NO. 10122

COMPOUND PLAN AND ELEVATION

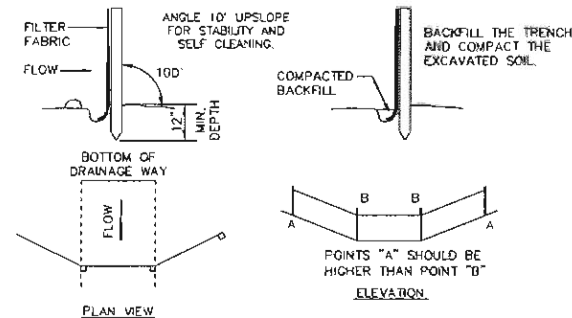
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Sheet No. 4 of 7



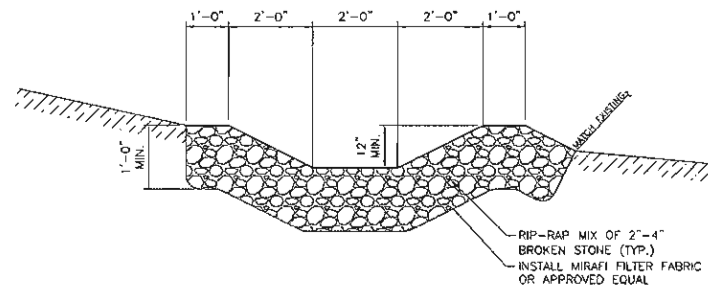
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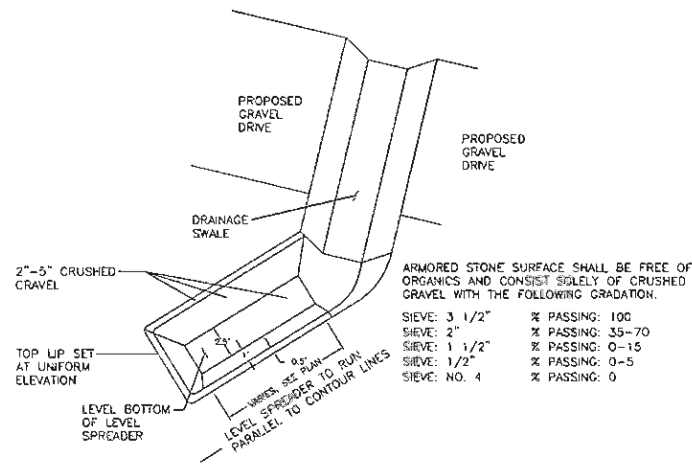
2 TYP. SILTATION FENCE/HAYBALE EROSION CONTROL DETAIL
C-3 NOT TO SCALE



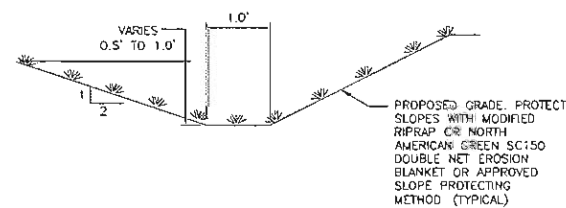
2A PLACEMENT AND CONSTRUCTION SILTATION FENCE
C-3 NOT TO SCALE



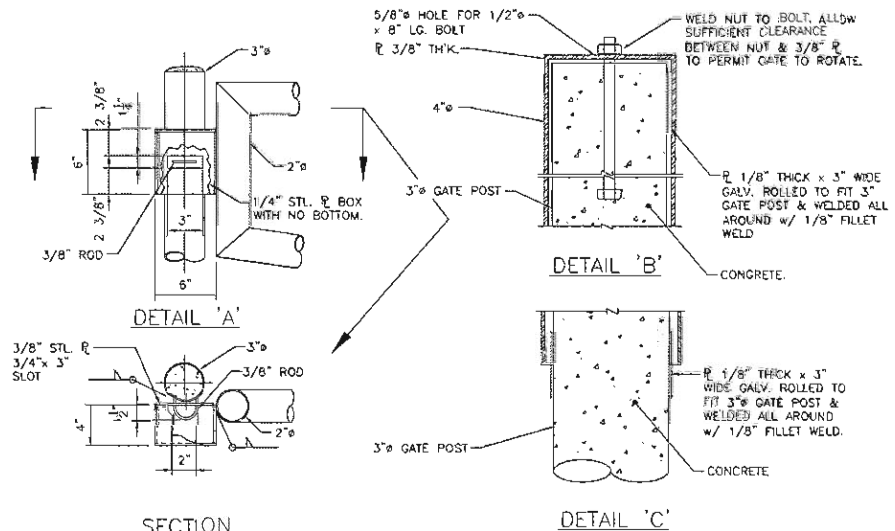
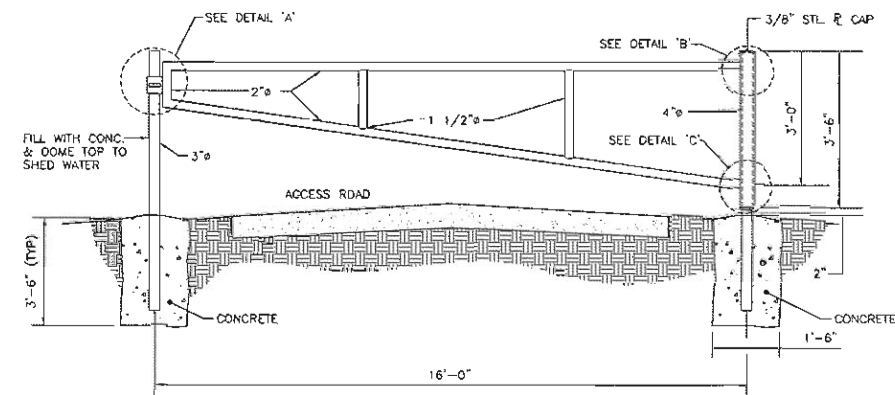
3 TYPICAL LEVEL SPREADER (SECTION)
C-3 NOT TO SCALE



4 TYPICAL LEVEL SPREADER TROUGH DETAIL
C-3 NOT TO SCALE



5 TYPICAL GRASS SWALE - SECTION
C-3 NOT TO SCALE



SECTION

NOTES:

- ALL METAL USED IN THE MANUFACTURING OF THE ACCESS ROAD GATE TO BE HOT DIP GALVANIZED. ALL WELDS & PIPE TO BE PAINTED & TOUCHED UP IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION SPECIFICATIONS AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL JOINTS TO BE WELDED ALL AROUND WITH 3/16" WELDS.
- ALL PIPE TO BE SCHEDULE 40 STEEL. DIAMETERS SHOWN ARE NOMINAL PIPE SIZE.
- FURNISH WITH PADLOCK.
- CONTRACTOR SHALL PROVIDE AN ADDITIONAL 3" GATE POST w/ 3/8" ROD. LOCATE TO HOLD GATE IN AN OPEN POSITION 90° FROM THAT SHOWN BELOW.

GATE TO SWING IN TOWARDS FACILITY.

6 BARRIER GATE DETAILS SITE ENTRANCE
C-3 NOT TO SCALE

EROSION CONTROL

GENERAL CONSTRUCTION SEQUENCE

- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
- CONSTRUCT CLOSED DRAINAGE SYSTEM. PRECEPT CULVERTINLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
- CONSTRUCT ROADWAYS AND PERFORM SITE GRADING. PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- INSTALL UNDERGROUND UTILITIES.
- BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
- DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
- FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGARDED AREAS.
- AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SILT FENCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

DESIGNED BY: CFC
DRAWN BY: DMW
CHK'D BY: CFC

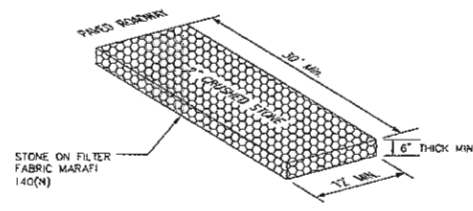
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3	07/15/11	ISSUED FOR CT SHING CONSOLE
4	07/15/11	ISSUED FOR CT SHING CONSOLE - CLIENT REVIEW

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
SITE 1
146 OLD COLCHESTER ROAD
QUAKER HILL, CT 06375

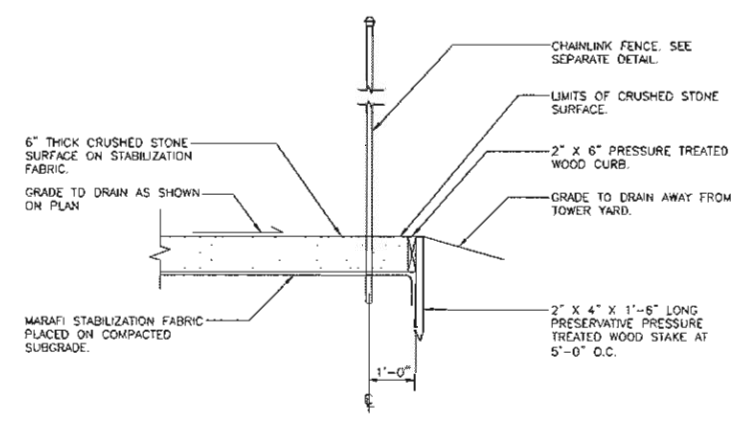
DATE: 12/10/09
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JOB NO.: 10422

SITE DETAILS AND NOTES

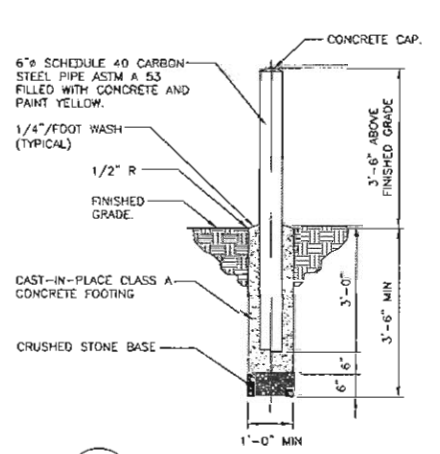
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Sheet No. 5 of 7



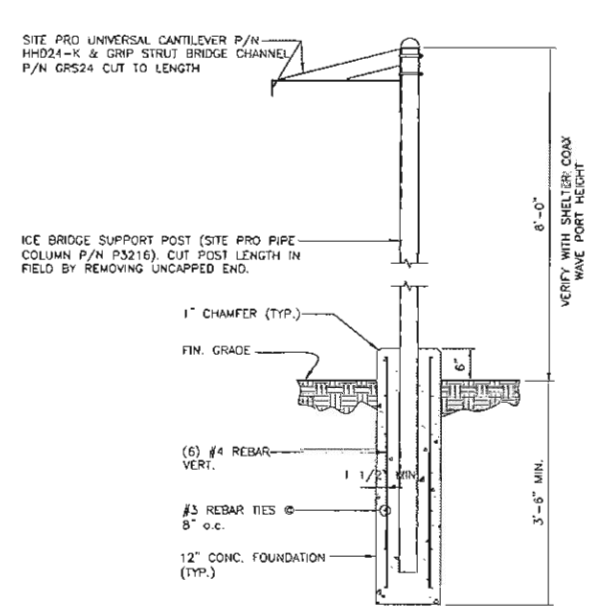
1 CONSTRUCTION ENTRANCE
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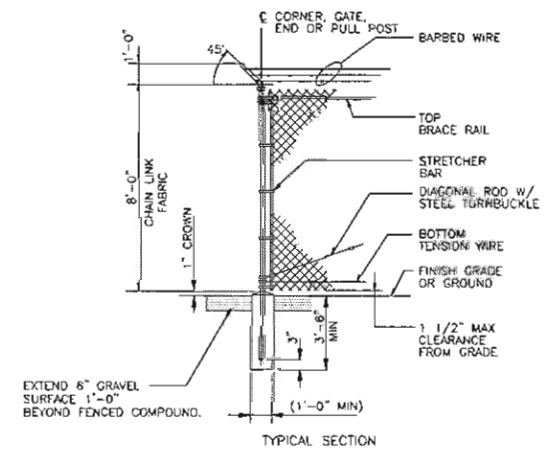
2 COMPOUND SURFACING DETAIL
C-4 NOT TO SCALE



3 BOLLARD DETAIL
C-4 NOT TO SCALE



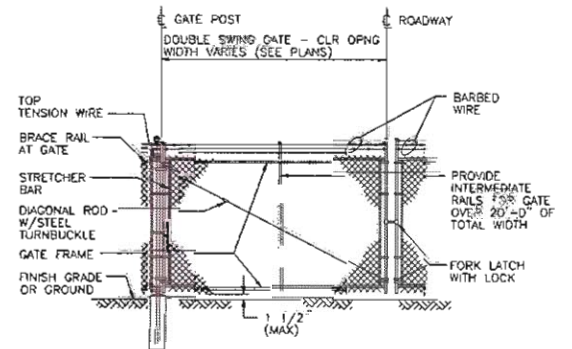
4 COAX CABLE CANOPY DETAIL
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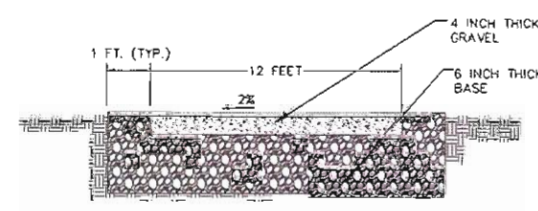
5 WOVEN WIRE FENCE DETAIL
C-4 NOT TO SCALE

WOVEN WIRE FENCE NOTES

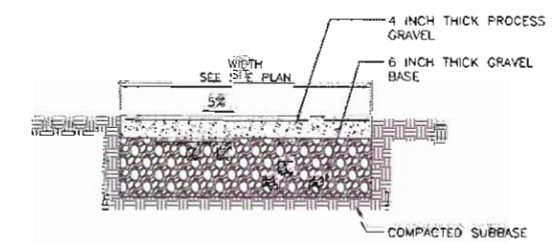
- GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2" Ø SCHEDULE 40 FOR GATE WIDTHS UP THRU 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
- LINE POST: 2" Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- GATE FRAME: 1 1/2" Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- TOP RAIL & BRACE RAIL: 1 1/2" Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- FABRIC: 12 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX 24" INTERVALS.
- TENSION WIRE: 7 GA. GALVANIZED STEEL.
- BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH W/FABRIC 14 GA., 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, KEYS ALIKE FOR ALL SITES IN A GIVEN MTA.
- LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED WITH IF REQUIRED.
- HEIGHT = 8' VERTICAL + 1' BARBED WIRE VERTICAL DIMENSION.



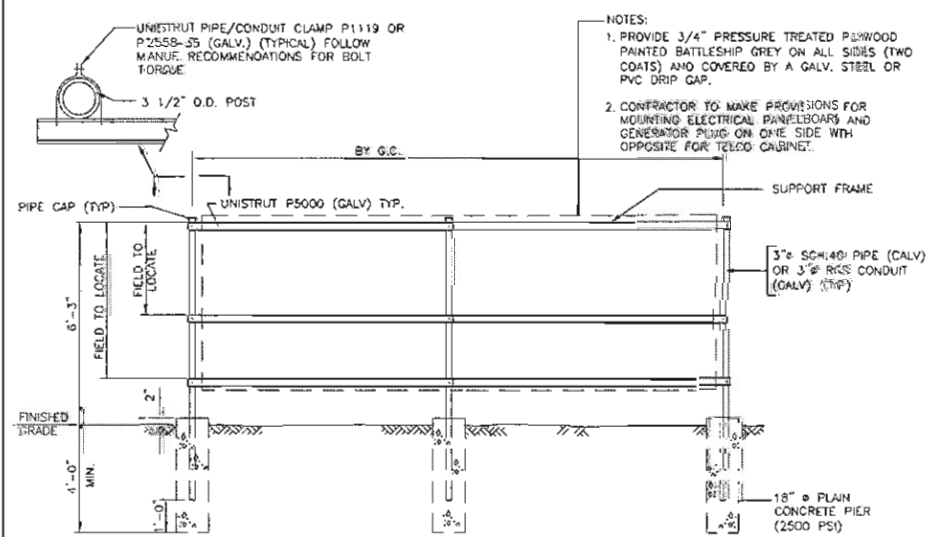
5A WOVEN WIRE SWING GATE-DOUBLE
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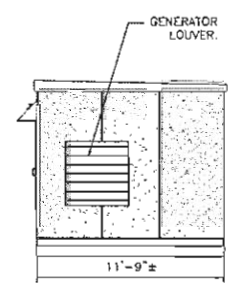
6 TYP. GRAVEL ACCESS DRIVE DETAIL
C-4 NOT TO SCALE



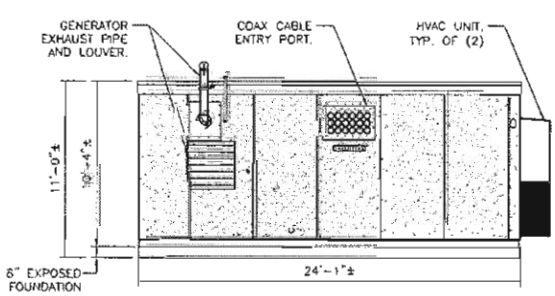
6A GRAVEL PARKING SURFACE
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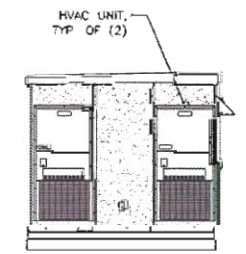
7 UTILITY SUPPORT FRAME (TYP)
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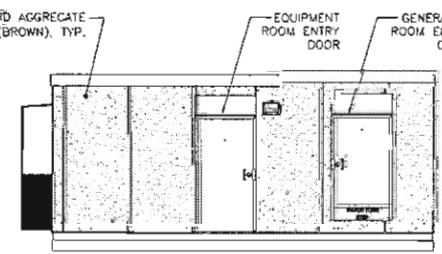
8 NORTH SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



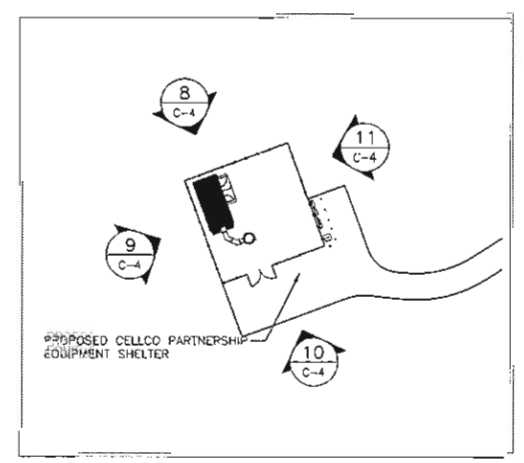
9 WEST SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



10 SOUTH SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



11 EAST SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



SHELTER ELEVATION KEY PLAN
NOT TO SCALE

DESIGNED BY: CFC
 DRAWN BY: DMD
 CHECK'D BY: CFC

NO.	DATE	BY	DESCRIPTION
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2	05/07/13	DMD	REVISED FOR SETTING CONTROL
3	03/07/13	DMD	REVISED FOR SETTING CONTROL
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11	03/07/13	DMD	REVISED FOR SETTING CONTROL

DATE: 12/10/08
 SCALE: AS NOTED
 JOB NO.: 10122

SITE DETAILS AND SHELTER ELEVATIONS

C-4
 Sheet No. 5 of 7

Cellco Partnership d/b/a Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
 SITE 1
 146 OLD COLCHESTER ROAD
 QUAKER HILL, CT 06075

CENTER engineering
 1231 4th Street
 Westfield, CT 06097
 (860) 439-0080
 www.CenterEng.com

WATERFORD NORTHEAST

Site 2
164 Old Colchester Road
Waterford, Connecticut

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

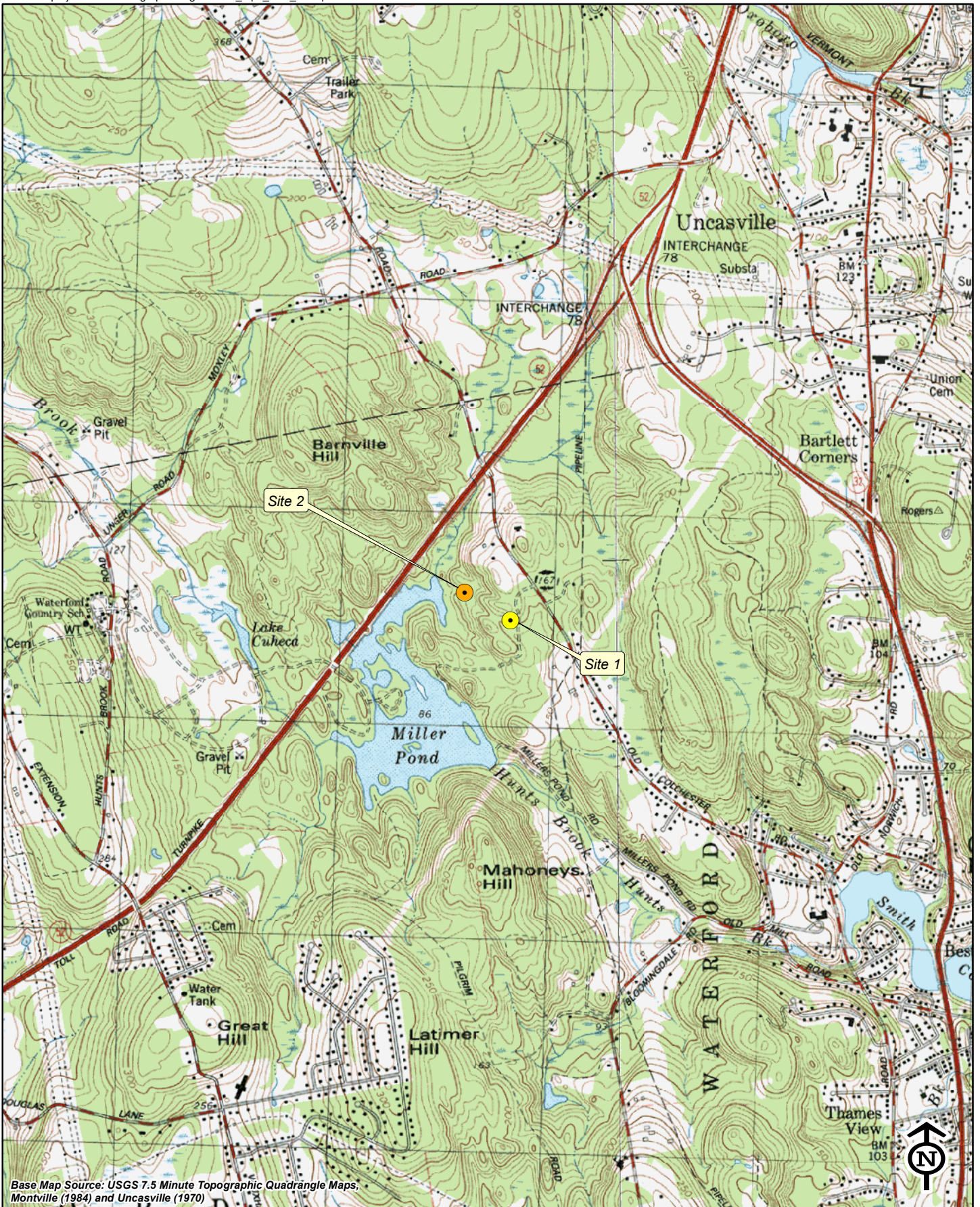
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GENERAL CELL SITE DESCRIPTION.....	1
U.S.G.S. TOPOGRAPHIC MAP.....	2
AERIAL PHOTOGRAPH.....	3
SITE EVALUATION REPORT.....	4
FACILITIES AND EQUIPMENT SPECIFICATION.....	6
ENVIRONMENTAL ASSESSMENT STATEMENT.....	7

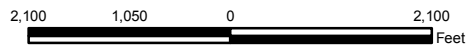
SITE NAME: SITE 2 – 164 Old Colchester Road, Waterford, CT

GENERAL CELL SITE DESCRIPTION

The proposed Site 2 cell site would be located in the southerly portion of an approximately 12.84 acre parcel owned by Jimmie R. Padgett, Jr. The Padgett parcel is located on the south side of Old Colchester Road in Waterford (the "Site 2 Facility"). The Site 2 Facility would consist of a 150-foot telecommunications tower and a 12' x 24' equipment shelter located near the base of the tower. The shelter would house Cellco's radio equipment and propane-fueled back-up generator. The tower, equipment shelter and a 1,000 gallon propane fuel tank would be located within a 50' x 50' fenced compound. Cellco antennas would be attached to a low-profile square antenna platform at the top of the tower with their centerline at the 150-foot level. The top of the Cellco antennas would extend above the top of the tower to a height of approximately 153 feet above ground level. Vehicular access to the site would extend from Old Colchester Road over the property owners existing paved driveway a distance of approximately 795 feet, then over a new gravel driveway extension an additional distance of approximately 280 feet to the site compound. Utility service would extend from existing service on the Padgett property approximately 280 feet north of the Site 2 Facility compound.

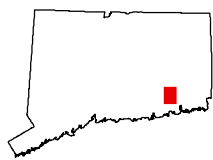


Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Montville (1984) and Uncasville (1970)



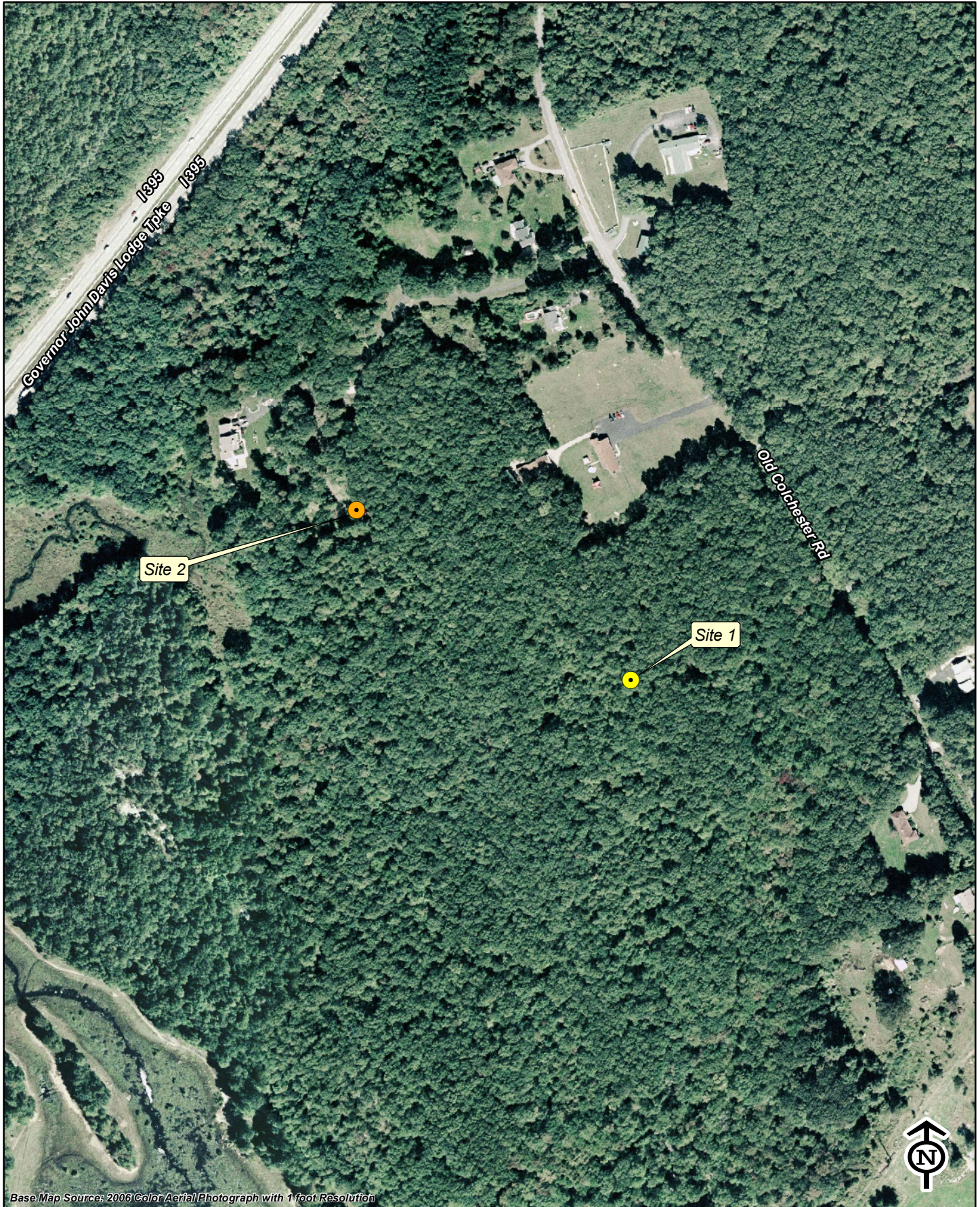
Vanasse Hangen Brustlin, Inc.

USGS Topographic Map
 Proposed Verizon Wireless
 Telecommunications Facility
 Waterford NE
 Site 1 - 146 Old Colchester Road
 Site 2 - 164 Old Colchester Road
 Waterford, Connecticut

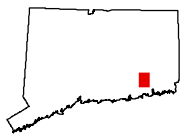
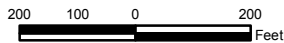


Quadrangle Location





Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Quadrangle Location

Vanasse Hangen Brustlin, Inc.

**Aerial Photograph
Proposed Verizon Wireless
Telecommunications Facility
Waterford NE**

**Site 1 - 146 Old Colchester Road
Site 2 - 164 Old Colchester Road
Waterford, Connecticut**



SITE EVALUATION REPORT

SITE NAME: SITE 2 – 164 Old Colchester Road, Waterford, CT

I. LOCATION

- A. COORDINATES: 41°-24'-55.99" N 72°-07'-58.863" W
- B. GROUND ELEVATION: Approximately 106± feet AMSL
- C. USGS MAP: Montville, CT
- D. SITE ADDRESS: 164 Old Colchester Road, Waterford, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is RU-120 and R-40 Residential.

II. DESCRIPTION

- A. SITE SIZE: 100' x 100' Leased Area
50' x 50' Fenced Compound
- B. LESSOR'S PARCEL: Approximately 12.84 acres
- C. TOWER TYPE/HEIGHT: 150' Monopole Tower
153' Top of Antennas
- D. SITE TOPOGRAPHY AND SURFACE: Topography in the area of the site is characterized as gently rolling hills. Clearing and grading for construction of the site compound and the access driveway extension will be required. Cellco anticipates the need to remove five (5) trees 6" or greater diameter at breast height to construct the Site 2 Facility.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower is located in the southerly portion of a 12.84 acre parcel used for residential purposes. Land surrounding the parcel is used for low density residential purposes. The closest wetland area is located approximately 35 feet to the west of the Site 2 Facility compound. Grading associated with the compound area will extend within 10 feet of Wetland Area #2. The proposed driveway extension will cross between two existing wetland areas in an area previously disturbed.

- F. LAND USE WITHIN 1/4 MILE OF SITE: The Site 2 Facility is located on a 12.84 acre residential parcel. This parcel is surrounded by low density residential, I-395 and Millers Pond. (See Topographic Map at p. 2 and Aerial Photograph at p. 3).

III. FACILITIES

- A. POWER COMPANY: Connecticut Light and Power
- B. POWER PROXIMITY TO SITE: Approximately 280 feet north of the cell site (SNET Pole #5456).
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Old Colchester Road over the property owner's existing paved driveway a distance of 795 feet then over a new gravel driveway extension an additional distance of 280 feet.
- F. CLEARING AND FILL REQUIRED: Tree clearing and grading would be required for construction of the tower, site compound and access drive extension. Detailed construction plans would be developed if this location is approved by the Siting Council.

IV. LEGAL

- A. PURCHASE [] LEASE [X]
- B. OWNER: Jimmie R. Padgett, Jr.
- C. ADDRESS: 164 Old Colchester Road, Waterford, CT 06385
- D. DEED ON FILE AT: Town of Waterford, CT Land Records

FACILITIES AND EQUIPMENT SPECIFICATION
(NEW TOWER & EQUIPMENT BUILDING)

SITE NAME: SITE 2 – 164 Old Colchester Road, Waterford, CT

I. TOWER SPECIFICATIONS:

- A. MANUFACTURER: To be determined
- B. TYPE: Self-supporting monopole
- C. TOWER HEIGHT: 150' DIMENSIONS: Approx. 55" base
Approx. 30" top

II. TOWER LOADING:

A. CELLCO EQUIPMENT:

- 1. Antennas (15)
 - Six (6) Model LPA 80063/6CF Cellular
 - Six (6) Model LPA 185063/12CF PCS
 - Three (3) Model BXA-70063/6CF LTE
 - Antenna Centerline 150' AGL
- 2. Low-profile, square antenna platform at 150'
- 3. GPS Antenna: Mounted on the top of the equipment shelter
- 4. Transmission Lines:
 - a. MFG/Model: Andrews LDF5-50A
 - b. Size: 1 5/8"

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The towers will be designed in accordance with Electronic Industries Association Standard EIA/TIA-222-F "Structural Standards for Steel Antenna Towers and Antenna Support Structures." The foundation designs would be based on soil conditions at the site. Details for the towers and foundation designs will be provided as a part of the final D&M Plan.

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: SITE 2 – 164 Old Colchester Road, Waterford, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the Site 2 Facility compound. The proposed driveway extension will cross between two wetland areas, at the location of an existing unimproved crossing. The equipment used at the Site 2 Facility will not discharge any pollutants to area surface or groundwater systems. The closest wetland area is located approximately 35 feet to the west of the Site 2 Facility compound. Grading for the Site 2 Facility compound will extend to within 10 feet of this same wetland area.

B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at the site would emit no air pollutants of any kind. For limited periods during power outages and periodically for maintenance purposes, minor levels of emissions from the on-site generator would result.

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this application would require the issuance of a Connecticut Department of Environmental Protection Air Bureau permit for potential emissions. Cellco would obtain this permit prior to installing the generator at the approved cell site.

C. LAND

Clearing and grading of the tower compound and access driveway extension will be required. The remaining land of the Lessor would remain unchanged by the construction and operation of the cell site.

D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator which

would be run during power failures and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's cellular, PCS and LTE antennas at the Site 2 Facility would be 12.69% of the Standard.

F. VISIBILITY

See Visual Resource Evaluation Report included as Attachment 11.

Cellco Partnership

d.b.a. **verizon** wireless

WIRELESS COMMUNICATIONS FACILITY

WATERFORD NE

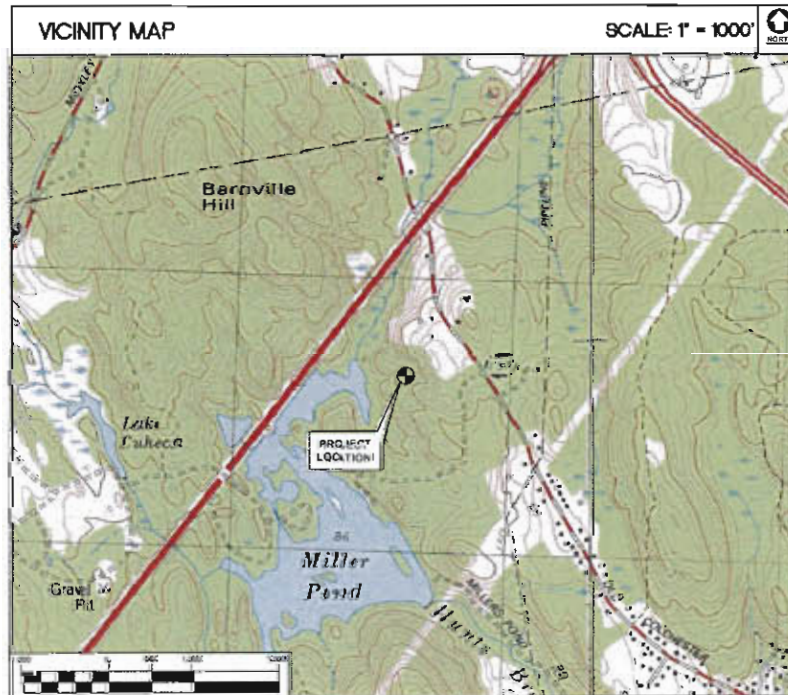
SITE 2

164 OLD COLCHESTER ROAD QUAKER HILL, CT 06375

SITE DIRECTIONS		
FROM:	TO:	
99 EAST RIVER DRIVE EAST HARTFORD, CONNECTICUT	164 OLD COLCHESTER ROAD QUAKER HILL, CT 06375	
1. Start out going NORTHEAST on E RIVER RD.		0.0 mi
2. Merge onto I-84 E/US-6 E via the ramp on the LEFT toward BOSTON.		0.2 mi
3. Merge onto CT-2 E via DXT 55 toward NORWICH/NEW LONDON.		38.3 mi
4. Merge onto I-395 S/GOVERNOR JOHN DAVIS LODGE TURNPIKE via EXIT 285 toward CT-2A/NEW HAVEN.		8.3 mi
5. Keep LEFT to take MONTVILLE CONN via EXIT 78 toward CT-32/NEW LONDON.		1.2 mi
6. MONTVILLE CONN becomes CT-32/MOHEGAN AVE.		0.2 mi
7. Turn RIGHT onto OLD NORWICH RD.		0.0 mi
8. Turn LEFT to stay on OLD NORWICH RD.		0.8 mi
9. Turn RIGHT onto OLD COLCHESTER RD.		1.0 mi
10. 164 OLD COLCHESTER RD is on the LEFT.		

GENERAL NOTES
1. PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

SITE INFORMATION
THE SCOPE OF WORK SHALL INCLUDE:
1. THE CONSTRUCTION OF A 50'X58' FENCED WIRELESS COMMUNICATIONS COMPOUND WITHIN A 100'X100' LEASE AREA.
2. A TOTAL OF UP TO FIFTEEN (15) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 150'± AGL ON A 150'± PROPOSED STEEL MONOPOLE TOWER.
3. TOTAL ACCESS DRIVE LENGTH IS 1075'± OFF OF OLD COLCHESTER ROAD, OF WHICH 795'± WILL FOLLOW ALONG AN EXISTING PAVED RESIDENTIAL DRIVEWAY AND 280'± WILL FOLLOW ALONG AN EXISTING DIRT/GRASS PATH TO BE IMPROVED AS A GRAVEL ACCESS DRIVE.
4. UTILITIES FOR THE PROPOSED CELCO PARTNERSHIP WIRELESS COMMUNICATIONS FACILITY ARE PROPOSED TO BE ROUTED UNDERGROUND FROM THE EXISTING SNET POLE #5458 NEAR THE PROPOSED GRAVEL ACCESS DRIVE ENTRANCE (OFF OF EXISTING PAVED RESIDENTIAL DRIVEWAY) TO THE PROPOSED UTILITY TRANSFORMER AND BACKBOARD LOCATED ADJACENT TO THE PROPOSED FACILITY COMPOUND. NO SITE WALK WITH UTILITY COMPANY REPRESENTATIVES HAS BEEN COMPLETED TO DATE. SUCH SITE VISIT SHALL BE PERFORMED DURING THE D&M PHASE OF THE PROJECT.
5. FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE D&M PLANS.
6. THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2009 CONNECTICUT SUPPLEMENT.
7. THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
8. THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.



PROJECT SUMMARY	
SITE NAME:	WATERFORD NE
SITE ADDRESS:	164 OLD COLCHESTER ROAD QUAKER HILL, CT 06375
PROPERTY OWNER:	JIMMIE R. PADGETT, JR M.A. 686 VALKILL STREET, EXT WATERFORD, CT 06385
LESSEE/TENANT:	CELCO PARTNERSHIP d.b.a. VERIZON WIRELESS 99 EAST RIVER DRIVE EAST HARTFORD, CT 06106
CONTACT PERSON:	SANDY CARTER CELCO PARTNERSHIP (860) 603-8219
ENGINEER:	CENTEX ENGINEERING 63-2 NORTH BRANFORD ROAD BRANFORD, CT 06405 (203) 488-0380
TOWER COORDINATES:	LATITUDE 41°-24'-55.999" LONGITUDE 72°-07'-58.863" GROUND ELEVATION: 106'± A.M.S.L. COORDINATES AND GROUND ELEVATION BASED ON FAA 2C SURVEY CERTIFICATION PREPARED BY MARTINEZ COUCH AND ASSOCIATES DATED JANUARY 29, 2010

SHEET INDEX		
SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	3
C-1.0	COMPILATION PLAN	3
C-1.1	PARTIAL SITE/ SITE SURVEY PLAN	3
C-2	COMPOUND PLAN AND ELEVATION	3
C-3	SITE DETAILS AND NOTES	3
C-4	SITE DETAILS AND SHELTER ELEVATIONS	3
C-5	SHELTER FOUNDATION PLAN, DETAILS AND NOTES	3

DESIGNED BY:	CFC
DRAWN BY:	TSP
CHK'D BY:	DMD
DATE:	12/10/09
SCALE:	AS NOTED
JOB NO.	09132
TITLE SHEET	
T-1	
Sheet No. 1 of 7	

DATE	BY	DESCRIPTION
05/18/11	CFC	REVISED FOR CT SITING COUNCIL
03/15/11	DMD	REVISED FOR CT SITING COUNCIL
03/09/11	DMD	ISSUED FOR CT SITING COUNCIL
02/24/11	DMD	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW

Professional Engineer
No. 18694
State of Connecticut
Professional Engineer

Cellco Partnership
d.b.a. Verizon Wireless

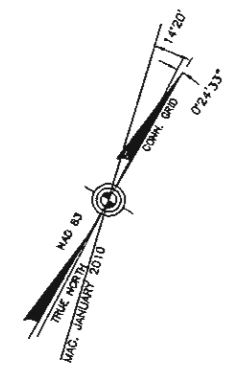
CENTEX ENGINEERING
63-2 NORTH BRANFORD ROAD
BRANFORD, CT 06405
(203) 488-0380
www.CentexEng.com

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
SITE 2
164 OLD COLCHESTER ROAD
QUAKER HILL, CT 06375

U.S. INTERSTATE ROUTE 1-395

STATE OF CONNECTICUT D.O.T.
M.A. 2800 BERLIN TURNPIKE
NEWINGTON, CT 06111

Legend	
	EXISTING PAVED DRIVE
	EXISTING UTILITY POLE
	EXISTING OVERHEAD UTILITY LINES
	PROPOSED COMPOUND FENCE
	PROPOSED GRAVEL ACCESS DRIVE
	PROPERTY LINE
	LEASE LINE (PROPOSED)
	EASEMENT LINE (PROPOSED)
	PROPOSED ACCESS/UTILITY EASEMENT AREA



N/F
WATERFORD COUNTRY SCHOOL INC
160R OLD COLCHESTER ROAD
VOL. 219 P. 375
MAP 176 003
M.A. 78 HUNTSBROOK ROAD
QUAKER HILL CT 06375

SUBJECT PROPERTY
N/F
JIMMIE R. FADGETT, JR
164 OLD COLCHESTER ROAD
VOL. 443 P. 923
MAP 20
M.A. 656 VAUXHALL STREET EXT
WATERFORD, CT 06385

N/F
KATHY L CALEVRO
168 OLD COLCHESTER ROAD
VOL. 690 P. 153
MAP 20

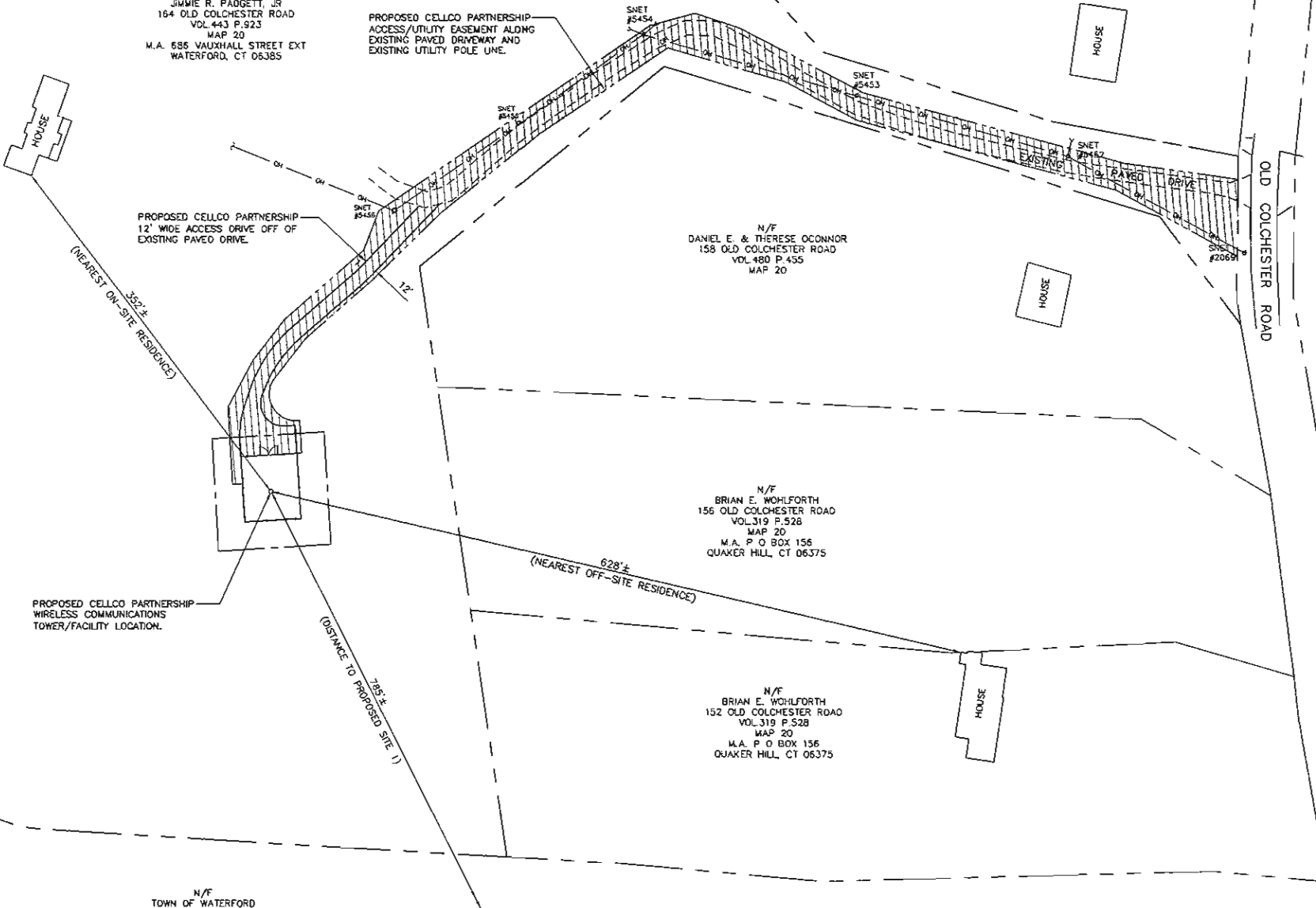
N/F
DANIEL E. & THERESE OCONNOR
158 OLD COLCHESTER ROAD
VOL. 480 P. 455
MAP 20

N/F
CONNECTICUT HUMANE SOCIETY
169 OLD COLCHESTER ROAD
VOL. 159 P. 222
MAP 9
M.A. 701 RUSSELL ROAD
NEWINGTON, CT 06111

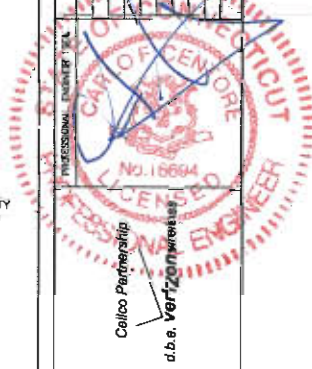
N/F
BRIAN E. WOHLFORTH
156 OLD COLCHESTER ROAD
VOL. 319 P. 528
MAP 20
M.A. P O BOX 156
QUAKER HILL, CT 06375

N/F
BRIAN E. WOHLFORTH
152 OLD COLCHESTER ROAD
VOL. 319 P. 528
MAP 20
M.A. P O BOX 156
QUAKER HILL, CT 06375

N/F
TOWN OF WATERFORD
148 OLD COLCHESTER ROAD
VOL. 202 P. 598
MAP 20
M.A. 15 ROPE FERRY ROAD
WATERFORD, CT 06385



DESIGNED BY:	CFC			
DRAWN BY:	DMD			
CHK'D BY:	CFC			
REV.	DATE	DRAWN BY	CHK'D BY	DESCRIPTION
1	05/16/11	DMD	CFC	REVISED FOR CT SITING COUNCIL
2	03/15/11	DMD	CFC	REVISED FOR CT SITING COUNCIL
3	03/07/11	DMD	CFC	ISSUED FOR CT SITING COUNCIL
4	02/24/11	DMD	CFC	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW



CEN TEK engineering
Central in Suburbia
2001 448-0580 Fax
2001 448-8307
65-2 North Bedford Road
Brentford, CT 06405
www.cenitekeng.com

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
SITE 2
164 OLD COLCHESTER ROAD
QUAKER HILL, CT 06375

DATE: 12/10/09
SCALE: AS NOTED
JOB NO. 09132

COMPILATION MAP

C-1.0
Sheet No. 2 of 2

UTILITY ROUTING NOTE:
UTILITIES FOR THE PROPOSED CELLCO PARTNERSHIP WIRELESS COMMUNICATIONS FACILITY ARE PROPOSED TO BE ROUTED UNDERGROUND FROM THE EXISTING SNET POLE #5456 NEAR THE PROPOSED GRAVEL ACCESS DRIVE ENTRANCE (OFF OF EXISTING PAVED RESIDENTIAL DRIVEWAY) TO THE PROPOSED UTILITY TRANSFORMER AND BACKBOARD LOCATED ADJACENT TO THE PROPOSED FACILITY COMPOUND. NO SITE WALK WITH UTILITY COMPANY REPRESENTATIVES HAS BEEN COMPLETED TO DATE. SUCH SITE VISIT SHALL BE PERFORMED DURING THE D&M PHASE OF THE PROJECT.



SYMBOLS LEGEND

	GUY ANCHOR		WIRE FENCE LINE
	SIGN		WOOD FENCE LINE
	MAILBOX		OVERHEAD UTILITY
	UTILITY POLE (EXISTING)		PROPERTY LINE
	IRON PIPE		EASEMENT LINE (PROPOSED)
	CONC MON		GRAVEL ACCESS DRIVE (PROPOSED)
	EXISTING CONIFEROUS TREE		LEASE LINE (PROPOSED)
	EXISTING DECIDUOUS TREE		CONTOUR LINE
	EXISTING DECIDUOUS TREE TO BE REMOVED		GRADING LINE
	EXISTING CONIFEROUS TREE TO BE REMOVED		WETLAND BOUNDARY
	STONE WALL (EXISTING)		SILT FENCE-EROSION & SEDIMENTATION CONTROL
	DIRT PATH (EXISTING)		LEDGE
	CHAINLINK FENCE (PROPOSED)		

SURVEY NOTES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. IT IS DATA ACCUMULATION PLAN AND IS BASED UPON LIMITED FIELD DATA AND REFERENCE MAPS CONFORMING TO HORIZONTAL ACCURACY CLASS TYPE D AND IS INTENDED TO BE USED TO DEPICT A PROPOSED TELECOMMUNICATIONS SITE.

THE PROPERTY/BOUNDARY LINES DEPICTED HEREON ARE COMPILED FROM OTHER MAPS, DEEDS AND LIMITED FIELD SURVEY. THESE LINES ARE NOT TO BE CONSTRUED AS A BOUNDARY OPINION AND ARE SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. PROPERTY MAY BE SUBJECT TO ENCUMBRANCES, EASEMENTS, RIGHTS OF WAY AS A TITLE SEARCH REPORT MAY DISCLOSE.

NOT ALL IMPROVEMENTS ARE SHOWN.

VERTICAL DATUM IS BASED ON NGVD 29.

COORDINATES REFER TO NAD 83.

THE INTENTION OF THIS MAP IS TO SHOW THE LOCATION OF THE WIRELESS COMMUNICATIONS FACILITY TO BE CONSTRUCTED BY VERIZON WIRELESS.

REFERENCE IS MADE TO THE FOLLOWING MAP ENTITLED:

"PLAN SHOWING THE SUBDIVISION OF LAND OF SENKOW BUILDERS, INC. OLD CHESTER ROAD, WATERFORD, CT DATED OCTOBER 18, 1982, REV. JANUARY 26, 1983, PREPARED BY WILLIAM F. KENT"

PARCEL OWNER OF RECORD: JIMMIE R. PADGETT, JR
M.A. 686 VAUXHALL STREET, EXT
WATERFORD, CT 06375

PARCEL KNOWN AS 164 OLD COLCHESTER ROAD, WATERFORD, CT 06375

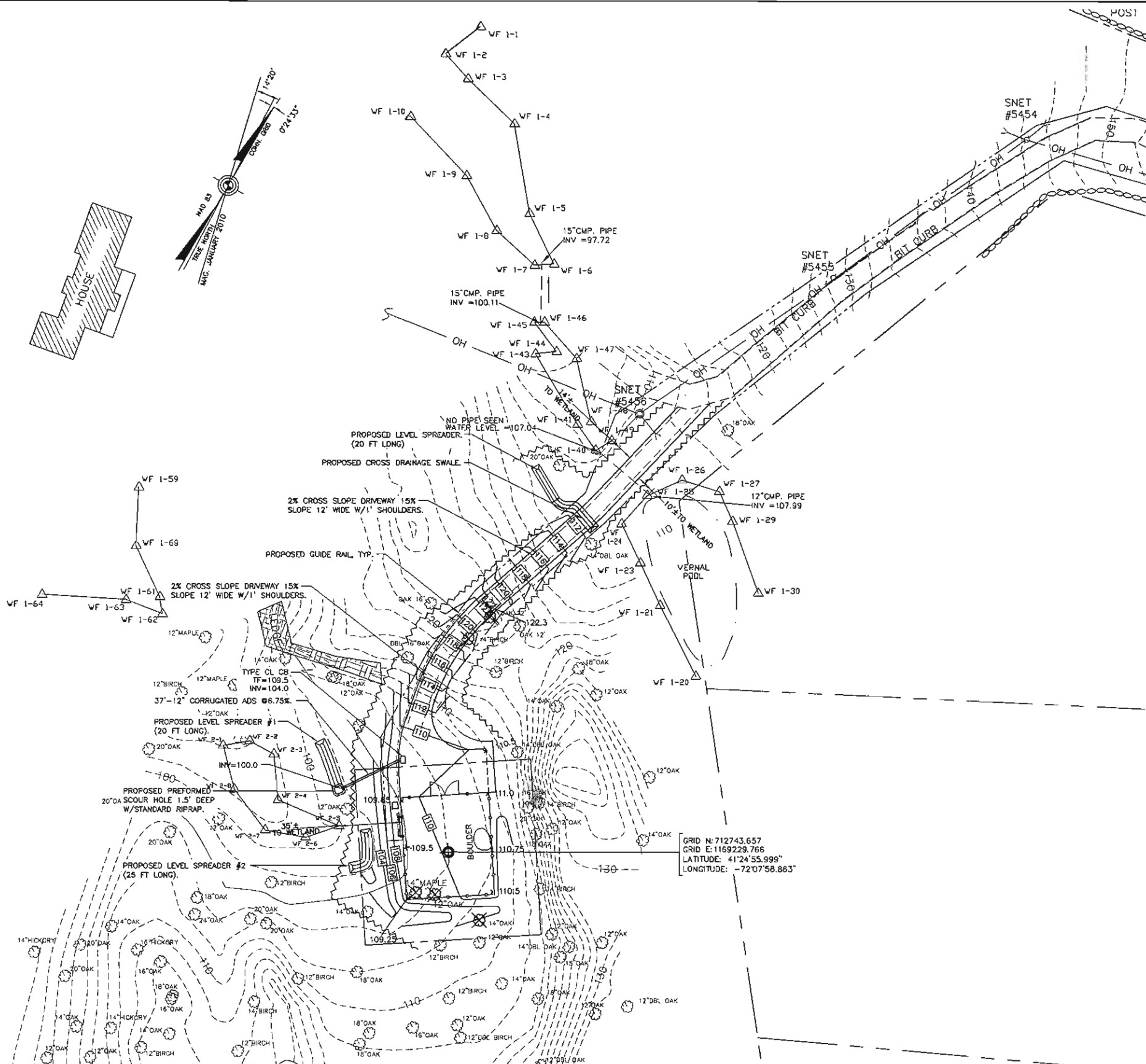
PARCEL AREA = 12.8± ACRES

PARCEL IS IN THE RU-120 ZONING DISTRICT.

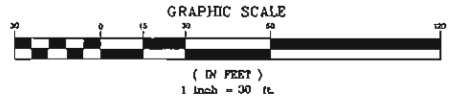
PARCEL MAP 20 WATERFORD ASSESSORS MAP.

PARCEL IS IN THE FLOOD ZONE X ON THE FLOOD INSURANCE RATE MAP, TOWN OF WATERFORD, CONNECTICUT, NEW LONDON COUNTY, PANEL 20 OF 20, COMMUNITY PANEL NUMBER 090107 0020 C, MAP REVISED SEPTEMBER 5, 1990, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

TREE REMOVAL SUMMARY	
TREES PROPOSED TO BE REMOVED IN PROXIMITY OF PROPOSED CELCO PARTNERSHIP 20' WIDE ACCESS EASEMENT	= 2
TREES PROPOSED TO BE REMOVED WITHIN AND ADJACENT TO PROPOSED LEASE AREA	= 3
TOTAL TREES PROPOSED TO BE REMOVED	= 5
RESIDENCES WITHIN 1000 FEET	
RESIDENCES WITHIN 1000 FEET OF PROPOSED TOWER (NOT INCLUDING SUBJECT PROPERTY & OWNER'S RESIDENCE)	= 4



1 PARTIAL SITE / SITE SURVEY PLAN
C-1.1 SCALE: 1" = 30'



UTILITY ROUTING NOTE:
UTILITIES FOR THE PROPOSED CELCO PARTNERSHIP WIRELESS COMMUNICATIONS FACILITY ARE PROPOSED TO BE ROUTED UNDERGROUND FROM THE EXISTING SNET POLE #5456 NEAR THE PROPOSED GRAVEL ACCESS DRIVE ENTRANCE (OFF OF EXISTING PAVED RESIDENTIAL DRIVEWAY) TO THE PROPOSED UTILITY TRANSFORMER AND BACKBOARD LOCATED ADJACENT TO THE PROPOSED FACILITY COMPOUND. NO SITE WALK WITH UTILITY COMPANY REPRESENTATIVES HAS BEEN COMPLETED TO DATE. SUCH SITE VISIT SHALL BE PERFORMED DURING THE D&M PHASE OF THE PROJECT.

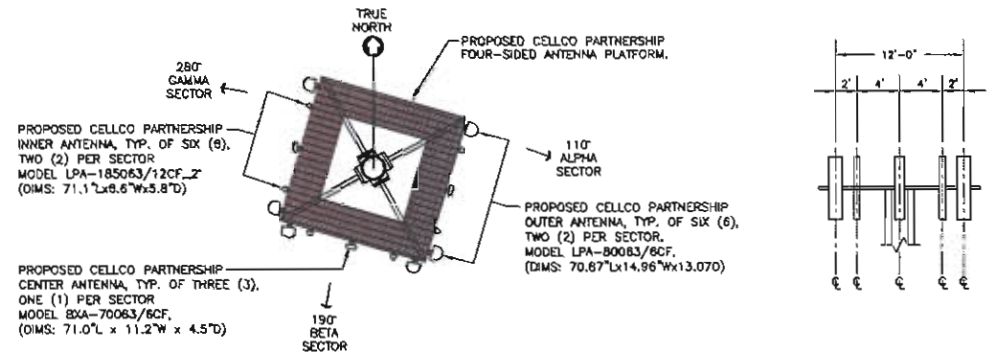


TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS SHOWN HEREON. THIS MAP IS NOT VALID WITHOUT MY SIGNATURE AND SEAL.
A. RAFAEL MARTINEZ, L.L.S. (1983) DATE

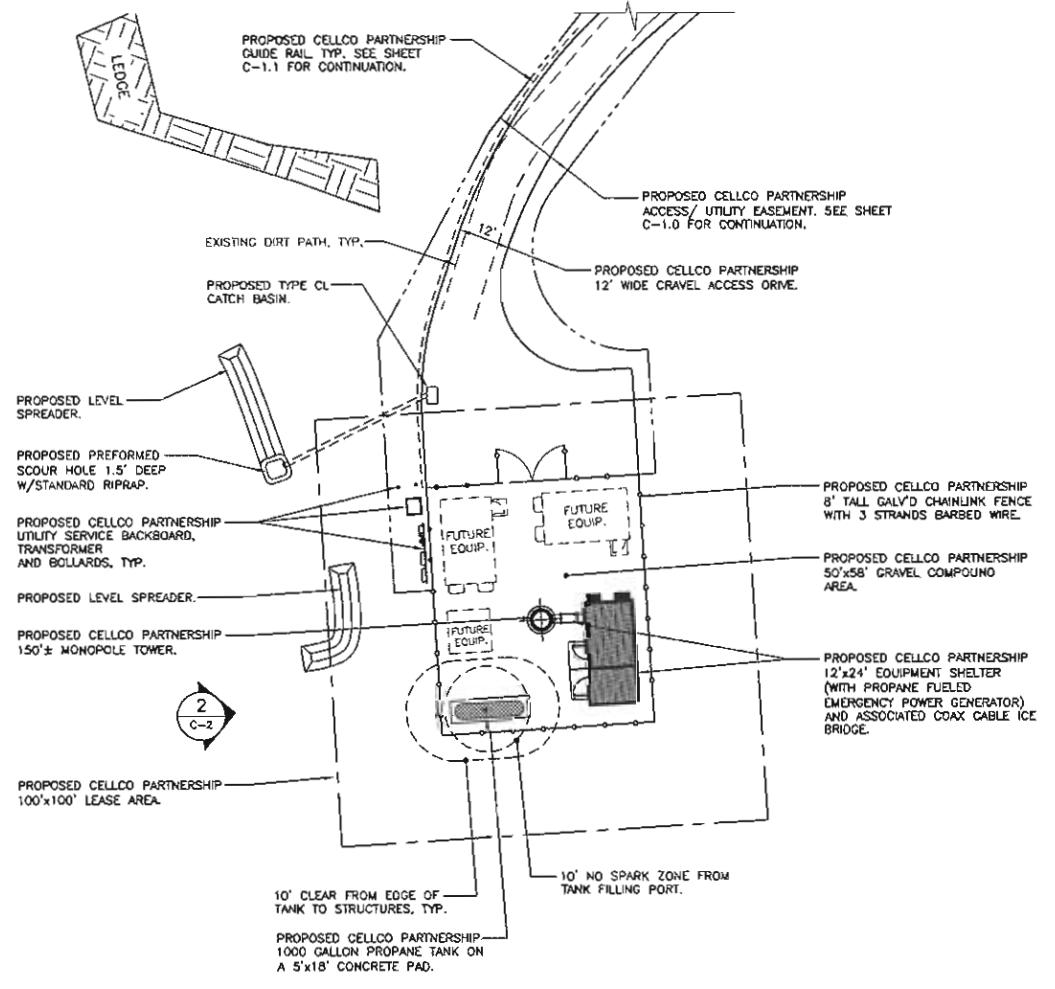
DESIGNED BY:	CFC
DRAWN BY:	SMO
CHECKED BY:	CFC
DATE:	12/10/09
SCALE:	AS NOTED
JOB NO.:	09132
PARTIAL SITE / SITE SURVEY PLAN	
C-1.1	
Sheet No. 3 of 7	

Cellco Partnership
d.b.a. Verizon Wireless
CENTEK engineering
1201 9th Street
1201 9th Street
852 North Broad Road
Berkeley, CA 94710
www.centekeng.com

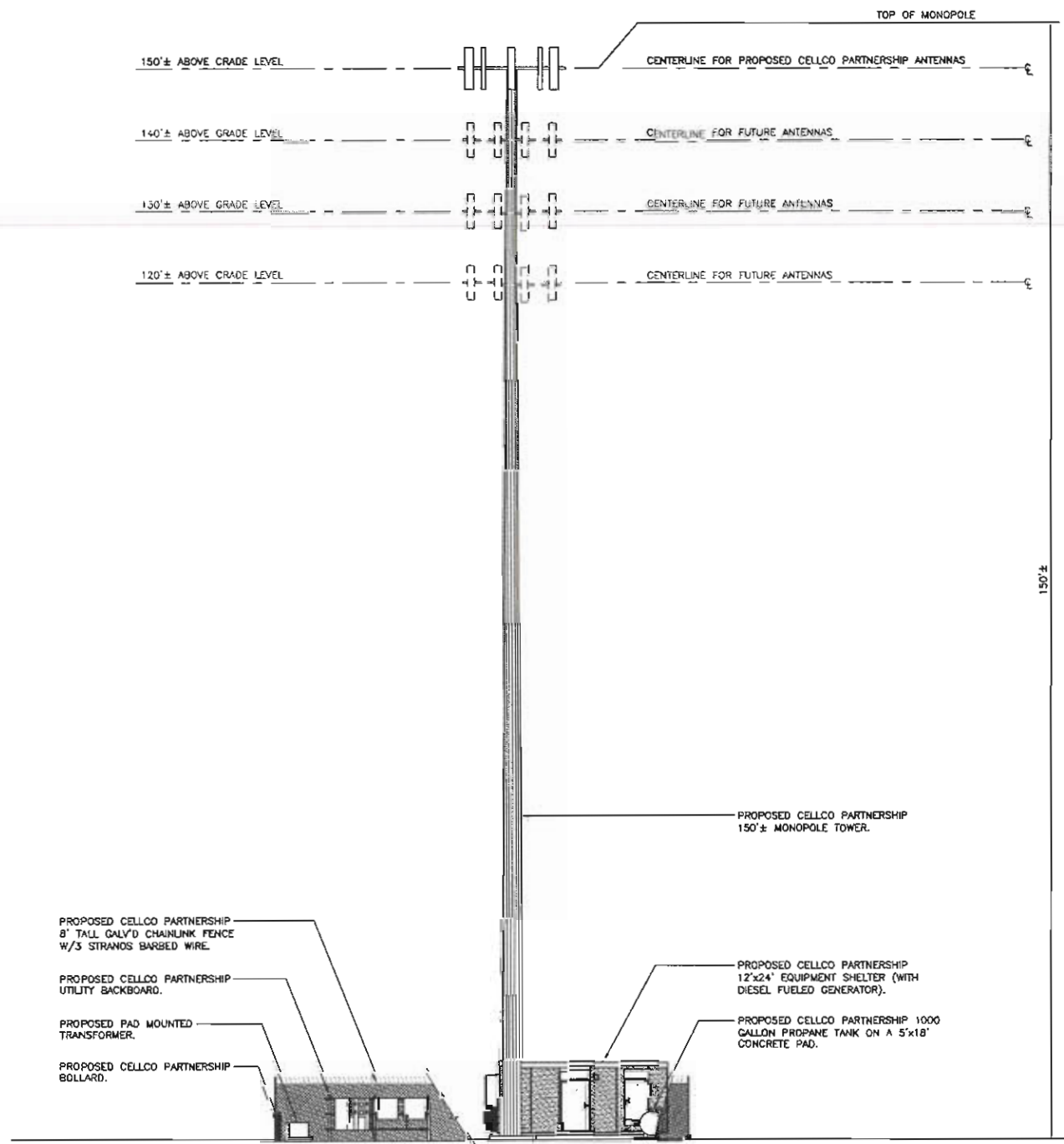
Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
SITE 2
164 OLD COLCHESTER ROAD
QUAKER HILL, CT 06375



3 ANTENNA MOUNTING CONFIGURATION
C-2 NOT TO SCALE



1 COMPOUND PLAN
C-2 SCALE: 1" = 20'-0"
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft

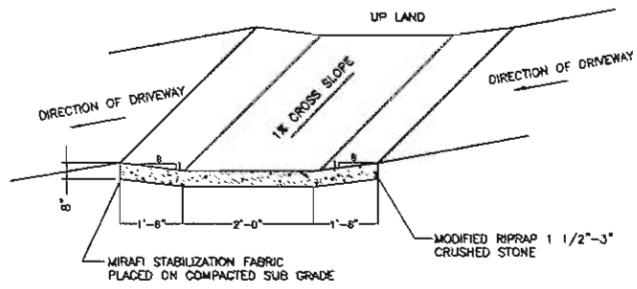


2 WESTERN ELEVATION
C-2 SCALE: 1" = 10'
GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft

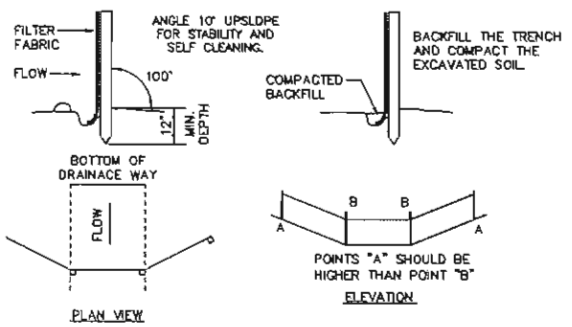
DESIGNED BY:	CFC
DRAWN BY:	TSP
CHECKED BY:	DMD
DATE:	12/10/09
SCALE:	AS NOTED
JOB NO.:	09132
COMPOUND PLAN AND ELEVATION	
C-2	
Sheet No. 2 of 2	

Cellco Partnership d/b/a Verizon Wireless
 WATERFORD NE SITE 2
 164 OLD COLCHESTER ROAD
 QUAKER HILL, CT 06375

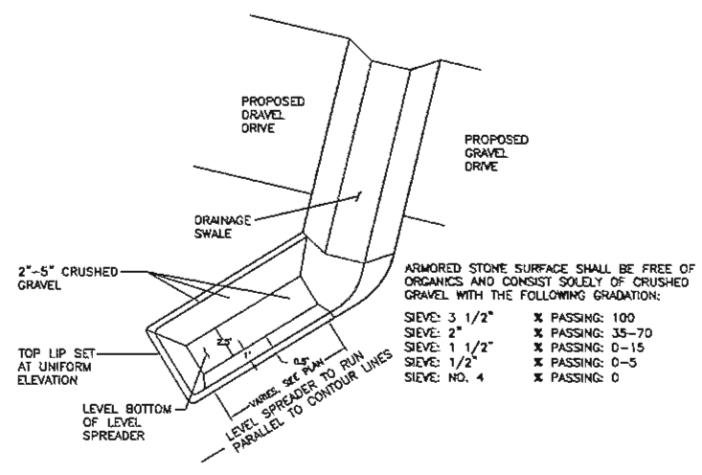
CENTEX engineering
 485-0590
 203-468-0887
 1000 Main Street, CT 06460
 www.CentexEng.com



1 TYPICAL CROSS DRAINAGE SWALE
C-3 NOT TO SCALE



2 PLACEMENT AND CONSTRUCTION SILT FENCE
C-3 NOT TO SCALE



3 TYPICAL LEVEL SPREADER TROUGH DETAIL
C-3 NOT TO SCALE

EROSION CONTROL

GENERAL CONSTRUCTION SEQUENCE

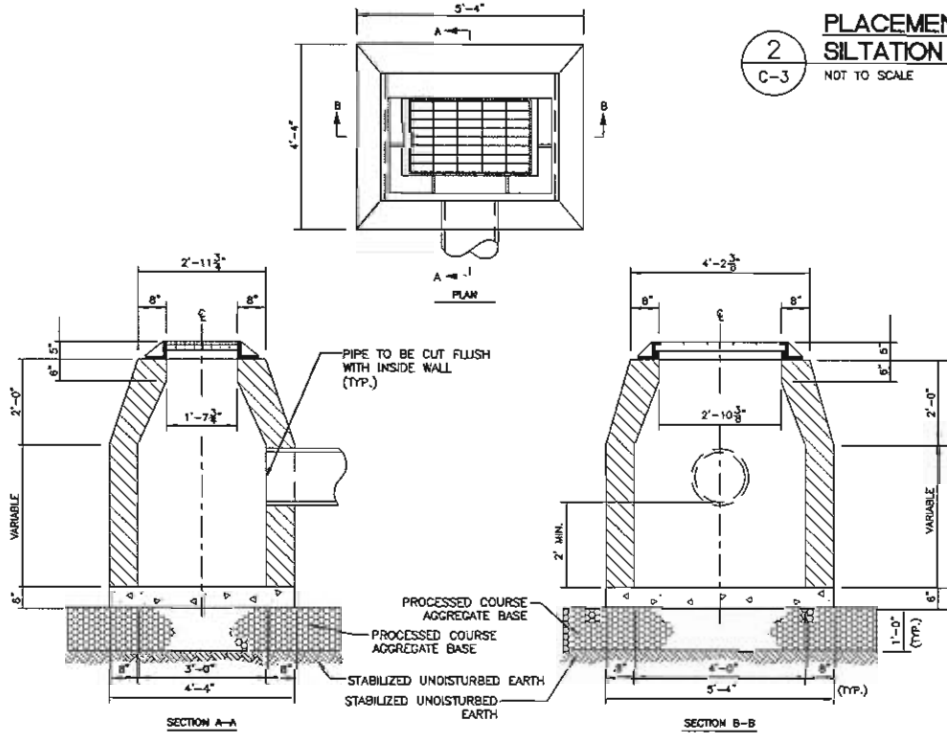
- THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.
- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
 - INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
 - REMOVE AND STOCKPILE TOPSOIL STOCKPILE SHALL BE SEED TO PREVENT EROSION.
 - CONSTRUCT CLOSED DRAINAGE SYSTEM PRECEPT CULVERTINLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
 - CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
 - INSTALL UNDERGROUND UTILITIES.
 - BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
 - DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, OTCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
 - BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
 - FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
 - COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 - NO FLOW SHALL BE OVERTERED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGARDED AREAS.
 - AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

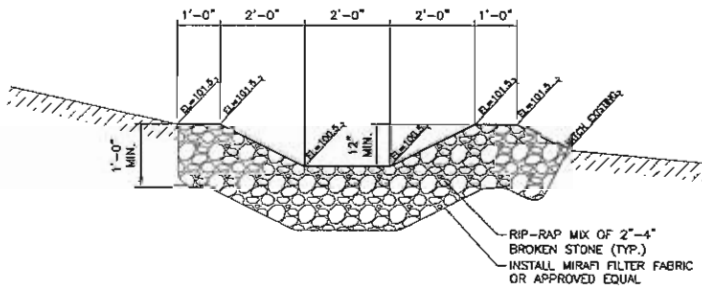
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POST WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 18 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SILT FENCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



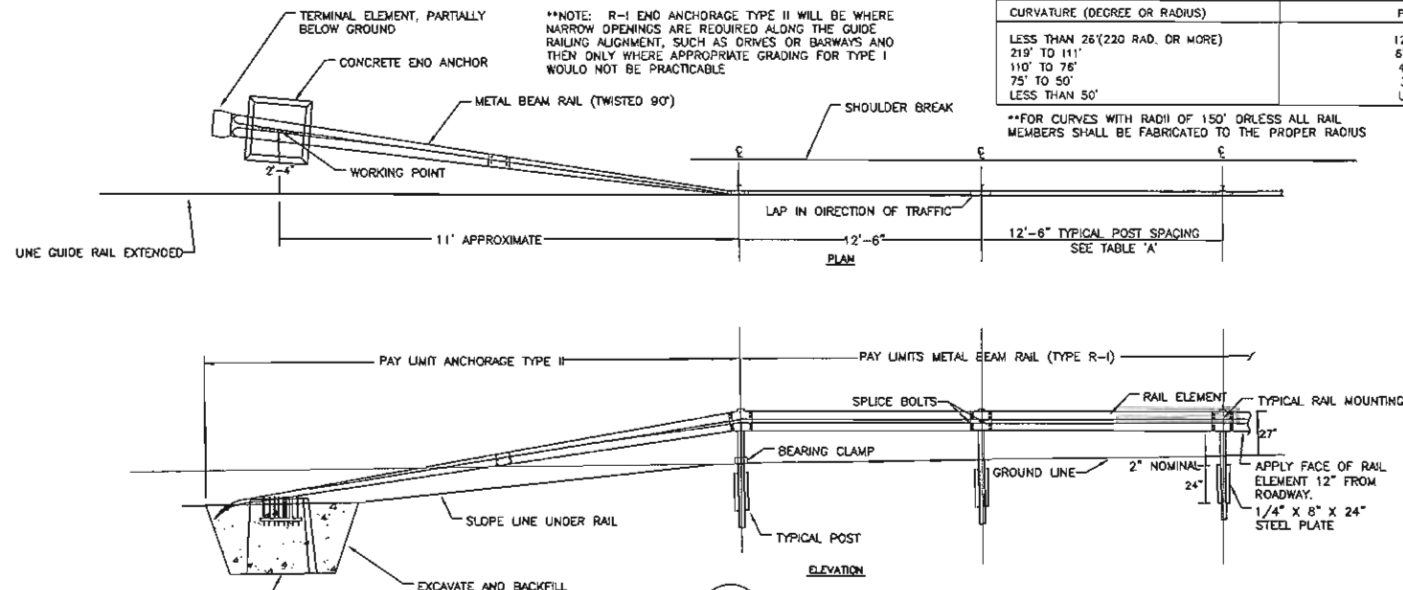
4 TYPE 'C-L' CATCH BASIN
C-3 NOT TO SCALE



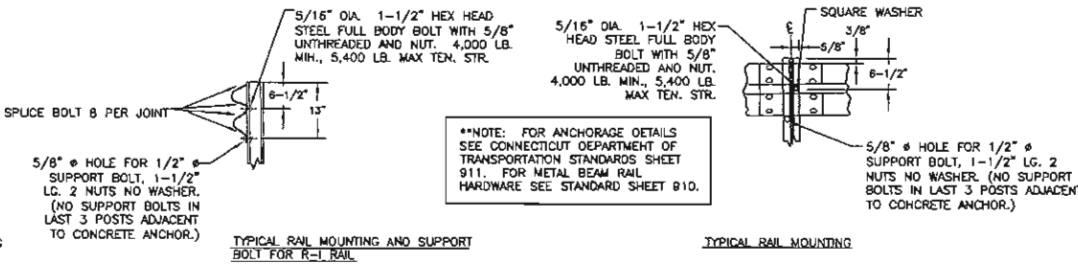
5 TYPICAL LEVEL SPREADER (SECTION)
C-3 NOT TO SCALE (SPREADERS #1 and #2)

TABLE 'A'	
CURVATURE (DEGREE OR RADIUS)	POST SPACING
LESS THAN 26 (220 RAD. OR MORE)	12'-6"
219' TO 111'	6'-3"
110' TO 76'	4'-2"
75' TO 50'	3'-1/2"
LESS THAN 50'	USE NOT RECOMMENDED

**FOR CURVES WITH RADII OF 150' OR LESS ALL RAIL MEMBERS SHALL BE FABRICATED TO THE PROPER RADIUS



6 METAL BEAM RAIL (R-1) AND END ANCHORAGE (TYPE II)
C-3 NOT TO SCALE



6A METAL BEAM RAIL MOUNTING DETAILS
C-3 NOT TO SCALE

DESIGNED BY: CFC
 DRAWN BY: DMD
 CHK'D BY: CFC

NO.	DATE	DESCRIPTION
1	02/18/11	ISSUED FOR CT SINKING COUNCIL
2	02/18/11	ISSUED FOR CT SINKING COUNCIL
3	02/18/11	ISSUED FOR CT SINKING COUNCIL
4	02/18/11	ISSUED FOR CT SINKING COUNCIL
5	02/18/11	ISSUED FOR CT SINKING COUNCIL
6	02/18/11	ISSUED FOR CT SINKING COUNCIL
7	02/18/11	ISSUED FOR CT SINKING COUNCIL
8	02/18/11	ISSUED FOR CT SINKING COUNCIL
9	02/18/11	ISSUED FOR CT SINKING COUNCIL
10	02/18/11	ISSUED FOR CT SINKING COUNCIL
11	02/18/11	ISSUED FOR CT SINKING COUNCIL
12	02/18/11	ISSUED FOR CT SINKING COUNCIL
13	02/18/11	ISSUED FOR CT SINKING COUNCIL

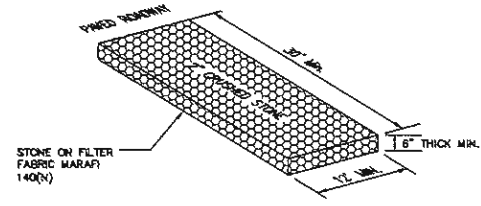
Calico Partnership
 d.b.a. Verizon Wireless
 6025 486-2028
 1200 486-6527 For
 632 North Broad Road
 Waterford, CT 06485
 www.verizonwireless.com

WATERFORD NE SITE 2
 164 OLD COLCHESTER ROAD
 QUAKER HILL, CT 06375

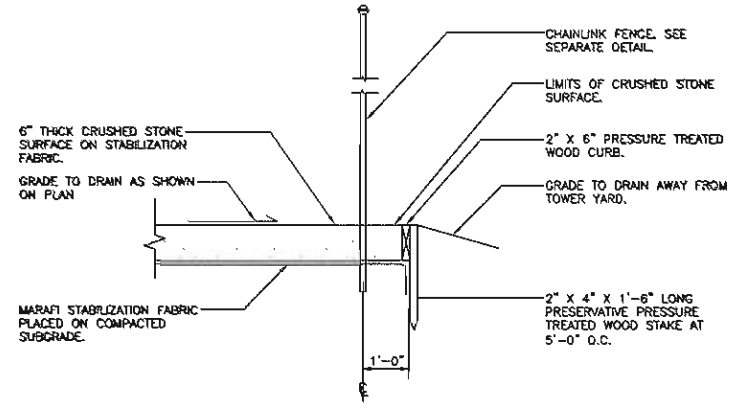
DATE: 12/10/06
 SCALE: AS NOTED
 JOB NO. 09132

SITE DETAILS AND NOTES

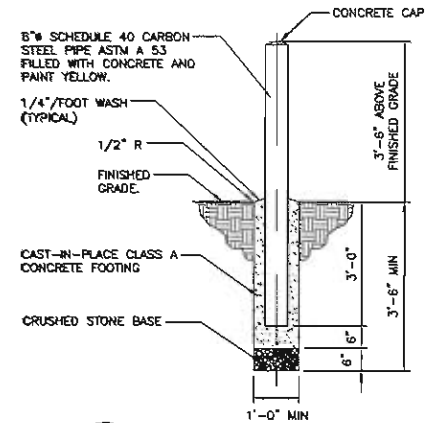
C-3
 Sheet No. 5 of 7



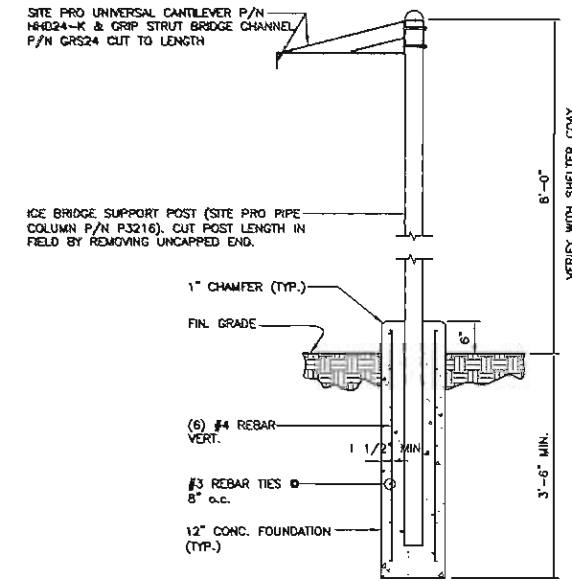
1 CONSTRUCTION ENTRANCE
C-4 NOT TO SCALE



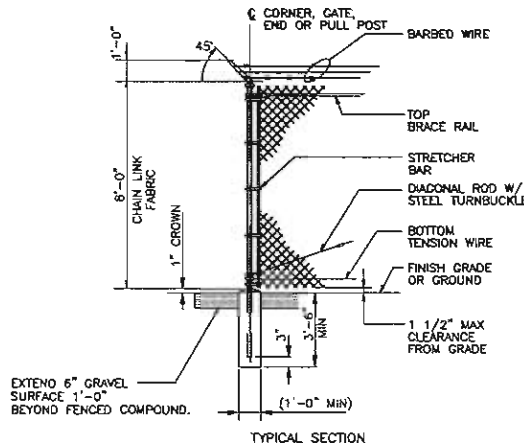
2 COMPOUND SURFACING DETAIL
C-4 NOT TO SCALE



3 BOLLARD DETAIL
C-4 NOT TO SCALE



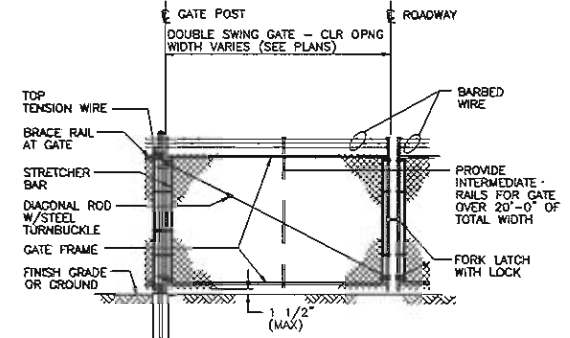
4 COAX CABLE CANOPY DETAIL
C-4 NOT TO SCALE



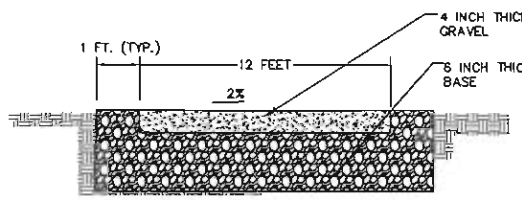
5 WOVEN WIRE FENCE DETAIL
C-4 NOT TO SCALE

WOVEN WIRE FENCE NOTES

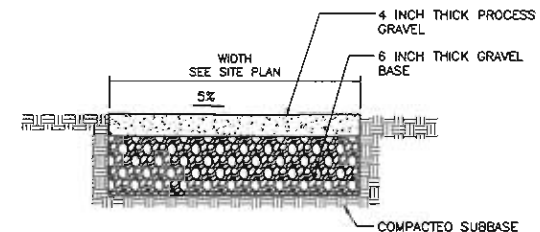
- GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2" # SCHEDULE 40 FOR GATE WIDTHS UP THRU 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
- LINE POST: 2" # SCHEDULE 40 PIPE PER ASTM-F1083.
- GATE FRAME: 1 1/2" # SCHEDULE 40 PIPE PER ASTM-F1083.
- TOP RAIL & BRACE RAIL: 1 1/2" # SCHEDULE 40 PIPE PER ASTM-F1083.
- FABRIC: 12 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX 24" INTERVALS.
- TENSION WIRE: 7 GA. GALVANIZED STEEL.
- BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH W/FABRIC 14 GA., 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, KEYS ALIKE FOR ALL SITES IN A GIVEN MTA.
- LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED WITH IF REQUIRED.
- HEIGHT = 8' VERTICAL + 1' BARBED WIRE VERTICAL DIMENSION.



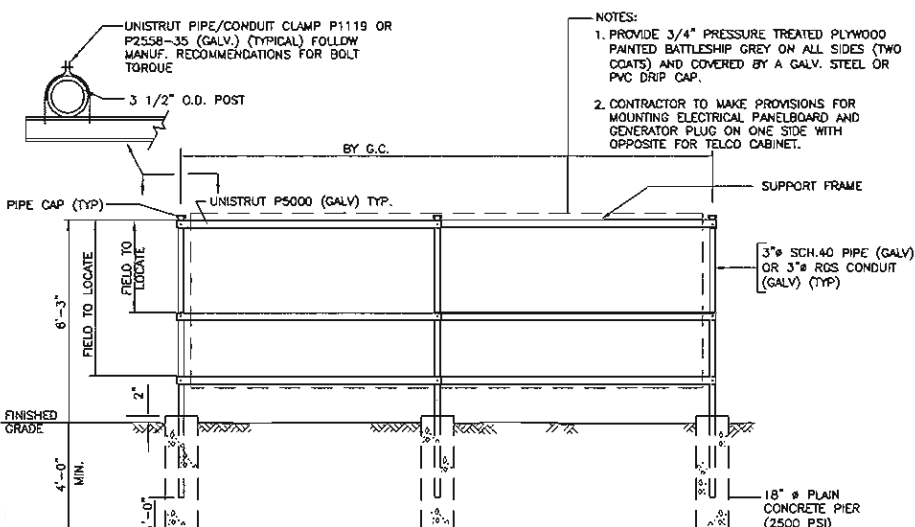
5A WOVEN WIRE SWING GATE-DOUBLE
C-4 NOT TO SCALE



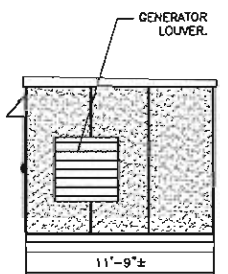
6 TYP. GRAVEL ACCESS DRIVE DETAIL
C-4 NOT TO SCALE



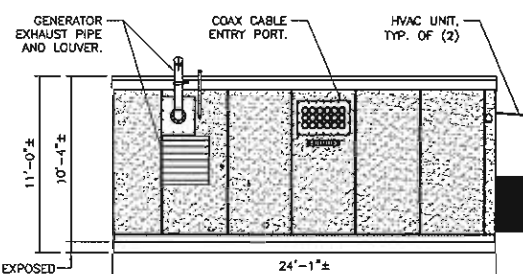
6A GRAVEL PARKING SURFACE
C-4 NOT TO SCALE



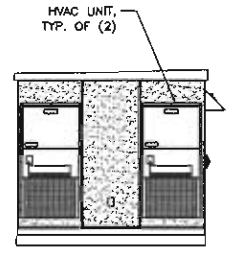
7 UTILITY SUPPORT FRAME (TYP)
C-4 NOT TO SCALE



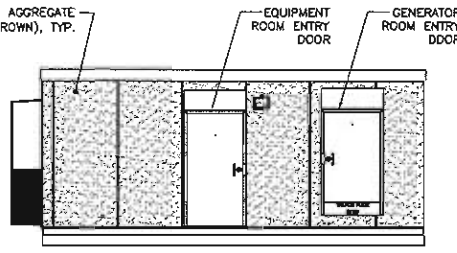
8 SOUTH SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



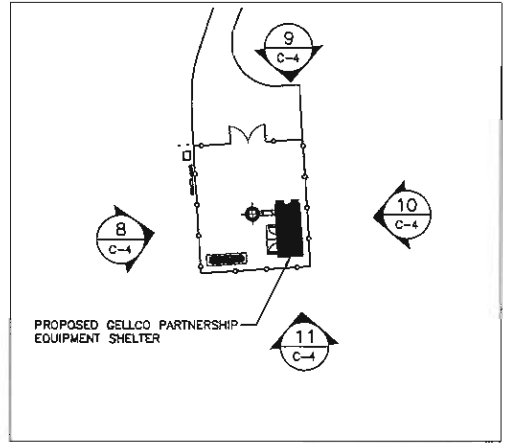
9 EAST SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



10 NORTH SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



11 WEST SHELTER ELEVATION
C-4 SCALE: 3/16" = 1'-0"



SHELTER ELEVATION KEY PLAN
NOT TO SCALE

DESIGNED BY: CFC
 DRAWN BY: DMD
 CHECK BY: CFC

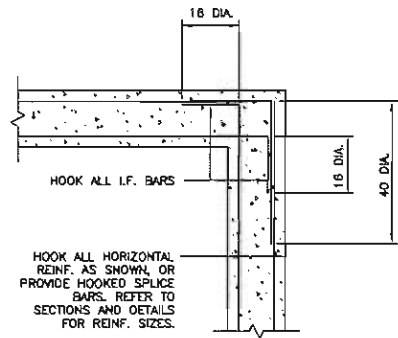
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2	03/07/11	DMD	ISSUED FOR CT SITING COUNCIL
3	03/07/11	DMD	ISSUED FOR CT SITING COUNCIL
4	02/24/11	DMD	ISSUED FOR CT SITING COUNCIL

DATE: 12/10/09
 SCALE: AS NOTED
 JOB NO. 09132

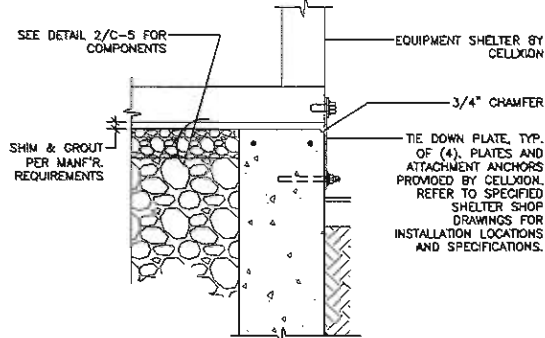
SITE DETAILS AND SHELTER ELEVATIONS

C-4

Sheet No. 8 of 2

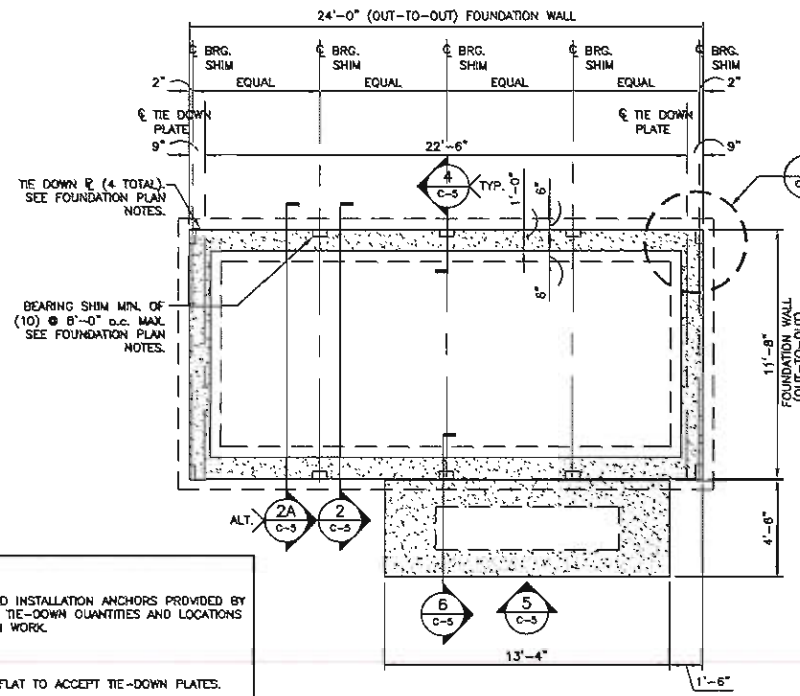


3 PLAN DETAIL
C-5 NOT TO SCALE

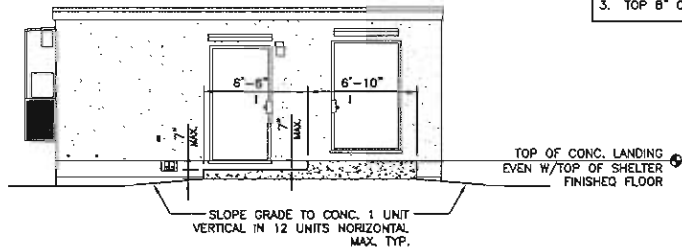


4 BUILDING TIE DOWN
C-5 SCALE: 1"=1'-0"

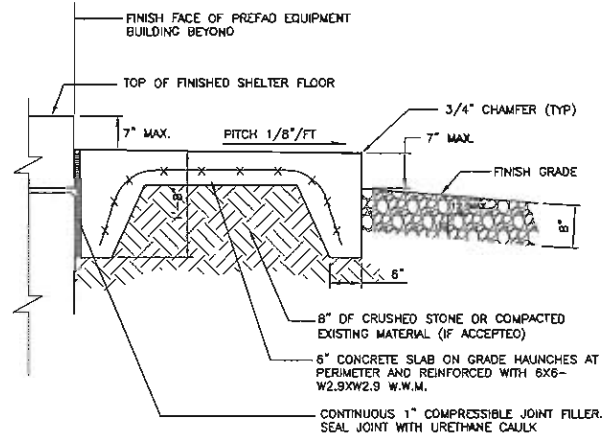
- NOTES:**
1. BEARING SHIMS, TIE-DOWN PLATES AND ASSOCIATED INSTALLATION ANCHORS PROVIDED BY CELLXION. CONTRACTOR SHALL VERIFY ALL SHIM & TIE-DOWN QUANTITIES AND LOCATIONS WITH CELLXION PRIOR TO PERFORMING FOUNDATION WORK.
 2. SLAB/ TOP OF WALL TOLERANCE IS 1/4"±
 3. TOP 8" OF FOUNDATION SIDES MUST BE FORMED FLAT TO ACCEPT TIE-DOWN PLATES.



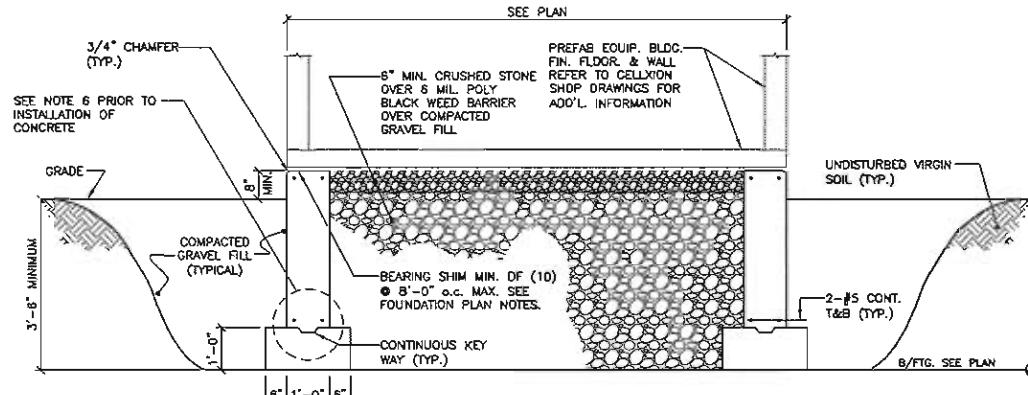
1 FOUNDATION PLAN
C-5 SCALE: 1/4"=1'-0" APPROXIMATE NORTH



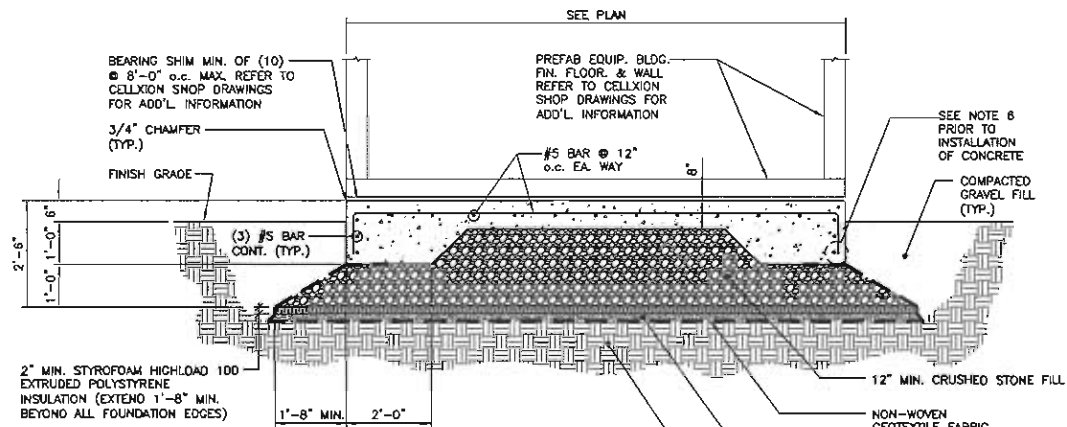
5 ENTRY STOOP DETAIL - ELEVATION
C-5 SCALE: 3/16"=1'-0"



6 ENTRY STOOP DETAIL - SECTION
C-5 SCALE: 3/16"=1'-0"



2 TYPICAL SECTION
C-5 SCALE: 1/2"=1'-0"



2A FOUNDATION PLAN SLAB ON GRADE ALTERNATE
C-5 SCALE: 1/2"=1'-0"

EQUIPMENT SHELTER BY CELLXION. VERIFY ALL SHELTER DIMENSIONS, EQUIPMENT DIMENSIONS, EQUIPMENT LOCATIONS AND UTILITY OPENINGS WITH BUILDING SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.

FOUNDATION NOTES:

1. IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
2. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED BUILDING SHOP DRAWINGS.
3. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.
4. REFER TO DRAWING T1 FOR ADDITIONAL NOTES AND REQUIREMENTS.

SITE NOTES:

1. THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. ACTIVE EXISTING UTILITIES, WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY PRIOR TO PROCEEDING. SHOULD ANY UNCOVERED EXISTING UTILITY PRECLUDE COMPLETION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. ALL RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED OFF SITE AND BE LEGALLY DISPOSED, AT NO ADDITIONAL COST.
4. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND TOWER AREAS.
5. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
6. THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
7. THE AREAS OF THE COMPOUND DISTURBED BY THE WORK SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
8. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
9. IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL PROCEED WITH AFFECTED WORK AFTER CONFLICT IS SATISFACTORILY RESOLVED.
10. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED BUILDING SHOP DRAWINGS.
11. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

COMPACTED GRAVEL FILL:

1. COMPACTED GRAVEL FILL SHALL BE FURNISHED AND PLACED AS A FOUNDATION FOR STRUCTURES, WHERE SHOWN ON THE CONTRACT DRAWINGS OR DIRECTED BY THE ENGINEER.
2. GRAVEL SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE M.02.02 OF THE CONNECTICUT D.O.T. STANDARD SPECIFICATIONS. ADMIXTURES AND SURFACE PROTECTIVE MATERIALS USED TO PREVENT THE GRAVEL FROM FREEZING MUST MEET THE APPROVAL OF THE ENGINEER. THE LARGEST STONE SIZE SHALL BE 3-1/2 INCHES.
3. SAMPLES OF THE MATERIAL TO BE USED SHALL BE DELIVERED TO THE JOB SITE 5 DAYS PRIOR TO ITS INTENDED USE SO IT MAY BE TESTED FOR APPROVAL.
4. AFTER ALL EXCAVATION HAS BEEN COMPLETED, GRAVEL SHALL BE DEPOSITED IN LAYERS NOT EXCEEDING EIGHT (8) INCHES IN DEPTH OVER THE AREAS, IN EXCEPTIONAL CASES, THE ENGINEER MAY PERMIT THE FIRST LAYER TO BE THICKER THAN EIGHT (8) INCHES. EACH LAYER SHALL BE LEVELED OFF BY SUITABLE EQUIPMENT. THE ENTIRE AREA OF EACH LAYER SHALL BE COMPACTED BY USE OF APPROVED VIBRATORY, PNEUMATIC-TIRED OR TREAD-TYPE COMPACTION EQUIPMENT. COMPACTION SHALL BE CONTINUED UNTIL THE DRY DENSITY OVER THE ENTIRE AREA OF EACH LAYER IS NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY ACHIEVED BY AASHTO T-99 METHOD C. THE MOISTURE CONTENT OF THE GRAVEL SHALL NOT VARY BY MORE THAN 3%+ FROM ITS OPTIMUM MOISTURE CONTENT. NO SUBSEQUENT LAYER SHALL BE DEPOSITED UNTIL THE SPECIFIED COMPACTION IS ACHIEVED FOR THE PREVIOUS LAYER. IF NECESSARY TO OBTAIN THE REQUIRED COMPACTION, WATER SHALL BE ADDED AND GENTLE PULDING PERFORMED IF AUTHORIZED. COMPACTED GRAVEL FILL SHALL BE PREVENTED FROM FREEZING BY USE OF APPROVED ADMIXTURES OR BY USE OF APPROVED PROTECTIVE MATERIALS ON THE SURFACE, OR BOTH.

CONCRETE AND REINFORCING STEEL NOTES:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318.
2. ALL CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED WITH A MAXIMUM SLUMP OF 4", AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS OTHERWISE INDICATED.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON THE DRAWINGS:

CONCRETE CAST AGAINST EARTH.....	3 IN.
CONCRETE EXPOSED TO EARTH OR WEATHER:	
#6 AND LARGER.....	2 IN.
#5 AND SMALLER & WWF.....	1 1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:	
SLAB AND WALL.....	3/4 IN.
BEAMS AND COLUMNS.....	1 1/2 IN.
5. ALL EXPOSED EDGES OF CONCRETE TO RECEIVE A 3/4" CHAMFER IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. CONCRETE EQUIPMENT PAD TO RECEIVE A BRUSHED FINISH.
7. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT DURING DRILLING WITHOUT PRIOR REVIEW BY THE ENGINEER.

DESIGNED BY:	CFC
DRAWN BY:	TSP
CHK'D BY:	DMD

DATE	DESCRIPTION
02/18/11	REVISED FOR CT BITING COUNCIL
03/15/11	REVISED FOR CT BITING COUNCIL
03/07/11	ISSUED FOR CT BITING COUNCIL
02/27/11	ISSUED FOR CT BITING COUNCIL - CLIENT REVIEW



Cellco Partnership
d/b/a Verizon Wireless
www.CellcoPart.com

CENITEK engineering
2031 488-5500
2031 488-5507 fax
43-2 North Brentford Road
Brentford, CT 06405

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
WATERFORD NE
SITE 2
164 OLD COLCHESTER ROAD
QUAKER HILL, CT 06375

DATE:	12/10/09
SCALE:	AS NOTED
JOB NO.:	09132

SHELTER FOUND.
PLAN, DETAILS
AND NOTES

CERTIFICATION OF SERVICE

I hereby certify that on this 20th day of May, 2011, copies of the Application and attachments were sent first class mail, postage prepaid, to the following:

STATE OFFICIALS:

The Honorable George C. Jepsen
Attorney General
Office of the Attorney General
55 Elm Street
Hartford, CT 06106

Peter J. Boynton, Commissioner
Department of Emergency Management and Homeland Security
25 Sigourney Street, 6th Floor
Hartford, CT 06106-5042

Daniel Esty, Commissioner
Connecticut Department of Environmental Protection
79 Elm Street
Hartford, CT 06106

Jewel Mullen, M.D., M.P.H., M.P.A., Commissioner
Department of Public Health and Addiction Services
410 Capitol Avenue
P.O. Box 340308, MS 13COM
Hartford, CT 06134-0308

Karl J. Wagener, Executive Director
Council on Environmental Quality
79 Elm Street
P.O. Box 5066
Hartford, CT 06106

Kevin M. DelGobbo, Chairman
Department of Public Utility Control
Ten Franklin Square
New Britain, CT 06051

Benjamin Barnes, Secretary
Office of Policy and Management
450 Capitol Avenue
Hartford, CT 06134-1441

Catherine Smith, Commissioner
Department of Economic and Community Development
505 Hudson Street
Hartford, CT 06106

James P. Redeker, Acting Commissioner
Department of Transportation
P.O. Box 317546
2800 Berlin Turnpike
Newington, CT 06131-7546

David Bahlman, Division Director
Deputy State Historic Preservation Officer
Connecticut Commission on Culture & Tourism
Historic Preservation and Museum Division
One Constitution Plaza, 2nd Floor
Hartford, CT 06103

Steven K. Reviczky, Commissioner
Department of Agriculture
165 Capital Avenue
Hartford, CT 06106

Southeast Connecticut Council of Governments
5 Connecticut Avenue
Norwich, CT 06360

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Daniel M. Steward
First Selectman
Town of Waterford
15 Rope Ferry Road
Waterford, CT 06385

The Honorable Elizabeth B. Ritter
Representative – 38th District
24 Old Mill Road
Waterford, CT 06385

The Honorable Andrea L. Stillman
Senator – 20th District
Legislative Office Building
Room 3600
Hartford, CT 06106-1591

Robert M. Nye
Town Clerk
Town of Waterford
15 Rope Ferry Road
Waterford, CT 06385

Edwin J. Maguire, Chair
Planning and Zoning Commission
Town of Waterford
15 Rope Ferry Road
Waterford, CT 06385

Denise Ansell, Chair
Zoning Board of Appeals
Town of Waterford
15 Rope Ferry Road
Waterford, CT 06385

Thomas V. Wagner
Planning Director
Town of Waterford
15 Rope Ferry Road
Waterford, CT 06385

Gary Johnson, Chair
Conservation Commission
Town of Waterford
15 Rope Ferry Road
Waterford, CT 06385

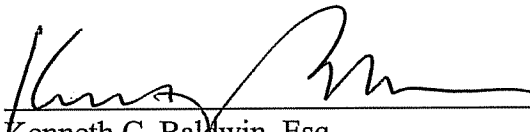
FEDERAL OFFICIALS:

The Honorable Richard Blumenthal
United States Senator
G55 Dirksen Senate Office Building
Washington, DC 20510

The Honorable Joseph Lieberman
United States Senator
706 Hart Senate Office Building
Washington, DC 20510

The Honorable Joseph Courtney
Congressman
215 Cannon House office Building
Washington, DC 20515

Federal Communications Commission
445 12th Street SW
Washington, DC 20554

A handwritten signature in black ink, appearing to read "Kenneth C. Baldwin", is written over a solid horizontal line.

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103
Telephone: (860) 275-8200
Attorneys for Cellco Partnership d/b/a Verizon Wireless

LEGAL NOTICE

Notice is hereby given, pursuant to Section 16-50(b) of the Connecticut General Statutes and Regulations pertaining thereto, of an Application to be submitted to the Connecticut Siting Council ("Council") on or about May 20, 2011, by Cellco Partnership d/b/a Verizon Wireless ("Cellco" or the "Applicant"). The Application proposes the installation of a wireless telecommunications facility at one of two locations in the Town of Waterford, Connecticut. The Site 1 location would consist of a 50' x 50' compound area within a 45.9 acre parcel at 146 Old Colchester Road. At this site, Cellco proposes to construct a 130-foot tower. Access to Site 1 will extend from Old Colchester Road. The Site 2 location would consist of a 50' x 50' compound area within a 12.84 acre parcel at 164 Old Colchester Road. At this site, Cellco proposes to construct a 150-foot tower. Cellco will also install a new 12' x 24' shelter located near the base of the approved tower to house its radio equipment and a back-up generator. The location and other features of the proposed facility are subject to change under provisions of Connecticut General Statutes § 16-50g et. seq.

On the day of the Siting Council public hearing on this proposal, Cellco will fly a balloon at the height of each of the proposed towers described above. Interested parties and residents of the Town of Waterford are invited to review the Application during normal business hours on or after May 20, 2011, at any of the following offices:

Connecticut Siting Council
10 Franklin Square
New Britain, CT 06051

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

Town Clerk
Town of Waterford
Town Hall
15 Rope Ferry Road
Waterford, CT 06385

or the offices of the undersigned. All inquiries should be addressed to the Connecticut Siting Council or to the undersigned.

CELLCO PARTNERSHIP d/b/a VERIZON
WIRELESS

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103-3597
(860) 275-8200
Its Attorneys

KENNETH C. BALDWIN

280 Trumbull Street
Hartford, CT 06103-3597
Main (860) 275-8200
Fax (860) 275-8299
kbaldwin@rc.com
Direct (860) 275-8345

May 16, 2011

Via Certified Mail Return Receipt Requested

«Name_and_Address»

**Re: Cellco Partnership d/b/a Verizon Wireless
Proposed Telecommunications Facility
Waterford, Connecticut**

Dear «Salutation»:

Cellco Partnership d/b/a Verizon Wireless (“Cellco”) will be submitting an application to the Connecticut Siting Council (“Council”) on or about May 20, 2011, for approval of the construction of a telecommunications facility at one of two locations in the Quaker Hill section of the Town of Waterford, Connecticut.

The Site 1 facility location would consist of a new 130-foot tower in the northeast portion of a 45.9 acre parcel at 146 Old Colchester Road. This parcel is owned by the Town of Waterford. Cellco’s radio equipment and back-up generator would be installed inside a 12’ x 24’ shelter located at the base of the tower. Access to the Site 1 facility would extend directly from Old Colchester Road along a new gravel driveway a distance of approximately 765 feet.

The Site 2 facility location would consist of a new 150-foot tower in the southerly portion of a 12.8 acre parcel at 164 Old Colchester Road. This parcel is owned by Jimmie R. Padgett, Jr. Cellco’s radio equipment and propane-fueled back-up generator would be installed inside a 12’ x 24’ shelter located at the base of the tower. A 1,000 gallon propane tank would be installed in the Site 2 facility compound. Access to the Site 2 facility would extend directly from Old Colchester Road and would utilize a portion of the owner’s existing driveway a distance of approximately 795 feet then over a 280-foot gravel driveway extension.

May 16, 2011
Page 2

Site plans for the Site 1 and Site 2 facilities are attached for your review. The location and other features of the proposed facilities are subject to change under the provisions of Connecticut General Statutes § 16-50g et seq.

State law provides that owners of record of property which abuts a parcel on which a facility is proposed to be located must receive notice of the submission of this application. This notice is directed to you either because you may be an abutting land owner or as a courtesy notice.

If you have any questions concerning the application, please direct them to either the Connecticut Siting Council or me. My address and telephone number are listed above. The Siting Council may be reached at its New Britain, Connecticut office at (860) 827-2935.

Very truly yours,

A handwritten signature in black ink, appearing to read "Kenneth C. Baldwin", with a long horizontal flourish extending to the right.

Kenneth C. Baldwin

KCB/kmd
Attachment

Cellco Partnership



d.b.a. **verizon** wireless WIRELESS COMMUNICATIONS FACILITY

WATERFORD NE

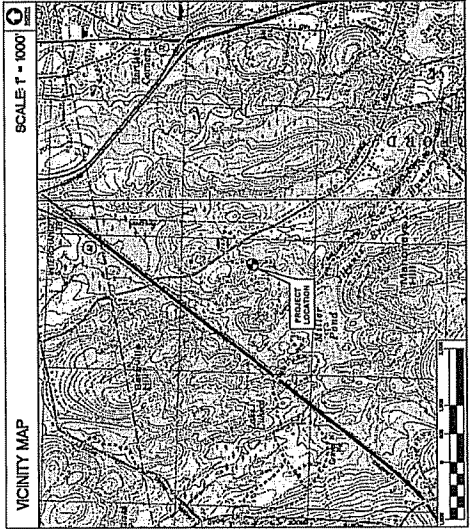
SITE 1

146 OLD COLCHESTER ROAD QUAKER HILL, CT 06375

SITE DIRECTIONS	
FROM:	TO:
1. FROM THE WEST, INTERSTATE 84 IS FIRST ON THE LEFT.	146 OLD COLCHESTER ROAD QUAKER HILL, CT 06375
2. MAKE LEFT TURN ON COLCHESTER ROAD TO THE LEFT TOWARD BOSTON.	0.9 mi
3. MAKE RIGHT TURN ON DRT 25 TOWARD MONTVILLE/NEW LONDON.	3.3 mi
4. TURN LEFT ON MONTVILLE ROAD TOWARD NEW LONDON.	0.3 mi
5. TURN RIGHT ON MONTVILLE ROAD TOWARD NEW LONDON.	0.2 mi
6. TURN LEFT ON MONTVILLE ROAD TOWARD NEW LONDON.	0.2 mi
7. TURN LEFT ON OLD WITCHAMUNTS ROAD.	0.3 mi
8. TURN RIGHT ON OLD COLCHESTER RD.	0.3 mi
9. TURN LEFT ON OLD COLCHESTER RD.	0.3 mi
10. 146 OLD COLCHESTER RD IS ON THE LEFT.	

GENERAL NOTES	
1. PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.	

SITE INFORMATION	
THE SCOPE OF WORK SHALL INCLUDE:	
1. THE CONSTRUCTION OF A 50'X50' TOWER WIRELESS COMMUNICATIONS COMPOUND WITH A 100'X100' DRIVE AREA.	
2. INSTALLATION OF 150' TOWER WITH 150' INTERNATIONAL PAVILION ANTENNAS AND PROPOSED TO BE LOCATED AT A COORDINATE ELEVATION OF 130 ± FEET ON A 150'X PROPOSED STEEL MONOPOLE TOWER.	
3. TOTAL ACCESS DRIVE LENGTH IS 762 ± FEET OF OLD COLCHESTER ROAD. THE ENTIRE PROPOSED DRIVE SHALL BE PAVED WITH EXISTING CURB/POSS PAVI WHICH WILL BE IMPROVED AS A 12' WIDE ACCESS DRIVE.	
4. UTILITIES FOR THE PROPOSED CELCO PARTNERSHIP WIRELESS COMMUNICATIONS FACILITY ARE PROPOSED TO BE LOCATED WITHIN THE EXISTING SHET FOLE AREA NEAR THE EXISTING DRIVE. ALL UTILITIES SHALL BE LOCATED WITHIN THE PROPOSED FACILITY DRIVE. ALL UTILITIES SHALL BE LOCATED WITHIN THE PROPOSED FACILITY DRIVE. ALL UTILITIES SHALL BE LOCATED WITHIN THE PROPOSED FACILITY DRIVE. ALL UTILITIES SHALL BE LOCATED WITHIN THE PROPOSED FACILITY DRIVE.	
5. A 20' X 40' GRAVEL PARKING AREA IS PROPOSED TO BE LOCATED ADJACENT TO THE ACCESS DRIVE NEAR THE ACCESS ENTRANCE OFF OF OLD COLCHESTER ROAD FOR THE TOWER'S USE.	
6. FINAL DESIGN FOR TOWER AND ANTENNA HEIGHTS SHALL BE INCLUDED IN THE DAM PLANS.	
7. THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS AMENDED BY THE 2009 CONNECTICUT SUPPLEMENT.	
8. THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.	
9. THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.	

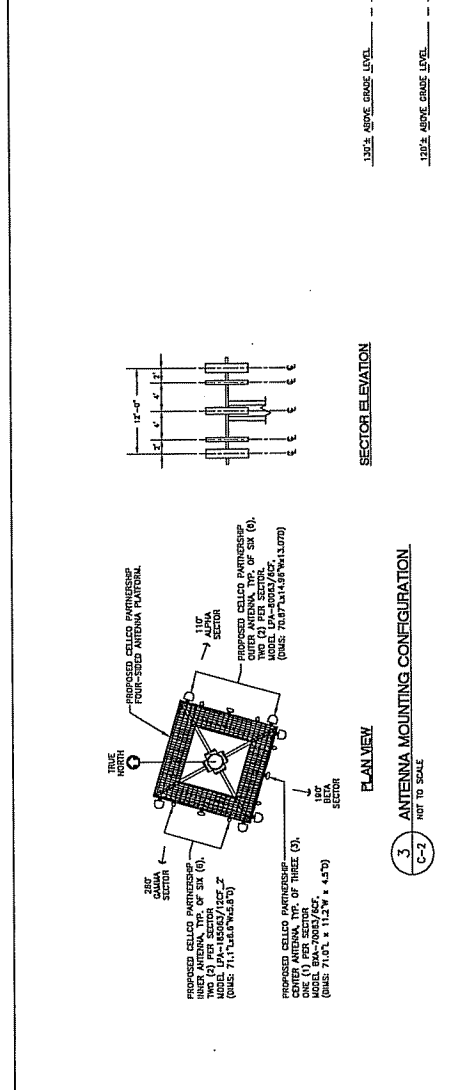


PROJECT SUMMARY	
SITE NAME:	WATERFORD NE - SITE 1
SITE ADDRESS:	146 OLD COLCHESTER ROAD QUAKER HILL, CT 06375
PROPERTY OWNER:	TOWN OF WATERFORD W.A. 15 ROPE FERRY ROAD WATERFORD, CT 06395
LESSEE/TENANT:	CELLCO PARTNERSHIP 200 EAST WASHINGTON ST. SUITE 200 BOSTON, MA 02111
CONTACT PERSON:	CELLCO PARTNERSHIP (800) 803-8219
ENGINEER:	ENTERX ENGINEERING 83-2 WALTER BRANFORD ROAD WATERFORD, CT 06395 (203) 485-5540
TOWER COORDINATES:	LATITUDE 41°-24'-51.466" LONGITUDE 72°-07'-49.821" COORDINATES AND HEIGHTS DETERMINED BY GPS SURVEY ON 04/16/10. SURVEY CONDUCTED BY ENTERX ENGINEERING, INC. DATED OCTOBER 14, 2010

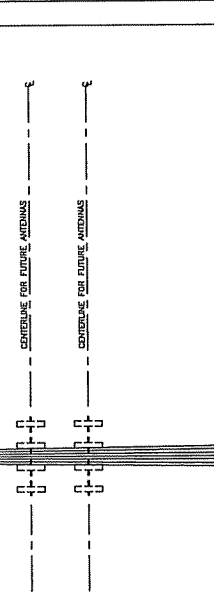
SHEET INDEX		
SHT. NO.	DESCRIPTION	REV. NO.
1-1	TITLE SHEET	3
C-1-0	COMPACTION PLAN	3
C-1-1	PARTIAL SITE SURVEY PLAN	3
C-2	COMPOUND PLAN AND ELEVATION	3
C-3	SITE DETAILS AND NOTES	3
C-4	SITE DETAILS AND SHIELDER ELEVATIONS	3
C-5	SHIELDER FOUNDATION PLAN, DETAILS AND NOTES	3

Cellco Partnership d/b/a Verizon Wireless WIRELESS COMMUNICATIONS FACILITY WATERFORD NE SITE 1 146 OLD COLCHESTER ROAD QUAKER HILL, CT 06375	DATE: 10/16/10 DRAWN BY: JAL/STB CHECKED BY: JAL/STB JOB NO.: 10132
PROJECT CHECKER: ERL DATE: 10/16/10 DRAWN BY: JAL/STB CHECKED BY: JAL/STB JOB NO.: 10132	TITLE SHEET T-1

REV.	DATE	BY	CHKD BY	DESCRIPTION
1	02/11/09	DAW	DAW	ISSUED FOR CT SHING CONSOLE - GILBERT REVIEW
2	02/13/09	DAW	DAW	ISSUED FOR CT SHING CONSOLE
3	02/18/09	DAW	DAW	REVISED FOR CT SHING CONSOLE



1 COMPOUND PLAN
 SCALE 1" = 20' - 0"
 C-2
 GRAPHIC SCALE
 1 inch = 20 ft.

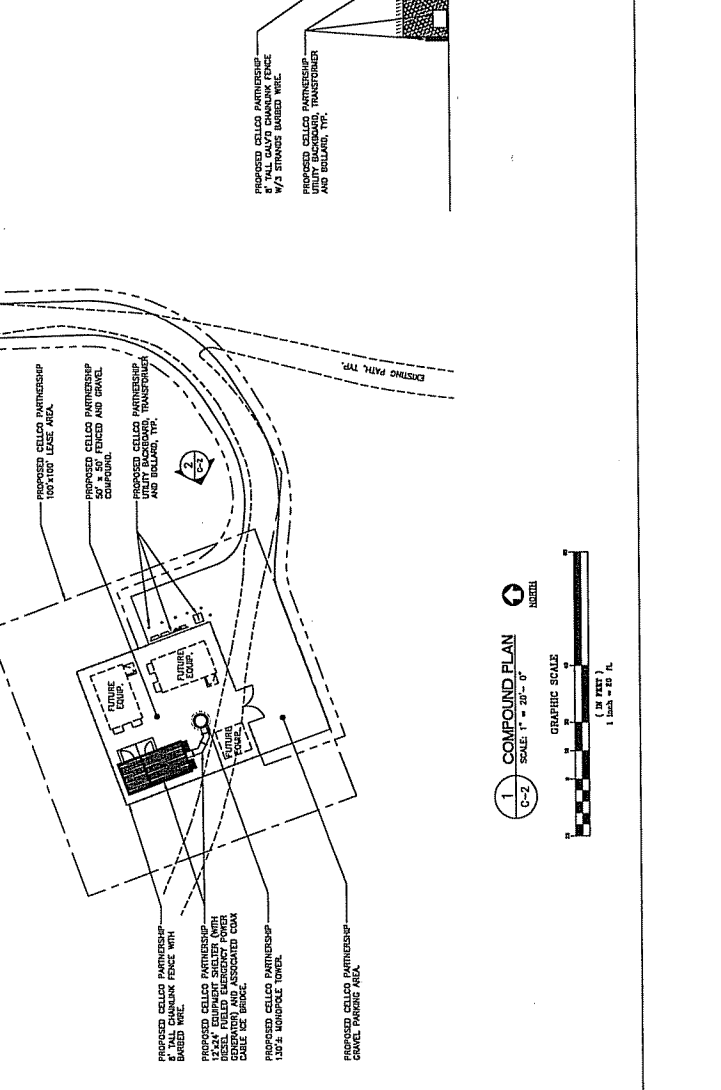


2 EASTERN ELEVATION
 SCALE 1" = 10'
 C-2
 GRAPHIC SCALE
 1 inch = 10 ft.



3 ANTENNA MOUNTING CONFIGURATION
 NOT TO SCALE
 C-2

REV.	DATE	BY	CHKD BY	DESCRIPTION
1	02/11/09	DAW	DAW	ISSUED FOR CT SHING CONSOLE - GILBERT REVIEW
2	02/13/09	DAW	DAW	ISSUED FOR CT SHING CONSOLE
3	02/18/09	DAW	DAW	REVISED FOR CT SHING CONSOLE



4 SECTOR ELEVATION
 NOT TO SCALE
 C-2

PROFESSIONAL ENGINEER SEAL
 d/b/a Verizon Wireless
 Cellco Partnership

REVISIONS

NO.	DATE	DESCRIPTION
1	03/20/11	REVISED PER CLIENT REVIEW
2	03/20/11	REVISED PER CLIENT REVIEW
3	03/20/11	REVISED PER CLIENT REVIEW

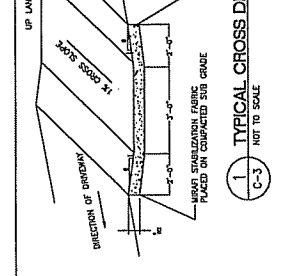
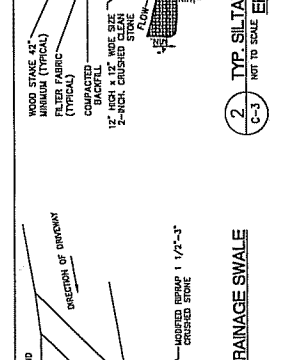
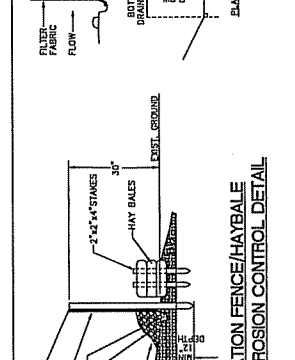
PROFESSIONAL CHECKER SEAL

DATE: 11/11/11
 TIME: 10:00 AM
 PROJECT: WATERFORD NF SITE 1
 DRAWING: C-3
 CHECKED BY: [Signature]
 DESIGNED BY: [Signature]

EROSION CONTROL

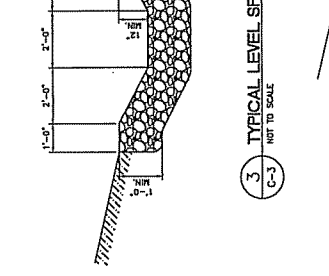
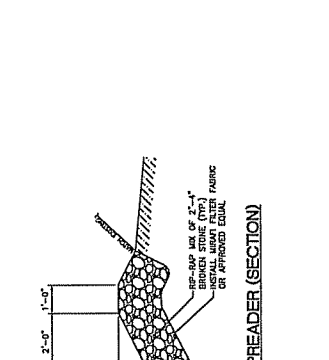
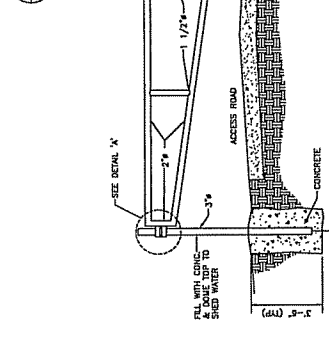
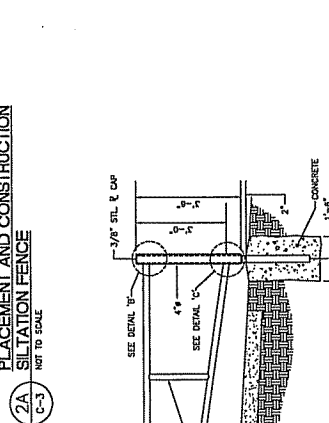
GENERAL CONSTRUCTION SEQUENCE

- 1) CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- 2) REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.
- 3) INSTALL UNDERGROUND UTILITY.
- 4) CONSTRUCT CURED LIMESTONE SWALE. PREVENT CONDUITS AND DITCH BACKFILL WITH SAND OR GRAVEL TO A MINIMUM OF 18" TO 24" DEPTH. ALL EXPOSED AREAS SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER PERIOD OF MORE THAN 30 DAYS.
- 5) DAILY OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, REPAIR EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 6) FINISH PAVING ALL ROADS, DRIVEWAYS, AND PARKING AREAS.
- 7) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 8) BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
- 9) AFTER CROSS HAS BEEN FULLY ESTABLISHED IN ALL SEEDING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.



CONSTRUCTION SPECIFICATIONS - SILT FENCE

- 1) THE CENTERLINE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- 2) THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- 3) WHEN THE FABRIC IS FASTENED TO THE GROUND, IT SHALL BE FASTENED TO THE GROUND WITH 3/8\"/>



SECTION NOTES

1. ALL METAL USED IN THE MANUFACTURING OF THE ACCESS ROAD GATE TO BE PAINTED & TOUCHED UP IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION WITH MANUFACTURER'S RECOMMENDATIONS.
2. ALL JOINTS TO BE WELDED ALL AROUND WITH 3/16\"/>

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2. ALL JOINTS TO BE WELDED ALL AROUND WITH 3/16\"/>

Cellco Partnership

d.b.a. **verizon** wireless WIRELESS COMMUNICATIONS FACILITY

WATERFORD NE

SITE 2

164 OLD COLCHESTER ROAD

QUAKER HILL, CT 06375

SITE DIRECTIONS	
FROM:	164 OLD COLCHESTER ROAD EAST WATERFORD, CONNECTICUT
TO:	QUAKER HILL, CT 06375
0.0 mi	Start out going west on E. RIVER DR.
0.2 mi	Turn onto Rte 47/US-8 E. to the ramp on the LEFT toward BOSTON.
3.0 mi	Turn RIGHT onto Rte 202 S/GOVERNOR JOHN DAVIS LODGE TOWER. No EXIT 2AS toward
1.3 mi	WATERFORD.
0.2 mi	WATERFORD. Turn RIGHT onto Rte 202 S/GOVERNOR JOHN DAVIS LODGE TOWER.
0.2 mi	WATERFORD. Turn LEFT onto Rte 202 S/GOVERNOR JOHN DAVIS LODGE TOWER.
0.2 mi	WATERFORD. Turn LEFT onto Rte 202 S/GOVERNOR JOHN DAVIS LODGE TOWER.
0.2 mi	WATERFORD. Turn LEFT onto Rte 202 S/GOVERNOR JOHN DAVIS LODGE TOWER.
1.0 mi	WATERFORD. Turn LEFT onto Rte 202 S/GOVERNOR JOHN DAVIS LODGE TOWER.

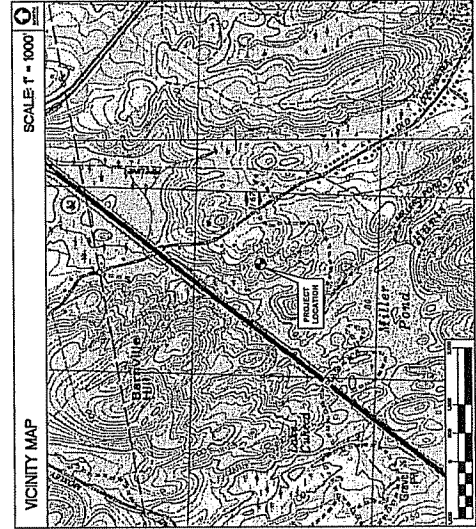
GENERAL NOTES

- PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

SITE INFORMATION

THE SCOPE OF WORK SHALL INCLUDE:

- THE CONSTRUCTION OF A 50'x50' FENCED WIRELESS COMMUNICATIONS COMPOUND WITH A 10'x10' LEASE AREA.
- A TOTAL OF UP TO FIFTEEN (15) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 150'± AGL ON A 150'± PROPOSED STEEL MONOPOLE TOWER.
- ACCESS DRIVE (SOUTH) IS 15'± WIDE. SIDE OF OLD COLCHESTER ROAD OF WHICH THIS WILL FOLLOW ALONG AN EXISTING PAVED RESIDENTIAL DRIVEWAY AND 200'± WILL FOLLOW ALONG AN EXISTING DIRT/GRASS PATH TO BE IMPROVED AS A GRAVEL ACCESS DRIVE.
- UTILITIES FOR THE PROPOSED CELCO PARTNERSHIP WIRELESS COMMUNICATIONS FACILITY ARE PROPOSED TO BE INSTALLED ALONG AN EXISTING PAVED RESIDENTIAL DRIVEWAY (SOUTH) TO THE PROPOSED COMPOUND. NO UTILITIES SHALL BE INSTALLED WITHIN THE PROPOSED COMPOUND TO DATE. SUCH SITE VISIT SHALL BE PERFORMED DURING THE DAM PHASE OF THE PROJECT.
- FINAL DESIGN FOR TOWER AND ANTENNA HEIGHTS SHALL BE INCLUDED IN THE DAM PLANS.
- 2009 INTERNATIONAL BUILDING CODE AS AMENDED WILL BE REFERRED TO ACCORDANCE WITH THE 2009 INTERNATIONAL BUILDING CODE AS AMENDED FOR THE 2009 CONNECTION SUPPLEMENT.
- THESE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
- THESE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.



PROJECT SUMMARY

SITE NAME: WATERFORD NE

SITE ADDRESS: 164 OLD COLCHESTER ROAD QUAKER HILL, CT 06375

PROPERTY OWNER: JAMES B. SANDST, JR. 114 S. WASHINGTON STREET, DIT WATERFORD, CT 06395

LESSEE/TOWNS: CELCO PARTNERSHIP 39 EAST RIVER DRIVE SUITE 200 WATERFORD, CT 06395

CONTACT PERSON: SANDY CARTER 1000 WASHINGTON ST SUITE 200 WATERFORD, CT 06395 (860) 403-4119

ENGINEER: CONTE ENGINEERING 51-23 NORTH BRANDFORD ROAD SUITE 1000 BRANDFORD, CT 06405 (860) 484-0340

TOWER COORDINATES: LATITUDE: 41°-24'-55.89" LONGITUDE: 72°-07'-55.84" GROUND ELEVATION: 106.5' A.M.S.L.

COORDINATES AND GROUND ELEVATION BASED ON FAD 2C AND ASSOCIATES DATED JANUARY 29, 2010

SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
1-1	TITLE SHEET	3
C-1-0	COMPOUND PLAN	3
C-1-1	PARTIAL SITE SURVEY PLAN	3
C-2	COMPOUND PLAN AND ELEVATION	3
C-3	SITE DETAILS AND NOTES	3
C-4	SITE DETAILS AND SHELTER ELEVATIONS	3
C-5	SHELTER FOUNDATION PLAN, DETAILS AND NOTES	3

Cellco Partnership
d.b.a. **Verizon Wireless**

www.cellco.com
www.verizonwireless.com

CELLCO PARTNERSHIP
164 OLD COLCHESTER ROAD
QUAKER HILL, CT 06375

WATERFORD NE
SITE 2

TITLE SHEET

DATE: 12/20/09
DRAWN BY: JAC
CHECKED BY: JAC

REV.	DATE	BY	DESCRIPTION
0	02/17/11	JAC	ISSUED FOR CT SHIELD COUNCIL - CLIENT REVIEW
1	02/27/11	JAC	ISSUED FOR CT SHIELD COUNCIL
2	03/15/11	JAC	ISSUED FOR CT SHIELD COUNCIL
3	03/18/11	JAC	ISSUED FOR CT SHIELD COUNCIL

EROSION CONTROL

GENERAL CONSTRUCTION SEQUENCE

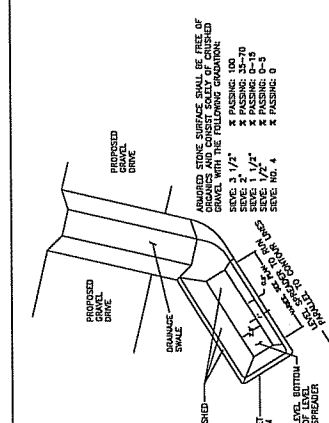
- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION, WHICH MAY NOT APPLY TO PARTICULAR SITES.
- INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE STORED TO PREVENT EROSION.
- CONSTRUCT PERMANENT EROSION CONTROL MEASURES. PREVENT CONVEYERS AND CATCH BASINS FROM BEING OVERTOPPED.
- CONSTRUCT PERMANENT AND TEMPORARY SITE GRADING, PLACING BAY BULBS AND SALTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- INSTALL UNDERGROUND DRAINAGE.
- BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND EXPOSED AREAS SHALL BE SEEDING AND MULCHING WITHIN 30 DAYS OF EXPOSURE. MULCH SHALL BE LEFT UNDISTURBED FOR A PERIOD OF MORE THAN 30 DAYS.
- DAY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, REPAIR ALL EROSION CONTROL MEASURES. ALL FENCES AND SEEDING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- FINISH PAVING ALL ROADWAYS, DRIVEWAYS, AND PARKING AREAS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- AFTER GRASS HAS BEEN FULLY ESTABLISHED IN REQUIRING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

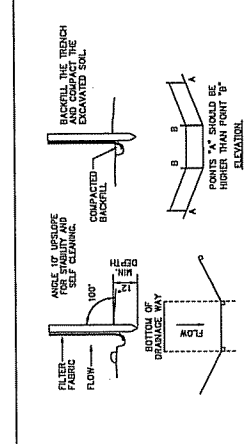
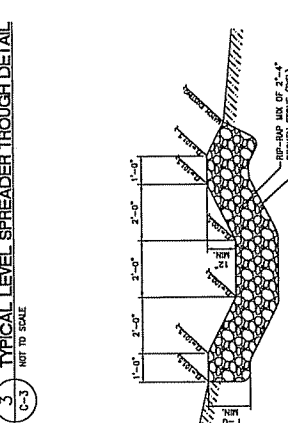
- THE GENERAL FENCING SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FENCING SHALL BE EMBEDDED A MINIMUM OF 6 INCHES INTO THE GROUND AND THE SOIL COMPACTED UP TO THE TOP OF THE FENCING.
- WITH WIRE TIES FOR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FIBER CLOTH JOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY AT LEAST 18 INCHES.
- POSTS SHALL BE 2x4 OR 4x4 WOOD OR METAL. WOOD POSTS SHALL BE OF SOUND MATERIAL AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SILT FENCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT REGULAR INTERVALS THROUGHOUT CONSTRUCTION. REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED WITHIN 72 HOURS.
- POSTS SHALL BE INSPECTED AFTER EVERY EXTRA DEPTH OF DEPOSITION SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARREL.
- ALL SEDIMENT SHOULD BE LEFT IN PLACE AFTER THE FENCING IS REMOVED AND SHOULD BE SOILED TO COMBINE WITH THE EXISTING TOPSOIL AND VEGETATED.



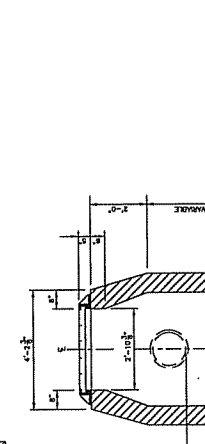
5 TYPICAL LEVEL SPREADER (SECTION)



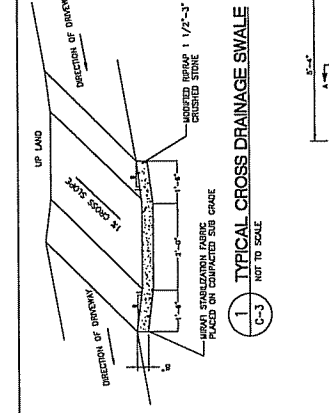
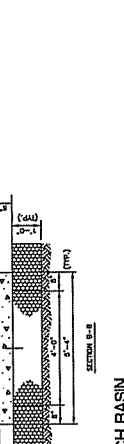
2 SALTATION FENCE



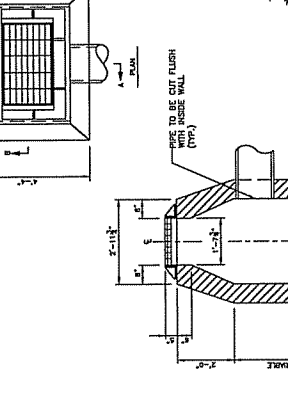
4 TYPE 'C-1' CATCH BASIN



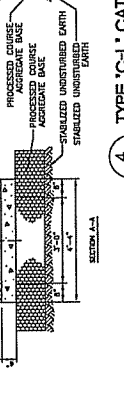
6 METAL BEAM RAIL (R-1) AND END ANCHORAGE (TYPE II)



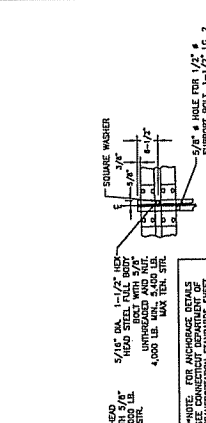
5 TYPICAL LEVEL SPREADER (SECTION)



4 TYPE 'C-1' CATCH BASIN



6A METAL BEAM RAIL MOUNTING DETAILS



6 METAL BEAM RAIL (R-1) AND END ANCHORAGE (TYPE II)

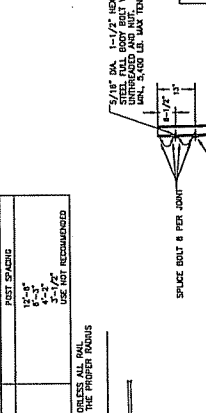
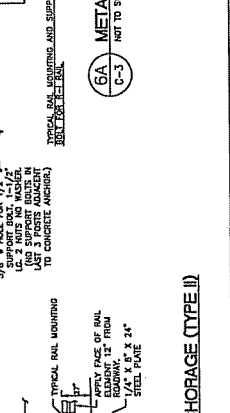


TABLE 'X'

CURVATURE (RADIUS OR DIAMETER)	POST SPACING
LESS THAN 20' (120 RAIL OR MORE)	12'-0"
20' TO 30'	10'-0"
30' TO 40'	8'-0"
40' TO 50'	6'-0"
LESS THAN 50'	USE NOT RECOMMENDED

*FOR CURVES WITH RADIUS OF 150' OR LESS ALL RAIL MOUNTERS SHALL BE FABRICATED TO THE PROPER RADIUS.



5/8" DIA. 1-1/2" HEX HEAD STEEL RAIL (NOT TO SCALE)
 1/2" WOVEN WIRE FENCE
 1/2" FILTER CLOTH
 2'-4" CRUSHED GRAVEL
 1/2" WOVEN WIRE FENCE
 1/2" FILTER CLOTH
 2'-4" CRUSHED GRAVEL

5/8" DIA. 1-1/2" HEX HEAD STEEL RAIL (NOT TO SCALE)
 1/2" WOVEN WIRE FENCE
 1/2" FILTER CLOTH
 2'-4" CRUSHED GRAVEL
 1/2" WOVEN WIRE FENCE
 1/2" FILTER CLOTH
 2'-4" CRUSHED GRAVEL

5/8" DIA. 1-1/2" HEX HEAD STEEL RAIL (NOT TO SCALE)
 1/2" WOVEN WIRE FENCE
 1/2" FILTER CLOTH
 2'-4" CRUSHED GRAVEL
 1/2" WOVEN WIRE FENCE
 1/2" FILTER CLOTH
 2'-4" CRUSHED GRAVEL

5/8" DIA. 1-1/2" HEX HEAD STEEL RAIL (NOT TO SCALE)
 1/2" WOVEN WIRE FENCE
 1/2" FILTER CLOTH
 2'-4" CRUSHED GRAVEL
 1/2" WOVEN WIRE FENCE
 1/2" FILTER CLOTH
 2'-4" CRUSHED GRAVEL

REV.	DATE	BY	CHKD BY	DESCRIPTION
0	02/27/13	DMG	DMG	DESIGN FOR CABLE CANOPY - CLIENT REVIEW
1	02/27/13	DMG	DMG	DESIGN FOR CABLE CANOPY - CLIENT REVIEW
2	03/13/13	DMG	DMG	DESIGN FOR CABLE CANOPY - CLIENT REVIEW
3	03/18/13	DMG	DMG	DESIGN FOR CABLE CANOPY - CLIENT REVIEW

PROJECT CHECKS EIA

CAPO Partnership

124 Verizon Wireless

Cellco Partnership d/b/a Verizon Wireless

WIRELESS COMMUNICATIONS FACILITY

WATERFORD NE

SITE 2

184 OLD COLCHESTER ROAD

QUAKER HILL, CT 06375

12/10/20

12/10/20

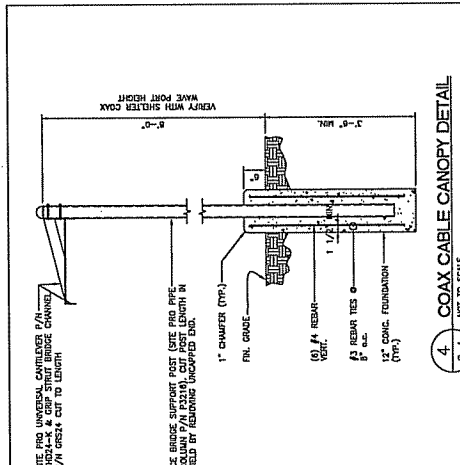
12/10/20

12/10/20

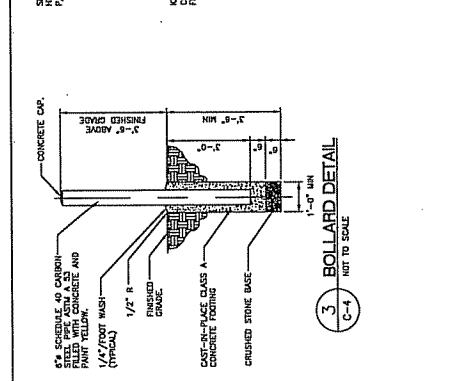
SITE DETAILS AND SHELTER ELEVATIONS

C-4

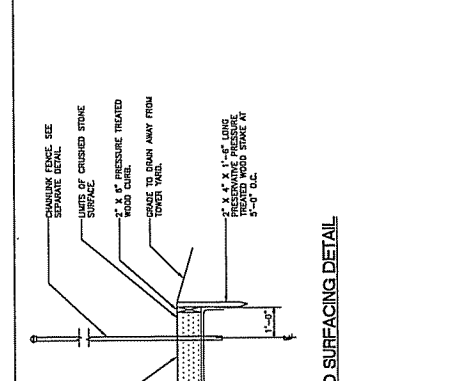
Sheet No. 6 of 2



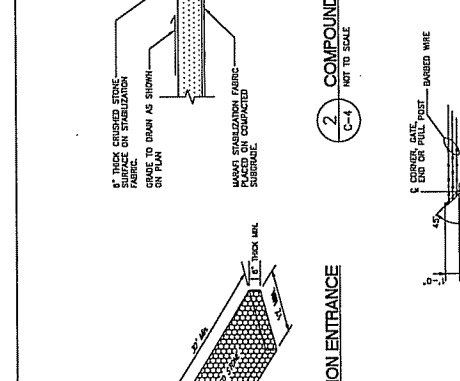
1 CONSTRUCTION ENTRANCE
C-4 NOT TO SCALE



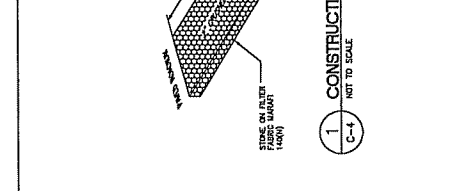
2 COMPOUND SURFACING DETAIL
C-4 NOT TO SCALE



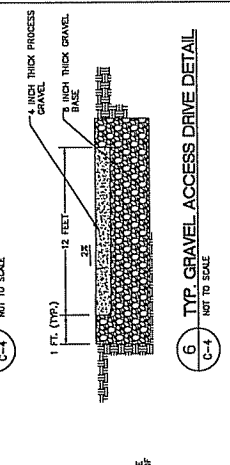
3 BOLLARD DETAIL
C-4 NOT TO SCALE



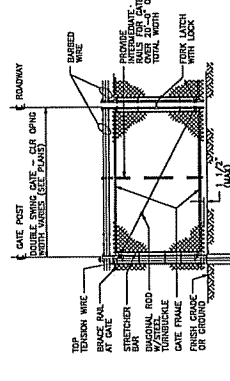
4 COAX CABLE CANOPY DETAIL
C-4 NOT TO SCALE



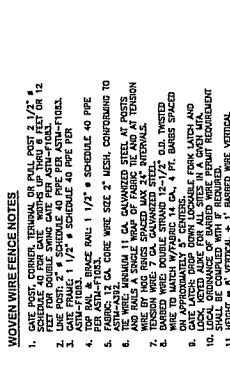
5 WOVEN WIRE FENCE DETAIL
C-4 NOT TO SCALE



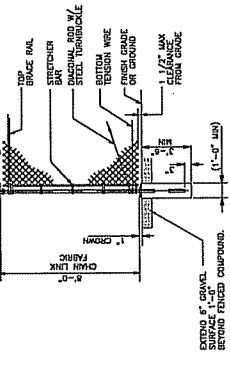
6 TYP. GRAVEL ACCESS DRIVE DETAIL
C-4 NOT TO SCALE



6A GRAVEL PARKING SURFACE
C-4 NOT TO SCALE



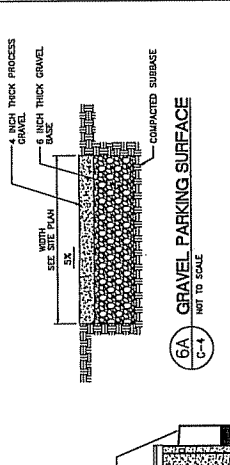
7 UTILITY SUPPORT FRAME (TYP)
C-4 NOT TO SCALE



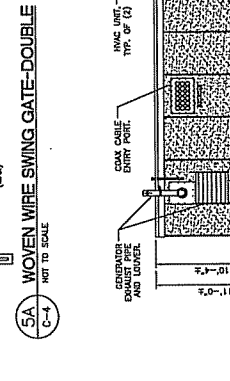
8 WOVEN WIRE FENCE DETAIL
C-4 NOT TO SCALE



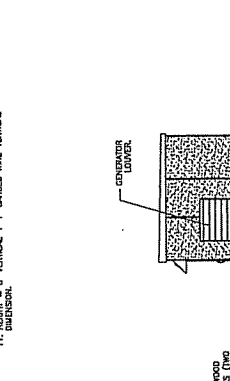
9 EAST SHELTER ELEVATION
C-4 SCALE 3/16\"/>



10 NORTH SHELTER ELEVATION
C-4 SCALE 3/16\"/>



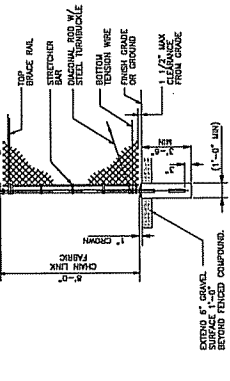
11 WEST SHELTER ELEVATION
C-4 SCALE 3/16\"/>



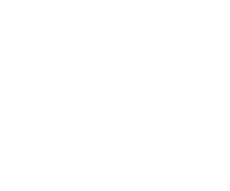
11A SHELTER ELEVATION KEY PLAN
C-4 NOT TO SCALE

WOVEN WIRE FENCE NOTES

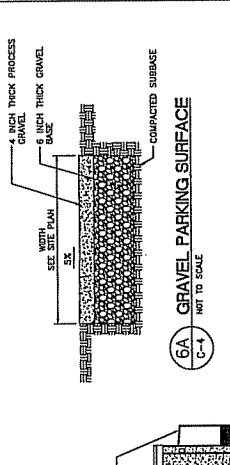
- GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2\"/>



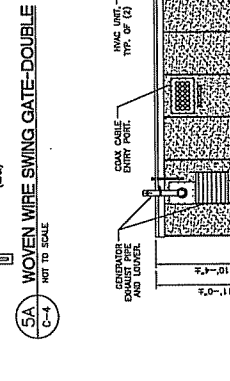
12 WOVEN WIRE FENCE DETAIL
C-4 NOT TO SCALE



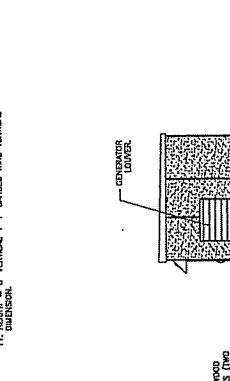
13 TYPICAL SECTION
C-4 NOT TO SCALE



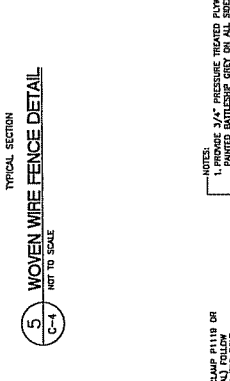
14 WOVEN WIRE SWING GATE-DOUBLE
C-4 NOT TO SCALE



15 EAST SHELTER ELEVATION
C-4 SCALE 3/16\"/>



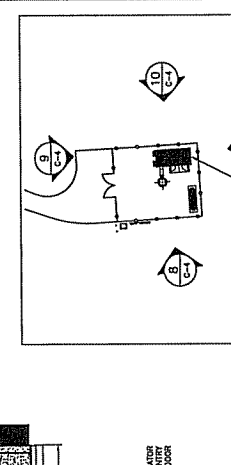
16 SOUTH SHELTER ELEVATION
C-4 SCALE 3/16\"/>



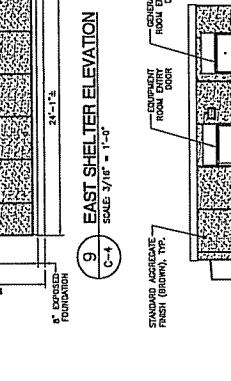
17 NORTH SHELTER ELEVATION
C-4 SCALE 3/16\"/>



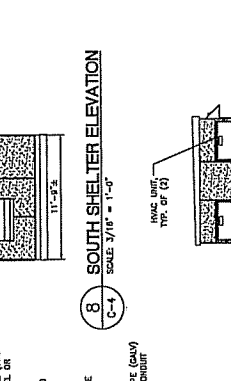
18 WEST SHELTER ELEVATION
C-4 SCALE 3/16\"/>



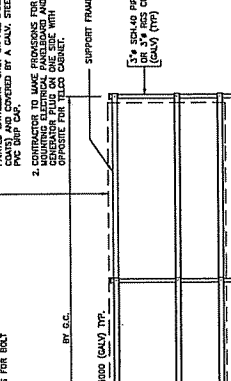
19 WOVEN WIRE SWING GATE-DOUBLE
C-4 NOT TO SCALE



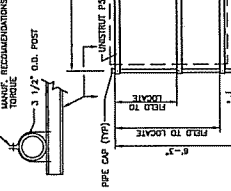
20 EAST SHELTER ELEVATION
C-4 SCALE 3/16\"/>



21 SOUTH SHELTER ELEVATION
C-4 SCALE 3/16\"/>



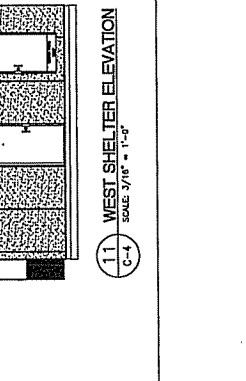
22 NORTH SHELTER ELEVATION
C-4 SCALE 3/16\"/>



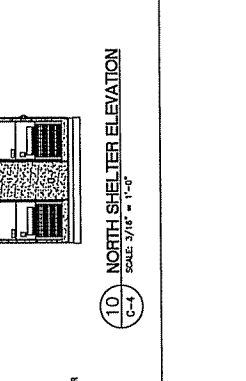
23 WEST SHELTER ELEVATION
C-4 SCALE 3/16\"/>



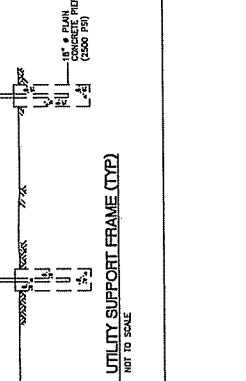
24 SHELTER ELEVATION KEY PLAN
C-4 NOT TO SCALE



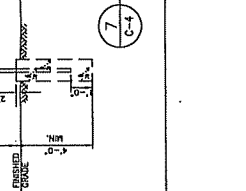
25 TYP. GRAVEL ACCESS DRIVE DETAIL
C-4 NOT TO SCALE



26 GRAVEL PARKING SURFACE
C-4 NOT TO SCALE



27 WOVEN WIRE FENCE DETAIL
C-4 NOT TO SCALE



28 TYPICAL SECTION
C-4 NOT TO SCALE



29 WOVEN WIRE SWING GATE-DOUBLE
C-4 NOT TO SCALE



30 EAST SHELTER ELEVATION
C-4 SCALE 3/16\"/>



31 SOUTH SHELTER ELEVATION
C-4 SCALE 3/16\"/>



32 NORTH SHELTER ELEVATION
C-4 SCALE 3/16\"/>



33 WEST SHELTER ELEVATION
C-4 SCALE 3/16\"/>

SEE PRO UNIVERSAL CANTILEVER P/N 10000 FOR MORE CHANGES
P/N 10000 & CUT TO LENGTH

ICE BRIDGE SUPPORT POST (SEE PRO PIPE COLUMN P/N 10000), CUT POST LENGTH IN FIELD BY REMOVING UNCOMPACTED SOIL.

1\"/>

6\"/>

1\"/>

1\"/>

1\"/>

1\"/>

ADJACENT PROPERTY OWNERS

SITE NAME: WATERFORD NE – SITE 1

OWNER NAME: TOWN OF WATERFORD

OWNER ADDRESS: 146 OLD COLCHESTER ROAD, WATERFORD, CONNECTICUT
06385

ASSESSOR'S REFERENCE: MAP: 20 LOCATION: 146 OLD COLCHESTER ROAD

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TAX ASSESSOR'S RECORDS AND LAND RECORDS OF WATERFORD TOWN HALL, WATERFORD, CONNECTICUT. THE INFORMATION IS CURRENT AS OF MAY 13, 2011.

THE PARCEL IS ZONED RU-120 (RURAL RESIDENTIAL).

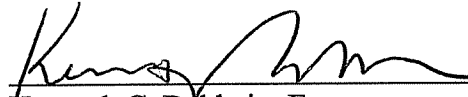
	<u>Property Owner and Mailing Address</u>	<u>Property Address</u>
1.	Waterford Country School, Inc. 78 Huntsbrook Road Quaker Hill, CT 06375	160R Old Colchester Road
2.	Jimmie R. Padgett, Jr. 686 Vauxhall Street Ext. Waterford, CT 06385	164 Old Colchester Road
3.	Brian Wohlforth P.O. Box 156 Quaker Hill, CT 06375	152 Old Colchester Road
4.	Alfred and Nina Y. Bitters Est. 136 Old Colchester Road Quaker Hill, CT 06375	136 Old Colchester Road
5.	Wilma H. and Raymond W. Hasse, Jr. 145 Old Colchester Road Quaker Hill, CT 06375	145 Old Colchester Road
6.	Helena M. and Raymond L. Valentini 139 Old Colchester Road Quaker Hill, CT 06375	139 Old Colchester Road

	<u>Property Owner and Mailing Address</u>	<u>Property Address</u>
7.	C. Muscarella and D. Chapman Carolyn I. and Charles Muscarella, Jr. 130 Old Colchester Road Quaker Hill, CT 06375	130 Old Colchester Road
8.	Millers Pond LLC 108 Huntsbrook Road Quaker Hill, CT 06375	122R Old Colchester Road
9.	Millers Pond Company LLC 108 Huntsbrook Road Quaker Hill, CT 06375	130R Old Colchester Road
10.	Gerald and Christine Assard 484 Woodcreek Road Bethlehem, CT 06751	137 Old Colchester Road
11.	Millers Pond Company LLC 108 Huntsbrook Road Quaker Hill, CT 06375	150R Old Colchester Road

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached lists of abutting landowners.

May 6, 2011
Date



Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103

Attorneys for CELLCO PARTNERSHIP d/b/a
VERIZON WIRELESS

ADJACENT PROPERTY OWNERS

SITE NAME: WATERFORD NE – SITE 2

OWNER NAME: JIMMIE R. PADGETT, JR.

OWNER ADDRESS: 164 OLD COLCHESTER ROAD, WATERFORD, CONNECTICUT
06385

ASSESSOR'S REFERENCE: MAP: 20 LOCATION: 164 OLD COLCHESTER ROAD

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TAX ASSESSOR'S RECORDS AND LAND RECORDS OF WATERFORD TOWN HALL, WATERFORD, CONNECTICUT. THE INFORMATION IS CURRENT AS OF MAY 13, 2011.

THE PARCEL IS ZONED RU-120 (RURAL RESIDENTIAL).

	<u>Property Owner and Mailing Address</u>	<u>Property Address</u>
1.	Connecticut Humane Society 701 Russell Road Newington, CT 06111	169 Old Colchester Road
2.	Kathy L. Calevro 168 Old Colchester Road Quaker Hill, CT 06375	168 Old Colchester Road
3.	Daniel E. and Therese O'Connor 158 Old Colchester Road Quaker Hill, CT 06375	158 Old Colchester Road
4.	Brian Wohlforth P.O. Box 156 Quaker Hill, CT 06375	156 Old Colchester Road
5.	Brian Wohlforth P.O. Box 156 Quaker Hill, CT 06375	152 Old Colchester Road
6.	Town of Waterford 15 Rope Ferry Road Waterford, CT 06385	146 Old Colchester Road
7.	Waterford Country School, Inc. 78 Huntsbrook Road Quaker Hill, CT 06375	160R Old Colchester Road

	<u>Property Owner and Mailing Address</u>	<u>Property Address</u>
8.	State of Connecticut Department of Transportation 2800 Berlin Turnpike Newington, CT 06111	Interstate 395

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached lists of abutting landowners.

May 16, 2011

Date



Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103

Attorneys for CELLCO PARTNERSHIP d/b/a
VERIZON WIRELESS

ULS License

Cellular License - KNKA745 - Cellco Partnership

PA This license has pending applications: 0003322914

Call Sign	KNKA745	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

Market

Market	CMA154 - New London-Norwich, CT	Channel Block	A
Submarket	0	Phase	2

Dates

Grant	02/05/2008	Expiration	01/22/2018
Effective	02/05/2008	Cancellation	

Five Year Buildout Date

06/21/1993

Control Points

1 20 West Dove Rd., TARRANT, Southlake, TX
P: (800)264-6620

Licensee

FRN	0003290673	Type	General Partnership
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Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Contact

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy #150 GASA5REG Alpharetta, GA 30004 ATTN Network Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
--	--

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?	No
Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or	Yes

voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country?

If the answer to the above question is 'Yes', has the applicant received a **Yes** ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Demographics

Race

Ethnicity

Gender

ULS License

Cellular License - KNKA745 - Cellco Partnership - Frequencies

Call Sign KNKA745

Radio Service CL - Cellular

[Return to Main](#)

A Block

824.04 - 834.99 paired with 869.04 - 879.99

845.01 - 846.48 paired with 890.01 - 891.48

ULS License

PCS Broadband License - KNLH263 - Cellco Partnership

Call Sign	KNLH263	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular
Market			
Market	BTA319 - New London-Norwich, CT	Channel Block	F
Submarket	0	Associated Frequencies (MHz)	001890.00000000-001895.00000000-001970.00000000-001975.00000000

Dates

Grant	07/23/2007	Expiration	06/27/2017
Effective	07/23/2007	Cancellation	

Buildout Deadlines

1st	06/27/2002	2nd	
-----	------------	-----	--

Notification Dates

1st	05/29/2002	2nd	
-----	------------	-----	--

Licensee

FRN	0003290673	Type	Joint Venture
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Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Contact

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No

Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country? **No**

Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country? **Yes**

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Tribal Land Bidding Credits

This license did not have tribal land bidding credits.

Demographics

Race

Ethnicity

Gender

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
 CELLCO PARTNERSHIP
 1120 SANCTUARY PKWY #150 - GASA5REG
 ALPHARETTA, GA 30004

Call Sign WQJQ689	File Number 0003382444
Radio Service WU - 700 MHz Upper Band (Block C)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number REA001	Channel Block		Sub-Market Designator 0
Market Name Northeast			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls> and select "License Search". Follow the instructions on how to search for license information.

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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
 CELLCO PARTNERSHIP
 1120 SANCTUARY PKWY #150 - GAS5REG
 ALPHARETTA, GA 30004

Call Sign WQJQ696	File Number 0003382435
Radio Service WY - 700 MHz Lower Band (Blocks A, B, E)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number BEA010	Channel Block		Sub-Market Designator 0
Market Name New York-New Jer.-Long Isl			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

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