

CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS

# Connecticut Siting Council

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APPLICATION OF CELLCO PARTNERSHIP  
D/B/A VERIZON WIRELESS

RITCH AVENUE FACILITY

DOCKET NO. \_\_\_\_\_

DECEMBER 15, 2010



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1. Ritch Avenue Facility – Factual Summary and Project Plans
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3. Legal Notice in the *Advocate*
4. Notice to Landowners; List of Abutting Landowners; Certificate of Service
5. Federal Communications Commission Authorization
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8. Site Search Summary
9. Visual Impact Evaluation Report
10. Calculated Radio Frequency Emissions Report
11. Environmental Reviews/State Agency Comments
12. Wetland Inspection Report
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14. Coastal Consistency Analysis
15. Federal Airways & Airspace Summary Report
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## EXECUTIVE SUMMARY

Cellco Partnership d/b/a Verizon Wireless (“Cellco” or “Applicant”), proposes to construct a telecommunications tower and related facility (the “Ritch Avenue Facility”) in the southwest portion of the Town of Greenwich. The Ritch Avenue Facility will provide coverage and capacity relief to Cellco customers primarily along portions of Interstate-95 and Route 1, as well as local roads in southwest Greenwich.

The proposed facility would be located on a 0.267 acre parcel at 36 Ritch Avenue in Greenwich. At this site, Cellco proposes the construction of a 77-foot telecommunications tower disguised as a pine tree. Simulated branches will extend above the top of the tower to an overall height of 84 feet. The tree tower will be designed to support antennas of Cellco at the 57-foot level, AT&T at the 67-foot level and T-Mobile at the 77-foot level. The Greenwich Police Department will install a microwave dish antenna and two whip antennas above the T-Mobile antennas at the top of the tower.

Cellco will install a total of fifteen (15) panel-type antennas on the tower. Radio equipment associated with Cellco’s antennas and a diesel-fueled back-up generator will be located in a portion of a new 965 square-foot multi-carrier equipment shelter located near the base of the tower. The tower and equipment shelter will be located within a 2,930 square-foot fenced compound. Vehicle access to the facility would extend from Ritch Avenue a distance of approximately 270 feet. Utilities will extend underground from existing service along Ritch Avenue.



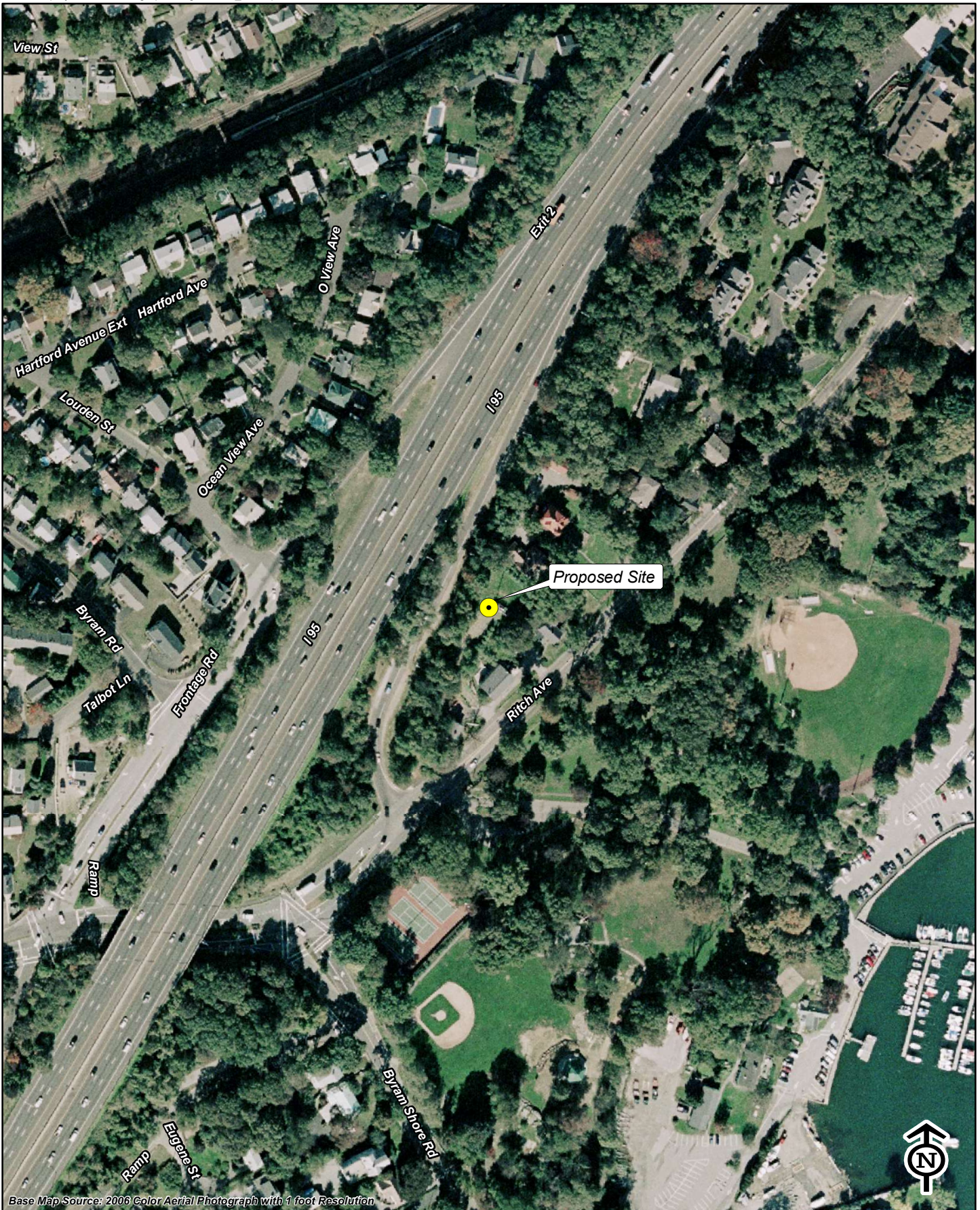
Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Bayville (1985), Glenville (1971), Mamaroneck (1975) and Stamford (1984)



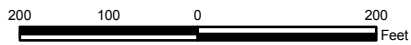
Quadrangle Location

**Vanasse Hangen Brustlin, Inc.**

**USGS Topographic Map  
Proposed Wireless  
Telecommunications Facility  
36 Ritch Avenue  
Greenwich, Connecticut**



Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Vanasse Hangen Brustlin, Inc.

**Aerial Photograph  
 Proposed Verizon Wireless  
 Telecommunications Facility  
 36 Ritch Avenue  
 Greenwich, Connecticut**



Quadrangle Location



**STATE OF CONNECTICUT  
CONNECTICUT SITING COUNCIL**

<b>IN RE:</b>	:	
	:	
<b>APPLICATION OF CELLCO</b>	:	<b>DOCKET NO. ____</b>
<b>PARTNERSHIP D/B/A VERIZON</b>	:	
<b>WIRELESS FOR A CERTIFICATE OF</b>	:	
<b>ENVIRONMENTAL COMPATIBILITY AND</b>	:	
<b>PUBLIC NEED FOR THE CONSTRUCTION,</b>	:	
<b>MAINTENANCE AND OPERATION OF A</b>	:	
<b>WIRELESS TELECOMMUNICATIONS</b>	:	
<b>FACILITY AT 36 RITCH AVENUE,</b>	:	
<b>GREENWICH, CONNECTICUT</b>	:	<b>DECEMBER 15, 2010</b>

**APPLICATION FOR CERTIFICATE OF  
ENVIRONMENTAL COMPATIBILITY AND PUBLIC NEED**

**I. INTRODUCTION**

**A. Authority and Purpose**

This Application and the accompanying attachments (collectively, the “Application”) is submitted by Cellco Partnership d/b/a Verizon Wireless (“Cellco” or “Applicant”), pursuant to Chapter 277a, Sections 16-50g et seq. of the Connecticut General Statutes (“C.G.S.”), as amended, and Sections 16-50j-1 et seq. of the Regulations of Connecticut State Agencies (“R.C.S.A.”), as amended. The Application requests that the Connecticut Siting Council (“Council”) issue a Certificate of Environmental Compatibility and Public Need (“Certificate”) for the construction, maintenance, and operation of a replacement wireless telecommunications facility at 36 Ritch Avenue in southwest Greenwich, Connecticut (the “Ritch Avenue Facility”). The Ritch Avenue Facility would provide reliable wireless services to Cellco customers traveling along portions of Interstate 95 (“I-95”), Route 1 and local roads, as well as residential,



commercial, industrial and recreational areas in southwest Greenwich. Coverage gaps exist at both cellular and PCS frequencies between Cellco's existing Greenwich South and Greenwich SW facilities and the New York State line.

Cellco currently maintains five (5) wireless facilities within four (4) miles of the proposed Ritch Avenue Facility. These included Cellco's Greenwich South (a/k/a Greenwich 5), Greenwich Southwest, Greenwich, Greenwich 3 and Riverside facilities. Cellco's Greenwich South facility consists of antennas on the roof of the building at One Greenwich Plaza in Greenwich, approximately 1.5 miles northeast of the Ritch Avenue Facility. Cellco's Greenwich Southwest facility consists of antennas on the roof of the building 411 West Putnam Avenue in Greenwich, approximately 1.1 miles northeast of the Ritch Avenue Facility. Cellco's Greenwich facility consists of antennas at the 124-foot level on the existing 164-foot tower at 5 Perryridge Road, 2.1 miles to the northeast of the Ritch Avenue Facility. Cellco's Greenwich 3 facility consists of antennas at the 139-foot level on the existing 150-foot tower at 9 Sound Shore Road, 3.1 miles east of the Ritch Avenue Facility. Cellco's Riverside facility consists of antennas on the roof of the building at 1111 East Putnam Avenue, approximately 4.0 miles east of the Ritch Avenue Facility.

The proposed Ritch Avenue Facility would be located on an approximately 0.267 acre parcel at 36 Ritch Avenue in Greenwich. At this site, Cellco would construct a 77-foot self-supporting monopole tower disguised as a pine tree. Cellco would install a total of fifteen (15) panel-type antennas (six (6) cellular (850 MHz) antennas; six (6) PCS (1900 MHz) antennas and three (3) LTE (700 MHz) antennas) at a centerline height of 57 feet above ground level ("AGL"). Equipment associated with Cellco's antennas and an emergency back-up generator would be

located in a secure room within a 965 square-foot multi-carrier shelter installed near the base of the tower within Cellco's 2,930 square-foot leased and fenced compound. Vehicular access to the facility would extend from Ritch Avenue over a improved and paved driveway, a distance of approximately 270 feet. Utilities will extend underground from existing service along Ritch Avenue.

The Ritch Avenue Facility will provide reliable wireless service to a 2.16 mile portion of I-95, a 0.53 mile portion of Route 1, and an overall area of 5.6 square miles at 850 MHz frequencies; a 2.03 mile portion of I-95, a 1.48 mile portion of Route 1, and an overall area of 4.06 square miles at 1900 MHz frequencies; and a 2.16 mile portion of I-95, a 1.06 mile portion of Route 1, and an overall area of 5.56 miles at 700 MHz frequencies.

The proposed facility is located in the Town's R-7 (Residence) zone district. The tower and facility compound would be designed to accommodate two additional wireless carriers (AT&T and T-Mobile) as well as Greenwich Police Department antennas and equipment. At the request of the Town, Cellco is proposing to install a single multi-carrier shelter to house all radio and related equipment, including (a) receiving, transmitting, switching, processing and performance monitoring equipment; and (b) automatic heating and cooling equipment. Cellco will also install a back-up generator in a segregated generator room within its equipment space, for use during power outages and periodically for maintenance purposes. The shelter has been designed to blend in with the residential character of the adjacent parcels to the north and east.

The tower and equipment shelter would be enclosed by an 8-foot high security fence and gate. Cellco's equipment room would be equipped with a silent intrusion and systems alarm and will be monitored on a 24-hour basis to receive and to respond to incoming alarms or other

technical problems. The equipment building would remain unstaffed, except as required for maintenance. Once the cell site is operational, maintenance personnel will visit the cell site on a monthly basis. More frequent visits may be required if there are problems with the cell site equipment.

Included in this Application, as Attachment 1, is a factual summary and project plans for the proposed facility. This summary, along with the other attachments submitted as part of this Application, contain all of the site-specific information required by statute and the regulations of the Council.

**B. The Applicant**

Cellco is a Delaware Partnership with an administrative office located at 99 East River Drive, East Hartford, CT, 06108. Cellco is licensed by the Federal Communications Commission ("FCC") to operate a wireless telecommunications system in the State of Connecticut within the meaning of C.G.S. Section 16-50i(a)(6). Cellco has extensive national experience in the development, construction and operation of wireless telecommunications systems and the provision of wireless telecommunications service to the public. Operation of the wireless telecommunications systems and related activities are Cellco's sole business in the State of Connecticut.

Correspondence and/or communications regarding this Application may be addressed to:

Sandy Carter, Regulatory Manager  
Verizon Wireless  
99 East River Drive  
East Hartford, Connecticut 06108

A copy of all such correspondence or communications should also be sent to:

Robinson & Cole LLP  
280 Trumbull Street  
Hartford, Connecticut 06103-3597  
(860) 275-8200  
Attention: Kenneth C. Baldwin, Esq.

**C. Application Fee**

The estimated total construction cost for the facility would be less than \$5,000,000.

Therefore, pursuant to Section 16-50v-1a(b) of the Regulations of Connecticut State Agencies, an application fee of \$1,250 accompanies this Application in the form of a check payable to the Council.

**II. SERVICE AND NOTICE REQUIRED BY C.G.S. SECTION 16-50I(b)**

Copies of this Application have been sent by certified mail, return receipt requested, to municipal, regional, state and federal officials, pursuant to C.G.S. Section 16-50I(b). A certificate of service, along with a list of the parties served with a copy of the Application, is included as Attachment 2.

Notice of Celco's intent to submit this Application was published on December 9 and December 10, 2010, by Celco in the *Advocate* pursuant to C.G.S. Section 16-50I(b). A copy of the published legal notice is included as Attachment 3. An Affidavit of Publication will be submitted as soon as it is available.

Attachment 4 contains a certification that notices were sent to each person appearing of record as an owner of property that may be considered to abut the land on which the facility would be located in accordance with C.G.S. Section 16-50I(b), as well as a list of the property owners to whom such notice was sent and a sample notice letter.

### **III. REQUIRED INFORMATION: PROPOSED WIRELESS FACILITY**

The purpose of this section is to provide an overview and general description of the facility proposed to be installed in Greenwich.

#### **A. General Information**

Prior to the 1980's, mobile telephone service was characterized by insufficient frequency availability, inefficient use of available frequencies and poor quality of service. These limitations generally resulted in problems of congestion, blocking of transmissions, interference, lack of coverage and relatively high cost. Consequently, the FCC, in its Report and Order released May 4, 1981 in FCC Docket No. 79-318, recognized the public need for technical improvement, wide-area coverage, high quality service and a degree of competition in mobile telephone service.

More recently, the federal Telecommunications Act of 1996 (the "Act") emphasized and expanded on these aspects of the FCC's 1981 decision. Among other things, the Act recognized an important nationwide public need for high-quality wireless telecommunication services of all varieties. The Act also expressly promotes competition and seeks to reduce regulation in all aspects of the telecommunications industry in order to foster lower prices for consumers and to encourage the rapid deployment of new telecommunications technologies.

The proposed Ritch Avenue Facility would be part of Cellco's expanding wireless telecommunications network envisioned by the Act and has been developed to help meet these nationwide goals. In particular, Cellco's system has been designed, and the cell sites proposed in this Application have been selected, so as to maximize the geographical coverage and quality of service while minimizing the total number of cell sites required.

Because the FCC and the United States Congress have determined that there is a pressing public need for high-quality wireless telecommunications service nationwide, the federal government has preempted the determination of public need by states and municipalities, including the Council, with respect to public need for the service to be provided by the proposed facility. In addition, the FCC has promulgated regulations containing technical standards for wireless systems, including design standards, in order to ensure the technical integrity of each system and nationwide compatibility among all systems. State and local regulation of these matters is likewise preempted. The FCC has also exercised its jurisdiction over and preempted state and local regulation with respect to radio frequency interference issues by establishing regulations in this area as well.

Pursuant to FCC authorizations, Cellco has constructed and currently operates a wireless system throughout Connecticut. This system, together with Cellco's system throughout its east coast and nationwide markets, has been designed and constructed to operate as one integrated, contiguous system, consistent with Cellco's business policy of developing compatibility and continuity of service on a regional and national basis.

Recognizing the public safety benefits that enhanced wireless telecommunications networks can provide, the United States, Congress also enacted the Wireless Communications and Public Safety Act of 1999 to promote and enhance public safety by making 911 the universal emergency assistance number, furthering the deployment of wireless 911 capabilities and further encouraging the construction and operation of seamless, ubiquitous and reliable wireless networks. In 2004, Congress enacted the Enhanced 911 Act for the specific purpose of enhancing and promoting Homeland Security, public safety and citizen activated emergency response capabilities. These

goals and other related responsibilities imposed on wireless service providers can only be satisfied if Cellco maintains a ubiquitous and reliable wireless network.

Included as Attachment 5 is a copy of the FCC's authorization issued to Cellco for its wireless service in Fairfield County, Connecticut. The FCC's rules permit a licensee to modify its system, including the addition of new cell sites, without prior approval by the FCC, as long as the licensee's authorized service area is not enlarged. The Ritch Avenue Facility would not enlarge Cellco's authorized service area.

**B. Public Need and System Design**

**1. Public Need**

As noted above, the Act has pre-empted any state or local determination of public need for wireless services. In Fairfield County, Cellco holds an FCC License to provide cellular, PCS and LTE services. Pursuant to its FCC Licenses, Cellco has developed and continues to develop a network of cell sites to serve the demand for wireless service in the area. Cellco's network currently provides coverage in portions of Greenwich and the surrounding areas from its existing cell sites in Town. Plots showing coverage from Cellco's existing surrounding facilities alone and together with the coverage from the proposed Ritch Avenue Facility are included as Attachment 6.

**2. System Design and Equipment**

**a. System Design**

Cellco's wireless system in general and the proposed Ritch Avenue Facility, in particular, have been designed and developed to allow Cellco to achieve and to maintain high quality, reliable wireless service without interruption from dropped calls and interference.

The system design provides for frequency reuse and hand-off, is capable of orderly expansion and is compatible with other wireless systems. The resulting quality of service compares favorably with the quality of service provided by conventional wireline telephone service. The wireless system is designed to assure a true cellular configuration of base transmitters and receivers in order to cover the proposed service area effectively while providing the highest quality of service possible. Cell site transmissions are carefully tailored to the FCC's technical standards with respect to coverage and interference and to minimize the amount of power that is radiated.

Mobile telephone switching offices ("MTSOs") in Windsor and Wallingford are interconnected and operate Cellco's wireless systems in Connecticut as a single network, offering the subscriber uninterrupted use of the system while traveling throughout the State. This network is further interconnected with the local exchange company ("LEC") and inter-lata (long distance) carriers network.

Cellco has designed its wireless system in conformity with applicable standards and constraints for wireless systems. Cellco's system is also designed to minimize the need for additional cell sites in the absence of additional demand or unforeseen circumstances.

**b. Cellular System Equipment**

The key elements of the cellular system are the two MTSOs located in Windsor and Wallingford and the various connector cell sites around the state. Cellco's CDMA wireless networks are deployed on two platforms: the earlier AUTOPLEX system, using Series II base stations, and the newer FLEXENT CDMA system, using smaller, more compact modular base stations. Because the Series II base stations are no longer manufactured, the newer CDMA systems, using smaller, more compact modular base stations are used for all current installations.



The major electronic components of each cell site are radio frequency transmission and receiving equipment and cell site controller equipment. Cellco's cellular system uses Lucent Flexent® Modular Cell 4.0B cell site equipment to provide complete cell site control and performance monitoring. This equipment is capable of expanding in modules to meet system growth needs. The cell site equipment primarily provides for: message control on the calling channel; call setup and supervision; radio frequency equipment control; internal diagnostics; response to remote and local test commands; data from the mobile or portable unit in both directions and on all channels; scan receiver control; transmission of power control commands; rescanning of all timing; and commands and voice channel assignment. Additional information with respect to the Lucent Flexent® Modular Cell 4.0B equipment is contained in Attachment 7.

### **3. Technological Alternatives**

Cellco submits that there are no equally effective technological alternatives to the proposal contained herein. In fact, Cellco's wireless system represents state-of-the-art technology offering high-quality service. Cellco is aware of no viable and currently available alternatives to its system design for carriers licensed by the FCC.

#### **C. Site Selection and Tower Sharing**

##### **1. Cell Site Selection**

The goal in selecting cell sites such as the one proposed in southwest Greenwich is to locate a facility in such a manner as to allow it to build and to operate a high-quality wireless system with the least environmental impact. The Applicant has determined that the proposed facility will satisfy this goal and is necessary to resolve existing coverage problems and to provide high-quality reliable service primarily along portions of I-95 and Route 1, as well as local roads, residential, commercial and recreational land uses in southwest Greenwich.

The methodology of cell site selection for a wireless system generally limits the search for possible locations to specific locations on the overall grid for the area. A list of existing towers or other non-tower structures considered is included in Attachment 8. Cellco currently shares the existing towers and utilizes existing structures in the area including those sites identified on the coverage maps. (See Attachment 6). Cellco cannot satisfy its coverage objectives for its southwest Greenwich search area from these existing cell sites. Cellco also regularly investigates the use of existing, non-tower structures in an area, when available, as an alternative to building a new tower. No existing non-tower structures of suitable height exist in southwest Greenwich. Cellco initiated a site search process for the Ritch Avenue cell site in July, 2004 and focusing on the property at 36 Ritch Avenue as a viable candidate in 2008. Cellco determined that an antenna centerline height of 57 feet at this location would satisfy its coverage objectives in the area. The site search summary together with the site information contained in Attachment 1 support Cellco's position that the site selected represents the most feasible alternative of the sites investigated.

## **2. Tower Sharing**

The Applicant will design the approved facility tower and compound to be shared by AT&T, T-Mobile and the Greenwich Police Department, all of whom are committed to share the proposed facility. This type of tower sharing arrangement will reduce, if not eliminate, the need for these other carriers or municipal entities to develop a separate tower in this same area in the future.

### **D. Cell Site Information**

#### **1. Site Facilities**

At the proposed cell site, Cellco would construct a new 77-foot tall monopole tower disguised as a pine tree. Simulated branches will extend above the top of the tower to an overall height of 84 feet. Cellco will install fifteen (15) panel-type directional antennas at the 57-foot level

on the tower. AT&T will install its antennas at the 67-foot level and T-Mobile will install antennas at the 77-foot level on the tower. The Greenwich Police Department will install a single dish antenna and two 10-foot whip antennas extending off the top of the tower. Cellco would install its equipment in a portion of a multi-carrier shelter constructed near the base of the tower. This shelter will house Cellco's receiving, transmitting, switching, processing and performance monitoring equipment and the required heating and cooling equipment. A diesel-fueled generator would also be installed within a segregated room within Cellco's portion of the shelter for use during power outages and periodically for maintenance purposes. The tower and equipment shelter would be surrounded by an 8-foot high security fence and gate. (See Attachment 1).

The equipment shelter would be equipped with silent intrusion and systems alarms. Cellco personnel will be available on a 24-hour basis to receive and to respond to incoming alarms. The equipment building will remain unstaffed, except as required for periodic maintenance purposes.

## **2. Overall Costs and Benefits**

Aside from the limited visual impacts discussed further below, the Applicant believes that there are no significant costs attendant to the construction, maintenance, and operation of the proposed cell site. In fact, the public will benefit substantially from its increased ability to receive high-quality, reliable wireless service in Greenwich.<sup>1</sup> The Ritch Avenue Facility would be a part of a communications system that addresses the public need identified by the FCC and the United States Congress for high-quality, competitive mobile and portable wireless service. Moreover, the

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<sup>1</sup> Businesses across the State have become more dependent on wireless telecommunication services. The public safety benefits of wireless telephone service are illustrated by the improved Connecticut State Police 911 emergency calling system. The 911 emergency calling system is available statewide to all wireless telephone users. Numerous other emergency service organizations have turned to wireless telephone service for use during natural disasters and severe storms when wireline service is interrupted or unavailable. As a deterrent to crime, the general public will further benefit from the Cellular Telecommunications Industry Association's donation of more than 50,000 cellular phones to "Neighborhood Watch" groups nationwide.

proposed cell site would be part of a system designed to limit the need for additional cell sites in the future.

The overall costs to the Applicant for development of the proposed cell site are set forth in Section III.E. of the Application.

### **3. Environmental Compatibility**

Pursuant to Section 16-50p of the General Statutes, in its review of the Application, the Council is required to find and to determine, among other things, the nature of the probable environmental impact, including a specification of every significant adverse effect of the proposed facility, whether alone or cumulatively with other effects, on, and conflicting with the policies of the state concerning the natural environment, ecological balance, public health and safety, scenic, historic and recreational values, forests and parks, air and water purity and fish and wildlife.

#### **a. Primary Facility Impact is Visual**

The wireless system of which the proposed Ritch Avenue Facility would be a part has been designed to meet the public need for high-quality, reliable wireless service while minimizing any potential adverse environmental impact. In part because there are few, if any other adverse impacts, the primary impact of facilities such as this is visual. This visual impact will vary from location to location around a tower, depending upon factors such as vegetation, topography, the distance of nearby properties from the tower and the location of buildings and roadways in a "sight line" toward the tower. Similarly, visual impact of a tower facility can be further reduced through the proper use of alternative tower structures; so-called "stealth installations." Where appropriate, telecommunications towers camouflaged as trees, can help to further reduce visual impacts associated with these structures. Attachment 9 contains Visual Resource Evaluation Report,

prepared by VHB, Inc. (the "VHB Reports") for the proposed facility. This report includes photosimulations for the Council's review and consideration.

**(1) Visibility**

According to the VHB Report, the existing 70-foot flagpole tower is visible from approximately 1,559 acres within the 8,042 acre study area. Year-round visibility increases only slightly to approximately 1,567 acres for the 84-foot tall tree tower. Approximately 99% of the total year-round visibility of either structure occurs over the open water of Long Island Sound. Land-based visibility of the existing structure and the proposed 84-foot tall tree tower is between 6 and 7 acres. No new areas of visibility are anticipated as a result of the proposed replacement tree tower. Seasonal visibility of the existing flagpole tower and proposed tree tower comprise approximately 32 acres of land limited to the immediate vicinity of the Property.

There are ninety-two (92) single and multi-family residences within 1,000 feet of the facility. The closest residence is located at 52 Ritch Avenue, approximately 60 feet to the northeast of the tower site. The property at 52 Ritch Avenue is listed on Cellco's abutting properties list behind Attachment 4 of this Application.

Weather permitting, the Applicant will raise balloons with a diameter of at least three (3) feet at the proposed tower location on the day of the Council's hearing on this Application, or at a time otherwise specified by the Council.

**b. Environmental Reviews and Agency Comments**

Section 16-50j of the General Statutes requires the Council to consult with and to solicit comments on the Application from the Commissioners of the Departments of Environmental Protection, Public Health, Public Utility Control, Economic Development, and Transportation, the

Council on Environmental Quality, and the Office of Policy and Management, Energy Division. In addition to the Council's solicitation of comments, Cellco, as a part of the National Environmental Policy Act ("NEPA") Checklist, each solicit comments on the proposed facility from the U.S. Department of the Interior, Fish and Wildlife Service ("USFWS"), Environmental and Geographic Information Center of the Connecticut Department of Environmental Protection ("DEP") and the Connecticut Historical Commission, State Historic Preservation Officer ("SHPO"). Information on the USFWS and DEP reviews regarding impacts on known populations of Federal or State Endangered, Threatened or Special Concern Species occurring at the proposed site are included in Attachment 11.

According to the USFWS letter dated January 4, 2010, and Dean Gustafson's memorandum dated May 4, 2010, no federally-listed or proposed, threatened or endangered species or critical habitat are known to occur in Greenwich, Connecticut. The development of the Ritch Avenue Facility will not, therefore, result in an adverse effect on any federally-listed endangered or threatened species.

According to a letter dated November 19, 2010 from the DEP, there are no extant populations of Federal or State Endangered, Threatened or Special Concern Species that occur on the Property.

Also included in Attachment 11 is an August 5, 2008 letter from the SHPO confirming that the proposed facility will have no effect on the historic, architectural or archeological resources listed on or eligible for the National Register of Historic Places.<sup>2</sup>

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<sup>2</sup> The SHPO was asked to confirm its previous finding of no effect in December of 2009, and again in September 2010, as the design of the Ritch Avenue Facility evolved.

**c. Non-Ionizing Radio Frequency Radiation**

The FCC has adopted a standard for exposure to Radio Frequency (“RF”) emissions from telecommunications facilities like the one proposed in this Application. To ensure compliance with the applicable standards, Cellco asked C-Squared System to perform Calculated Radio Frequency Emissions Report for the proposed cell site according to the methodology prescribed by the FCC Office of Engineering and Technology Bulletin No. 65, Edition 97-01 (August 1997) (“OET Bulletin 65”). The calculation is a conservative, worst-case approximation for RF power density levels at the closest accessible point to the antennas, in this case the base of the tower, and with all antennas transmitting simultaneously on all channels at full power. The calculations indicate that the maximum power density level for Cellco, AT&T and T-Mobile antennas at the site would be 4.85% of the Standard.

**d. Other Environmental Issues**

No sanitary facilities are required for the proposed facility. The operations at the Ritch Avenue Facility will not cause any significant air, water, noise or other environmental impacts, or hazard to human health.

Based on agency comments received and field investigations by the Cellco project team, the Applicant submits that the proposed facility will have no significant adverse effect on scenic, natural, historic or recreational features, and that none of the potential effects, either alone or cumulatively with other effects, is sufficient reason to deny this Application.

**4. Consistency with Local Land Use Controls**

The Council Application Guide for Community Antenna Television and Telecommunication Facilities, as amended on April, 2010, requires the inclusion of a narrative summary of the project’s consistency with the Town’s Plan of Conservation and Development (the

“Plan”) and Building Zoning Regulations, as well as a description of planned and existing uses of the site location and surrounding properties.

**a. Planned and Existing Land Uses**

The proposed facility would be located on an approximately 0.267 acre parcel owned by 36 Ritch Avenue LLC. The parcel is zoned Residential (R-7) and is currently used by AT&T as a telecommunications facility.

**b. Greenwich Plan of Conservation and Development**

The Town of Greenwich Plan of Conservation & Development 2009 (the “Plan”), does not identify telecommunications towers as a land use consistent or inconsistent with the general planning and conservation policies of the Town of Greenwich. Four (4) copies of the Plan were filed, in bulk, with the Council.

**c. Zoning Regulations**

According to the Town’s Zoning Map, the Property is located in the R-7 zone district. Pursuant to Section 6-140.1 of the Greenwich Zoning Regulations, towers under municipal jurisdiction are permitted in the R-7 zone as a Special Permit Use.

Cellco respectfully submits that the proposed use of the Property and the establishment of a new multi-carrier tower structure is consistent with the general standards and requirements of the Greenwich Zoning Regulations. These regulations encourage the use of existing structures like the AT&T flagpole tower, if feasible. Because the existing flagpole tower is not structurally capable of being used by multiple carriers, the next best feasible alternative is to use the Property for the installation of a modified telecommunications structure that is capable of being shared, in this case, by AT&T, Cellco, T-Mobile and the Greenwich Police Department.



Four (4) copies of the Greenwich Zoning Regulations were filed, in bulk, with the Council.

**d. Inland Wetlands and Watercourses Regulations**

The Greenwich Inland Wetlands and Watercourses Regulations Commission (the “Wetlands Regulations”) define Regulated Activity as any operation within, or use of, a wetland or watercourse involving removal or deposition of material, or any obstruction, construction alteration or pollution of such wetlands or watercourses. Four (4) copies of the Wetlands Regulations were filed, in bulk, with the Council.

Dean Gustafson, Professional Soil Scientist with VHB, Inc., conducted a field investigation and completed a Wetland Inspection Report for the proposed Ritch Avenue Facility. There are no wetlands or watercourses on the Property. The proposed Ritch Avenue Facility will, therefore, have no impact on wetlands or watercourses in the area. Copies of the Wetlands Inspection Report are included in Attachment 12.

In accordance with the Connecticut Soil Erosion Control Guidelines, as established by the Council for Soil and Water Conservation, adequate and appropriate soil erosion and sedimentation control measures will be established and maintained throughout the cell site construction period. In addition, the Applicant will employ appropriate construction management practices to ensure that no pollutants would be discharged to any nearby watercourse or wetland areas or to area groundwater during the construction process.

According to the Federal Emergency Management Agency Flood Insurance Rate Map (“FIRM”), Map Number 09000P0022C (Map Effective: February 22, 1999), the proposed Ritch

Avenue Facility would be located in Flood Zone X (unshaded). A copy of the FIRM is also included in Attachment 13.

## **5. Local Input**

Section 16-50~~2~~(e) of the Connecticut General Statutes, as amended, requires local input on matters before the Council. Cellco representative first began discussing the development of a replacement tower at 36 Ritch Avenue in 2008. At that time, Cellco was still evaluating alternative cell site locations in the area. In February 2009, Cellco entered into a lease agreement with the Property owners for the 2,930 square-foot facility compound located to the north of the AT&T facility. On August 19, 2010, Cellco representatives met with Greenwich's First Selectman Peter Tesei, Town Attorney John Wetmore and Special Town Counsel Ira Bloom, Planning Director Diane Fox, Deputy Planning Director Katie Blankley and members of the T-Mobile development team to formally commence the local input process for this application and discuss Cellco's plans to replace the existing AT&T flagpole tower with a multi-carrier tree tower. At that meeting Town officials received copies of Cellco's project plans for the proposed Ritch Avenue Facility and outlined materials that it would like to review as a part of the local input process. Cellco compiled and submitted a package of technical information for the Ritch Avenue Facility with the Greenwich Planning and Zoning Commission on September 24, 2010. The Greenwich Planning and Zoning Commission hosted a public information hearing on the tower proposal on October 26, 2010. Notice of the October 26, 2010 hearing was sent to abutting property owners and published in the local newspaper. The informational hearing was continued to and concluded on November 9, 2010. Town comments were submitted directly to the Council on November 22, 2010.

**6. Consultations With State and Federal Officials**

Attachment 11 and Section III.D. of the Application describe Cellco's consultations with state and federal officials regarding Cellco's proposed facility.

**a. Federal Communications Commission**

The FCC did not review this particular proposal. As discussed above, FCC approval is not required where the authorized service area is not enlarged.

**b. Federal Aviation Administration**

As it does with all of its tower applications, Cellco conducted separate air-space analysis for the proposed facility tower to determine if the proposed tower would constitute an obstruction or hazard to air navigation. This analysis has confirmed, pursuant to FAA standards and guidelines the proposed tower would not constitute an obstruction or hazard to air navigation. Therefore, no obstruction marking or lighting would be required. A copy of the Federal Airways and Airspace Summary Report is included in Attachment 15.

**c. United States Fish and Wildlife Service**

According to the USFWS, there are no federally-listed or endangered or threatened species that may occur in Greenwich, Connecticut. (See Attachment 11).

**d. Connecticut Department of Environmental Protection**

**(1) Environmental and Geographic Information Center**

As discussed above, the DEP determined that there are no known extent populations of Federal or State Endangered, Threatened or Special Concern Species that occur at the Property. (See correspondence contained behind Attachment 11).

**(2) Bureau of Air Management**

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this Application will require the issuance of a permit from the DEP Bureau of Air Management. As proposed, this emergency generator will be run only during the interruption of utility service to the cell site and periodically as required for maintenance purposes. Cellco will obtain the necessary permit prior to installing the generator at the Ritch Avenue Facility.

**e. Connecticut State Historic Preservation Officer**

As discussed above, Attachment 11 also includes the SHPO's determination that the development of the Ritch Avenue Facility will have no effect on the historic, architectural or archeological resources listed on or eligible for the National Register of Historic Places.

**E. Estimated Cost and Schedule**

**1. Overall Estimated Costs**

The total estimated cost of construction for the Ritch Avenue Facility is \$945, 000. This estimate includes:

(1)	Cell site radio equipment of approximately	\$450,000
(2)	Tower, coax and antenna costs of approximately	150,000
(3)	Power systems costs of approximately	20,000
(4)	Equipment building costs of approximately	120,000
(5)	Miscellaneous costs (including site preparation and installation) of approximately	205,000

**2. Overall Scheduling**

Site preparation and engineering would commence following Council approval of Cellco's Development and Maintenance ("D & M") plan and are expected to be completed within two to

four weeks. Due to the delivery schedules of the manufacturers, installation of the building and installation of the tower are expected to take an additional two weeks. Equipment installation is expected to take an additional two weeks after installation of the building and installation of the tower. Cell site integration and system testing is expected to require two weeks after equipment installation.


#### **IV. CONCLUSION**

Based on the facts contained in this Application, Cellco submits that the establishment of the Ritch Avenue Facility will not have any substantial adverse environmental effects. A public need exists for high quality reliable wireless service in the Town of Greenwich and throughout Fairfield County, as determined by the FCC and the United States Congress, and a competitive framework for providing such service has been established by the FCC and the Telecommunications Act of 1996. Cellco submits that the public need far outweighs any possible environmental effects resulting from the construction of the proposed cell site.

WHEREFORE, Cellco respectfully requests that the Council grant this Application for a Certificate of Environmental Compatibility and Public Need for the proposed Ritch Avenue Facility.

Respectfully submitted,

CELLCO PARTNERSHIP D/B/A VERIZON  
WIRELESS

By: 

Kenneth C. Baldwin, Esq.

Robinson & Cole LLP

280 Trumbull Street

Hartford, Connecticut 06103-3597

(860) 275-8200

Attorneys for the Applicant

# **RITCH AVENUE**

**36 Ritch Avenue  
Greenwich, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless  
99 East River Drive  
East Hartford, CT 06108

## TABLE OF CONTENTS

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SITE NAME: RITCH AVENUE – 36 Ritch Avenue, Greenwich, CT

GENERAL CELL SITE DESCRIPTION

The proposed cell site would be located within a 2,930 fenced compound in the northerly portion of an approximately 0.267 acre parcel (“Property”) owned by Ritch Avenue LLC. The Property is located on the west side of Ritch Avenue in Greenwich (the “Ritch Avenue Facility”). The Ritch Avenue Facility would consist of a 77-foot telecommunications tower disguised as a pine tree. Simulated branches will extend an additional seven (7) feet above the top of the tower, to an overall height of 84 feet. The tower will be shared by Cellco, with antennas at the 57-foot level, AT&T, with antennas at the 67-foot level, T-Mobile, with antennas at the 77-foot level and the Greenwich Police Department with antennas extending off the top of the tower. Equipment associated with all antennas will be located in a multi-carrier shelter located immediately north of the tower. Vehicular access to the site would extend from Ritch Avenue over an existing driveway, to be improved, a distance of approximately 270 feet to the site compound. Utility service would extend underground from Ritch Avenue to the cell site.



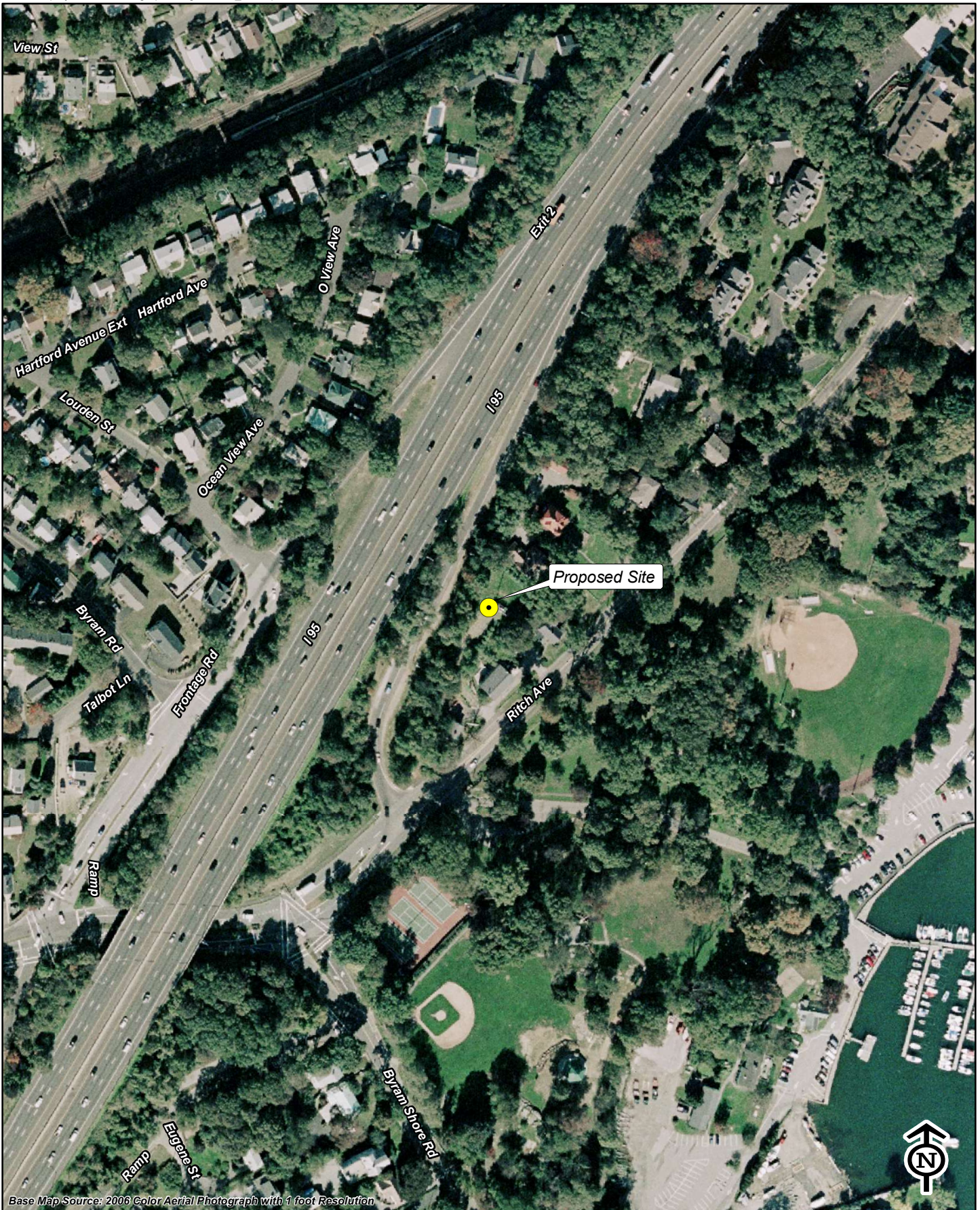
Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Bayville (1985), Glenville (1971), Mamaroneck (1975) and Stamford (1984)



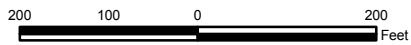
Quadrangle Location

Vanasse Hangen Brustlin, Inc.

**USGS Topographic Map  
Proposed Wireless  
Telecommunications Facility  
36 Ritch Avenue  
Greenwich, Connecticut**



Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Vanasse Hangen Brustlin, Inc.

**Aerial Photograph  
 Proposed Verizon Wireless  
 Telecommunications Facility  
 36 Ritch Avenue  
 Greenwich, Connecticut**



Quadrangle Location



## SITE EVALUATION REPORT

SITE NAME: RITCH AVENUE – 36 Ritch Avenue, Greenwich, CT

### I. LOCATION

- A. COORDINATES: 41°-00'-18.083" N 73°-38'-53.934" W
- B. GROUND ELEVATION: Approximately 54.4± feet AMSL
- C. USGS MAP: Greenwich, CT
- D. SITE ADDRESS: 36 Ritch Avenue, Greenwich, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is in the Residential R-7 zone designation.

### II. DESCRIPTION

- A. SITE SIZE: 2,930 Square Foot Leased Compound
- B. LESSOR'S PARCEL: 0.267 acres
- C. TOWER TYPE/HEIGHT: 77' Monopole (Tree) Tower  
84' Top of simulated branches
- D. SITE TOPOGRAPHY AND SURFACE: The site slopes up significantly from a ground elevation of approximately 18' AMSL at Ritch Avenue to a ground elevation of 54' AMSL at the cell site compound. The existing driveway will shift slightly to the north and will be paved. Minimal grading of the site compound and a small retaining wall will be constructed to provide a level surface for construction of the tower and equipment shelter. No tree clearing will be required to construct the proposed facility.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The replacement tower will be located in the northerly portion of the 0.267 acre parcel. There are no wetland or watercourse areas on the Ritch Avenue parcel.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The Ritch Avenue Facility is located on a 0.267 acre parcel, used exclusively for telecommunications purposes. The property is surrounded by residential uses to the north and east along Ritch

Avenue, recreational uses at Byram Park to the south and I-95 to the west. (See Aerial Photograph at p. 3).

III. FACILITIES

- A. POWER COMPANY: Connecticut Light and Power
- B. POWER PROXIMITY TO SITE: Approximately 270 feet along access drive to Ritch Avenue.
- C. TELEPHONE COMPANY: Verizon Communications
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site compound would extend from Ritch Avenue over a paved driveway a distance of 270 feet.
- F. CLEARING AND FILL REQUIRED: No tree clearing and minimal grading would be required for construction of the site compound. The access drive will shift slightly to the north and will be paved. Detailed construction plans would be developed after approval by the Siting Council.

IV. LEGAL

- A. PURCHASE [ ] LEASE [X]
- B. OWNER: Ritch Avenue LLC
- C. ADDRESS: 36 Ritch Avenue, Greenwich, CT 06281
- D. DEED ON FILE AT: Town of Greenwich, CT Land Records

FACILITIES AND EQUIPMENT SPECIFICATION  
(NEW TOWER & EQUIPMENT BUILDING)

SITE NAME: RITCH AVENUE – 36 Ritch Avenue, Greenwich, CT

I. TOWER SPECIFICATIONS:

- A. MANUFACTURER: To be determined
- B. TYPE: Self-supporting monopole “tree” tower
- C. TOWER HEIGHT: 77’  
TOP OF SIMULATED BRANCHES: 84’

II. TOWER LOADING:

A. CELLCO EQUIPMENT:

- 1. Antennas (15)
  - Six (6) Model DB846F65ZAXY (850 MHz)
  - Six (6) Model LPA-185063 (1900 MHz)
  - Three (3) Model SLXW 5514 (700 MHz)
  - Antenna Centerline 57’ AGL
- 2. GPS Antenna: Mounted on the top of the equipment shelter
- 3. Transmission Lines:
  - a. MFG/Model: Andrews LDF5-50A
  - b. Size: 1 5/8”

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The towers will be designed in accordance with Electronic Industries Association Standard EIA/TIA-222-F “Structural Standards for Steel Antenna Towers and Antenna Support Structures.” The foundation designs would be based on soil conditions at the site. Details for the towers and foundation designs will be provided as a part of the final D&M Plan.

## ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: RITCH AVENUE – 36 Ritch Avenue, Greenwich, CT

### I. PHYSICAL IMPACT

#### A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the access drive, tower or equipment shelter. The equipment used will not discharge any pollutants to area surface or groundwater systems. There are no wetland or watercourse areas located on site on any adjacent parcel that would be impacted by construction of the Ritch Avenue Facility.

#### B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at the site would emit no air pollutants of any kind. For limited periods during power outages and periodically for maintenance purposes, minor levels of emissions from the on-site generator would result.

Pursuant to R.C.S.A. § 22a-174-3, the on-site back-up generator proposed as a part of this application would require the issuance of a Connecticut Department of Environmental Protection Air Bureau permit for potential emissions. Celco would obtain this permit prior to installing the generator at the approved cell site.

#### C. LAND

No clearing and minimal grading of the facility compound and access drive will be required. The remaining land of the Lessor would remain unchanged by the construction and operation of the cell site.

#### D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator which would be run during power failures and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's cellular, PCS and LTE antennas at the Ritch Avenue Facility would be 4.85% of the FCC Standard. (See Attachment 10).

F. VISIBILITY

See Visual Impact Analysis included as Attachment 9.

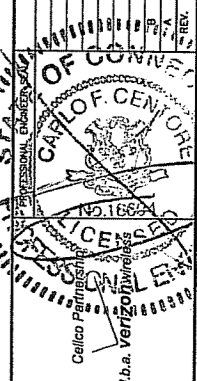






DESIGNED BY: CFC  
 DRAWN BY: DMD  
 CHK'D BY: CFC

NO.	DATE	BY	DESCRIPTION
1	11/17/10	DMD	ISSUED FOR CSC - CLIENT REVIEW
2	11/17/10	DMD	ISSUED FOR CSC - CLIENT REVIEW
3	11/17/10	DMD	ISSUED FOR CSC - CLIENT REVIEW
4	11/17/10	DMD	ISSUED FOR CSC - CLIENT REVIEW
5	11/17/10	DMD	ISSUED FOR CSC - CLIENT REVIEW



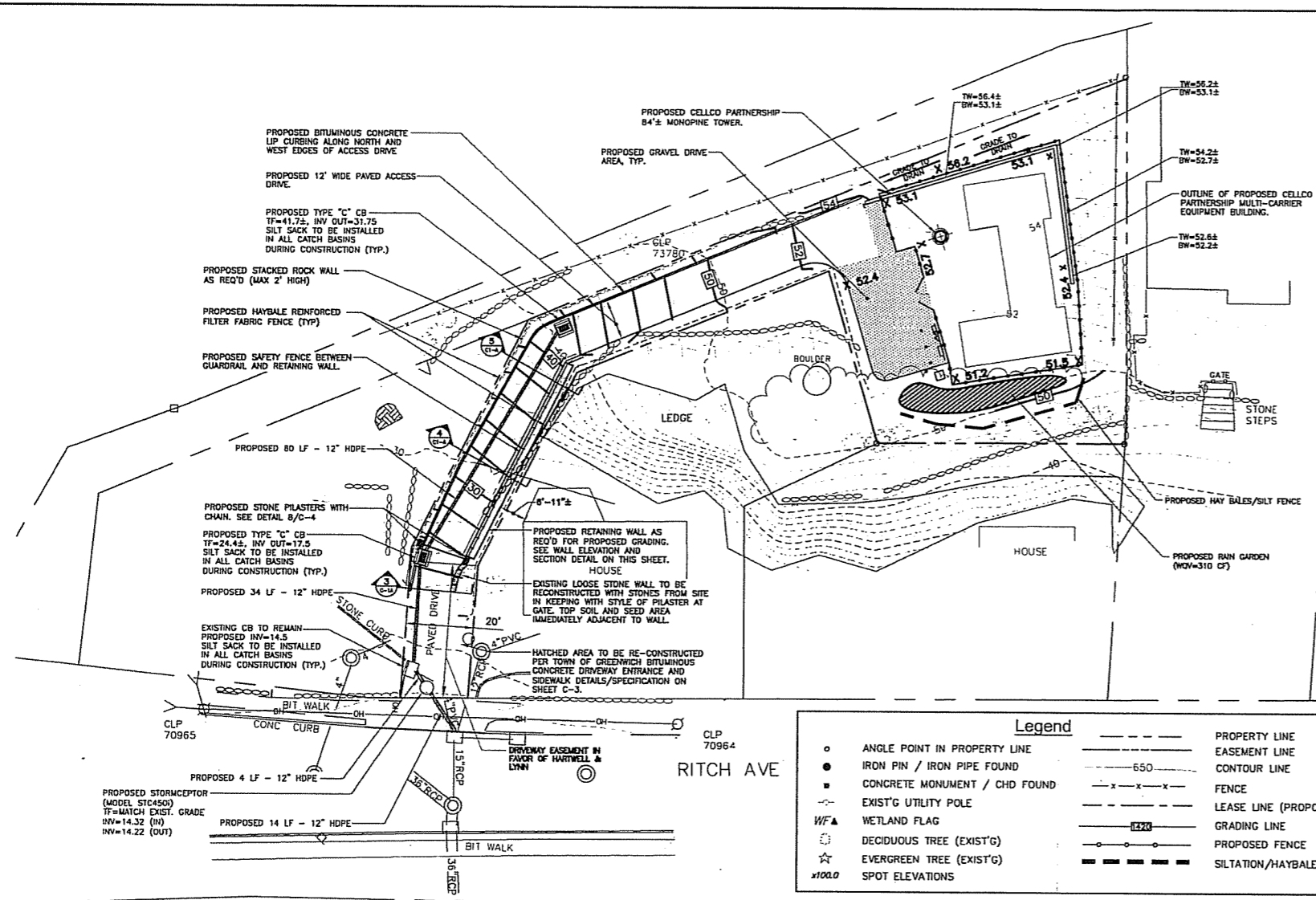
CENTEK engineering  
 General Contractors  
 2021 488-6880 Fax  
 632 North Branford Road  
 Branford, CT 06405  
 www.CentekEng.com

Cellico Partnership d/b/a Verizon Wireless  
 WIRELESS COMMUNICATIONS FACILITY  
**36 RITCH AVENUE**  
 36 RITCH AVENUE  
 GREENWICH, CT 06880

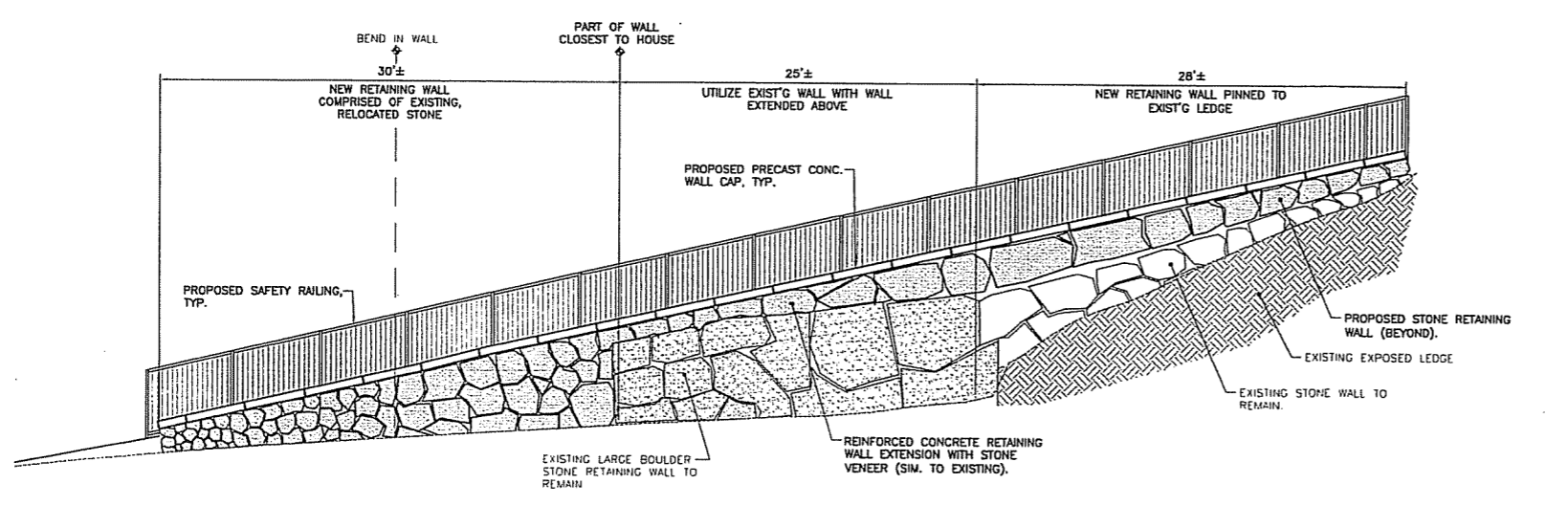
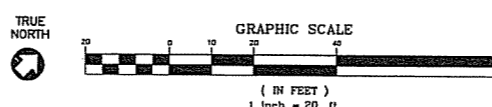
DATE: 11/09/10  
 SCALE: AS NOTED  
 JOB NO. 09129

SITE PLAN AND DETAILS

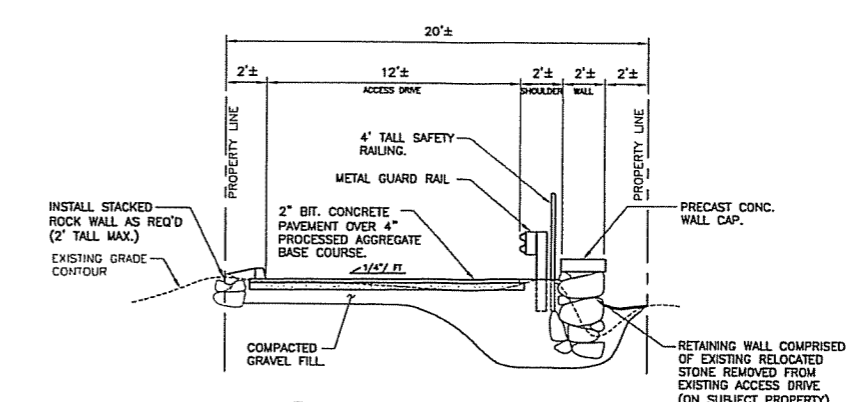
**C-1A**  
 Sheet No. 3 of 8



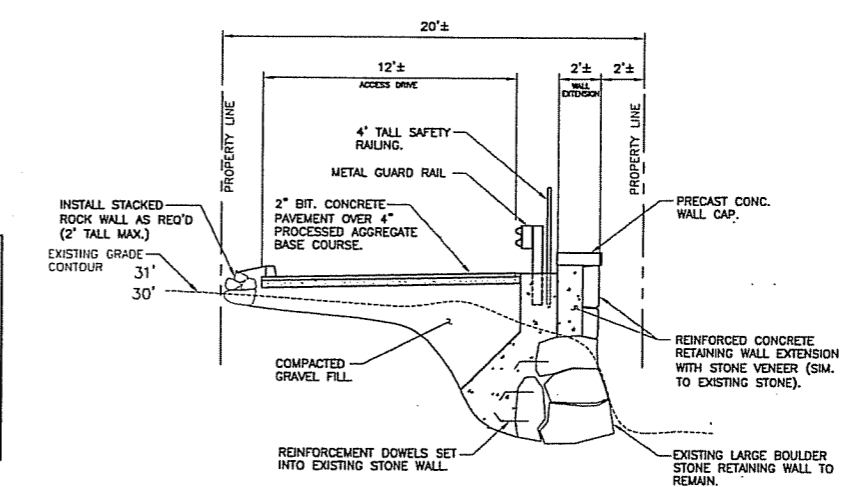
**1 SITE PLAN - PROPOSED CONDITIONS**  
 C-1A SCALE: 1" = 20'



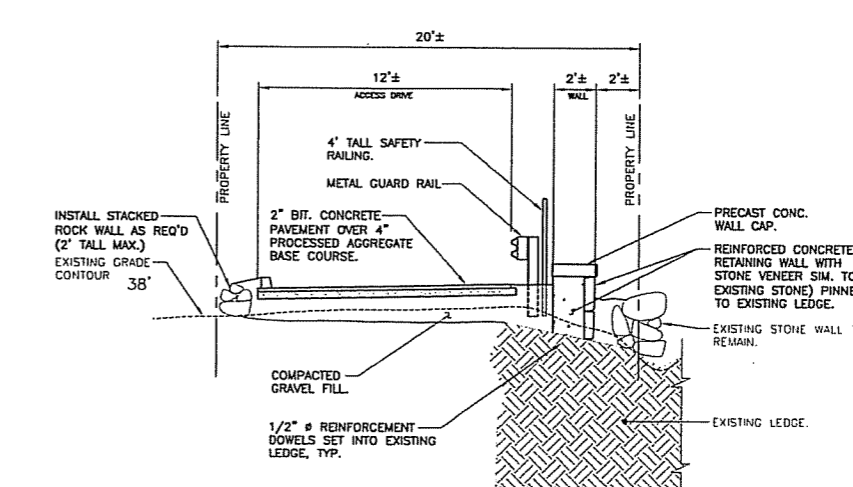
**2 RETAINING WALL ELEVATION - PROPOSED**  
 C-1A SCALE: 3/16" = 1'- 0"



**3 SECTION - PROPOSED**  
 C-1A SCALE: 1/4" = 1'- 0"



**4 SECTION - PROPOSED**  
 C-1A SCALE: 1/4" = 1'- 0"



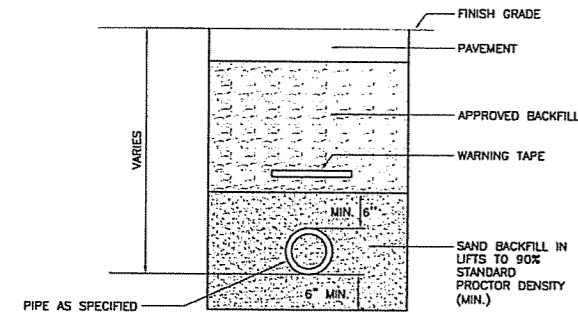
**5 SECTION - PROPOSED**  
 C-1A SCALE: 1/4" = 1'- 0"

**Legend**

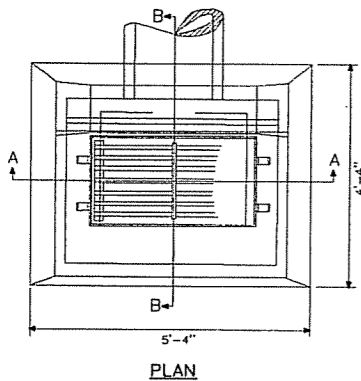
○	ANGLE POINT IN PROPERTY LINE	---	PROPERTY LINE
●	IRON PIN / IRON PIPE FOUND	---	EASEMENT LINE
■	CONCRETE MONUMENT / CHD FOUND	---	CONTOUR LINE
+	EXIST'G UTILITY POLE	---	FENCE
WFA	WETLAND FLAG	---	LEASE LINE (PROPOSED)
○	DECIDUOUS TREE (EXIST'G)	---	GRADING LINE
☆	EVERGREEN TREE (EXIST'G)	---	PROPOSED FENCE
▲	SPOT ELEVATIONS	---	SILTATION/HAYBALE FENCE



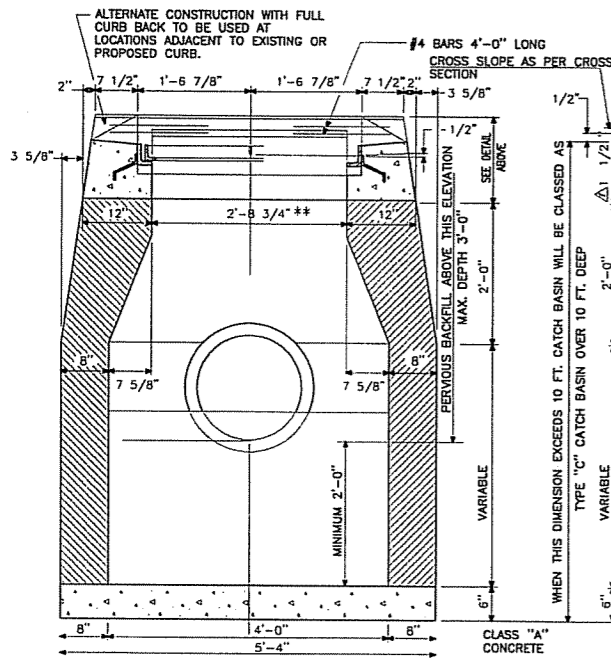




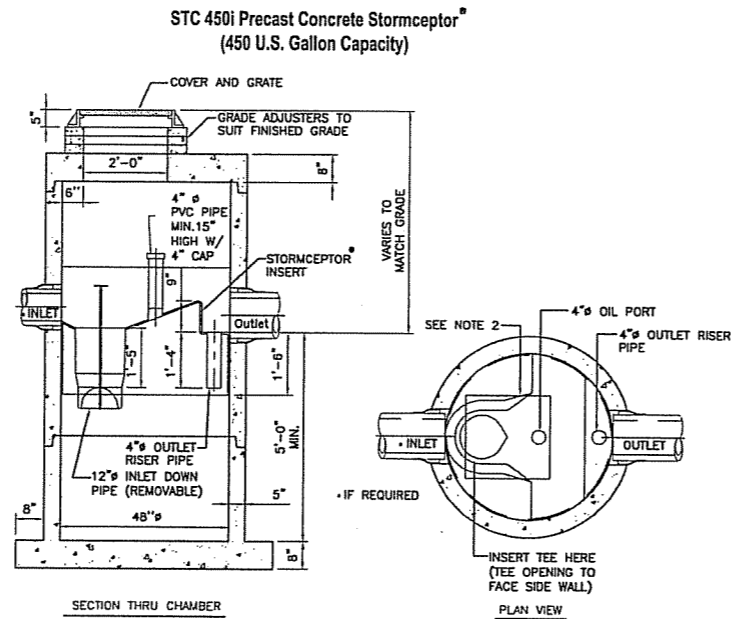
**2 STORM SEWER TRENCH DETAIL**  
C-4 NOT TO SCALE



NOTE: WHEN CATCH BASIN IS SET IN CONCRETE PAVEMENT THE 1/2" SLOPE ON THE TOP SURFACE SHALL BE CHANGED TO MATCH ADJOINING PAVEMENT.

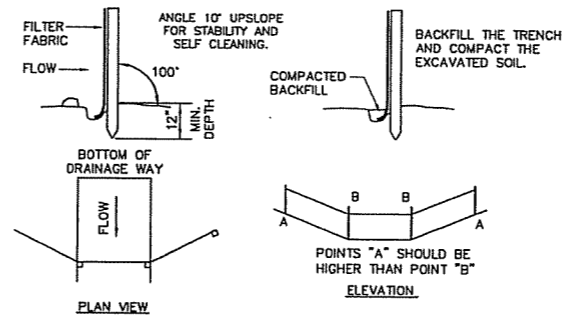


**4 TYPE 'C' CATCH BASIN DETAIL**  
C-4 NOT TO SCALE

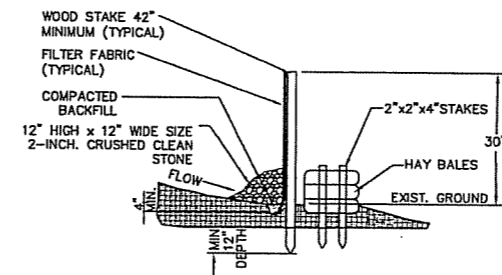


NOTES:  
1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.  
2. THE COVER SHOULD BE POSITIONED OVER THE INLET DROP PIPE AND THE OIL PORT.  
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.  
4. CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS DRAWING.

**3 STORM SEWER RECEPTOR DETAILS**  
C-4 NOT TO SCALE



**1 PLACEMENT AND CONSTRUCTION SILTATION FENCE**  
C-4 NOT TO SCALE



**1A TYP. SILTATION FENCE/HAYBALE EROSION CONTROL DETAIL**  
C-4 NOT TO SCALE

**EROSION CONTROL**

**GENERAL CONSTRUCTION SEQUENCE**

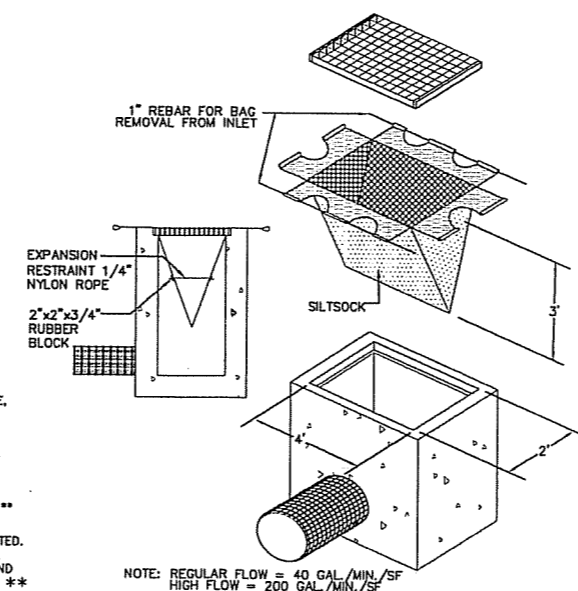
- THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.
- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
  - INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
  - REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
  - CONSTRUCT CLOSED DRAINAGE SYSTEM. PRECEPT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
  - CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
  - INSTALL UNDERGROUND UTILITIES.
  - BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCH IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
  - DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
  - BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
  - FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
  - COMPLETE PERMANENT SEEDING AND LANDSCAPING.
  - NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGARDED AREAS.
  - AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

**CONSTRUCTION SPECIFICATIONS - SILT FENCE**

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

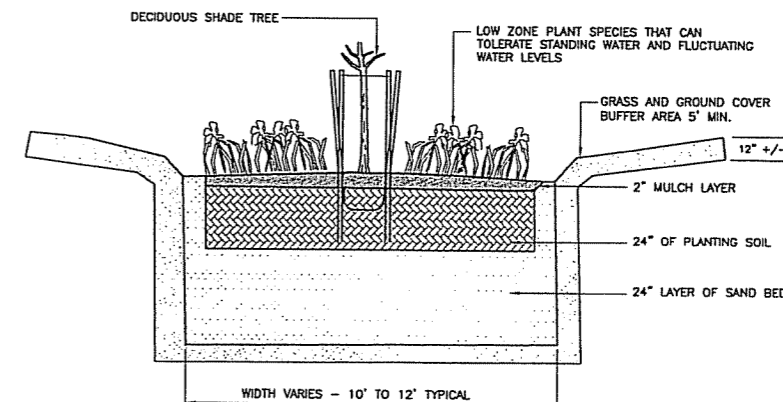
**MAINTENANCE - SILT FENCE**

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



NOTE: REGULAR FLOW = 40 GAL./MIN./SF  
HIGH FLOW = 200 GAL./MIN./SF

**5 SILT SOCK DETAIL**  
C-4 NOT TO SCALE



**6 TYP. RAIN GARDEN DETAIL**  
C-4 NOT TO SCALE

DESIGNED BY: CFC CFC  
DRAWN BY: DMD DMD  
CHK'D BY: CFC CFC

ISSUED FOR CFC 11/27/10  
ISSUED FOR CFC 11/27/10  
DATE 11/27/10

DATE 11/09/10  
SCALE: AS NOTED  
JOB NO. 09129

**C-4**  
Sheet No. 6 of 8

**CENITEK** engineering  
Communications Solutions  
36 RITCH AVENUE  
GREENWICH, CT 06830  
www.CenitekEng.com

**Cellco Partnership d/b/a Verizon Wireless**  
WIRELESS COMMUNICATIONS FACILITY  
36 RITCH AVENUE  
GREENWICH, CT 06830

**STATE OF CONNECTICUT**  
REGISTERED PROFESSIONAL ENGINEER  
No. 16894  
Calico Partnerships, Inc.  
d.b.a. Verizon Wireless







**CERTIFICATION OF SERVICE**

I hereby certify that on this 15<sup>th</sup> day of December, 2010, copies of the Application and attachments were sent first class mail, postage prepaid, to the following:

**STATE OFFICIALS:**

The Honorable Richard Blumenthal  
Attorney General  
Office of the Attorney General  
55 Elm Street  
Hartford, CT 06106

Peter J. Boynton, Commissioner  
Department of Emergency Management and Homeland Security  
25 Sigourney Street, 6<sup>th</sup> Floor  
Hartford, CT 06106-5042

Amey Marrella, Commissioner  
Connecticut Department of Environmental Protection  
79 Elm Street  
Hartford, CT 06106

J. Robert Galvin, M.D., M.P.H., M.B.A., Commissioner  
Department of Public Health and Addiction Services  
410 Capitol Avenue  
P.O. Box 340308, MS 13COM  
Hartford, CT 06134-0308

Karl J. Wagener, Executive Director  
Council on Environmental Quality  
79 Elm Street  
P.O. Box 5066  
Hartford, CT 06106

Kevin M. DelGobbo, Chairman  
Department of Public Utility Control  
Ten Franklin Square  
New Britain, CT 06051

Brenda L. Sisco, Acting Secretary  
Office of Policy and Management  
450 Capitol Avenue  
Hartford, CT 06134-1441

Joan McDonald, Commissioner  
Department of Economic and Community Development  
505 Hudson Street  
Hartford, CT 06106

Jeffrey A. Parker, Commissioner  
Department of Transportation  
P.O. Box 317546  
2800 Berlin Turnpike  
Newington, CT 06131-7546

David Bahlman, Division Director  
Deputy State Historic Preservation Officer  
Connecticut Commission on Culture & Tourism  
Historic Preservation and Museum Division  
One Constitution Plaza, 2<sup>nd</sup> Floor  
Hartford, CT 06103

F. Phillip Prelli, Commissioner  
Department of Agriculture  
165 Capital Avenue  
Hartford, CT 06106

Southwestern Regional Planning Agency  
888 Washington Boulevard, 3<sup>rd</sup> Floor  
Stamford, CT 06901

**GREENWICH TOWN OFFICIALS:**

Peter Tesei  
First Selectman  
Town of Greenwich  
101 Field Point Road  
Greenwich, CT 06830

The Honorable Lile R. Gibbons  
Representative – 150<sup>th</sup> District  
Legislative Office Building  
Room 4200  
Hartford, CT 06106

The Honorable L. Scott Frantz  
Senator – 36<sup>th</sup> District  
Legislative Office Building  
Room 3400  
Hartford, CT 06106

Carmella C. Budkins  
Town Clerk  
Town of Greenwich  
101 Field Point Road  
Greenwich, CT 06830

Donald Heller, Chairman  
Planning and Zoning Commission  
Town of Greenwich  
101 Field Point Road  
Greenwich, CT 06830

Donald Kiefer, Chairman  
Planning and Zoning Board of Appeals  
Town of Greenwich  
101 Field Point Road  
Greenwich, CT 06830

Diane Fox, Director  
Planning and Zoning  
Town of Greenwich  
101 Field Point Road  
Greenwich, CT 06830

Lawrence Perry, Chairman  
Inland Wetlands and Watercourses Agency  
Town of Greenwich  
101 Field Point Road  
Greenwich, CT 06830

**FEDERAL OFFICIALS:**

The Honorable Christopher Dodd  
United States Senator  
448 Russell Senate Office Building  
Washington, DC 20510

The Honorable Joseph Lieberman  
United States Senator  
706 Hart Senate Office Building  
Washington, DC 20510

The Honorable James A. Himes  
Congressman  
888 Washington Boulevard, 10<sup>th</sup> Floor  
Stamford, CT 06901

Federal Communications Commission  
445 12<sup>th</sup> Street SW  
Washington, DC 20554



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Kenneth C. Baldwin, Esq.  
Robinson & Cole LLP  
280 Trumbull Street  
Hartford, CT 06103  
Telephone: (860) 275-8200  
Attorneys for Cellco Partnership d/b/a Verizon Wireless

## LEGAL NOTICE

Notice is hereby given, pursuant to Section 16-50l(b) of the Connecticut General Statutes and Regulations pertaining thereto, of an Application to be submitted to the Connecticut Siting Council ("Council") on or about December 15, 2010, by Cellco Partnership d/b/a Verizon Wireless ("Cellco" or the "Applicant"). The Application proposes the installation of a wireless telecommunications facility on a 0.267 acre parcel at 36 Ritch Avenue in Greenwich, Connecticut. The property is owned by 36 Ritch Avenue LLC. At this site, Cellco proposes to construct a 77-foot monopole tower disguised as a pine tree. Simulated branches will extend above the top of the tower to an overall height of 84 feet. Access to the site will extend from Ritch Avenue over a paved driveway a distance of approximately 270 feet to the cell site. A new 965 square-foot multi-carrier shelter would be located near the base of the tower. Cellco's radio equipment and a diesel-fueled back-up generator would be housed in a secured room inside the multi-carrier equipment shelter. The tower and equipment shelter will be shared by Cellco, AT&T, T-Mobile and the Greenwich Police Department. The location and other features of the proposed facility are subject to change under provisions of Connecticut General Statutes § 16-50g et. seq.

On the day of the Siting Council public hearing on this proposal, Cellco will fly a balloon at the height of the proposed tower described above. Interested parties and residents of the Town of Greenwich are invited to review the Application on or after December 16, 2010, during normal business hours at any of the following offices:

Connecticut Siting Council  
10 Franklin Square  
New Britain, CT 06051

Cellco Partnership d/b/a Verizon Wireless  
99 East River Drive  
East Hartford, CT 06108

Town Clerk  
Town of Greenwich  
101 Field Point Road  
Greenwich, CT 06830

Office of the First Selectman  
Town of Greenwich  
101 Field Point Road  
Greenwich, Ct 06830

or the offices of the undersigned. All inquiries should be addressed to the Connecticut Siting Council or to the undersigned.

CELLCO PARTNERSHIP d/b/a VERIZON  
WIRELESS

Kenneth C. Baldwin, Esq.  
Robinson & Cole LLP  
280 Trumbull Street  
Hartford, CT 06103-3597  
(860) 275-8200  
Its Attorneys

KENNETH C. BALDWIN

280 Trumbull Street  
Hartford, CT 06103-3597  
Main (860) 275-8200  
Fax (860) 275-8299  
kbaldwin@rc.com  
Direct (860) 275-8345

December 9, 2010

**Via Certified Mail Return Receipt Requested**

«Name\_and\_Address»

**Re: Cellco Partnership d/b/a Verizon Wireless  
Proposed Telecommunications Facility  
36 Ritch Avenue, Greenwich, Connecticut**

Dear «Salutation»:

Cellco Partnership d/b/a Verizon Wireless (“Cellco”) will be submitting an application to the Connecticut Siting Council (“Council”) on or about December 15, 2010, for approval of the construction of a telecommunications facility in Greenwich, Connecticut.

The proposed facility location would consist of a new 77-foot telecommunications tower disguised as a pine tree (simulated branches will extend to a height of 84 feet) and a 965 square-foot multi-carrier equipment shelter located on a 0.267 acre parcel at 36 Ritch Avenue. This parcel is owned by Ritch Avenue LLC. Cellco’s radio equipment and a backup generator would be installed inside a secured equipment room inside the shelter. The tower and shelter will be shared by Cellco, AT&T, T-Mobile and the Greenwich Police Department. Access to the facility would extend from Ritch Avenue over a paved access driveway a distance of 270 feet to the cell site. If the new tower is approved, the existing AT&T flagpole tower would be removed. A set of the project plans for the Cellco proposal are attached for your review.

The location and other features of the proposed facility are subject to change under the provisions of Connecticut General Statutes § 16-50g et seq.

December 9, 2010

Page 2

State law provides that owners of record of property which abuts a parcel on which the proposed facility may be located must receive notice of the submission of this application. This notice is directed to you either because you may be an abutting land owner or as a courtesy notice.

If you have any questions concerning the application, please direct them to either the Connecticut Siting Council or me. My address and telephone number are listed above. The Siting Council may be reached at its New Britain, Connecticut office at (860) 827-2935.

Very truly yours,

A handwritten signature in black ink, appearing to read "Kenneth C. Baldwin", with a long horizontal flourish extending to the right.

Kenneth C. Baldwin

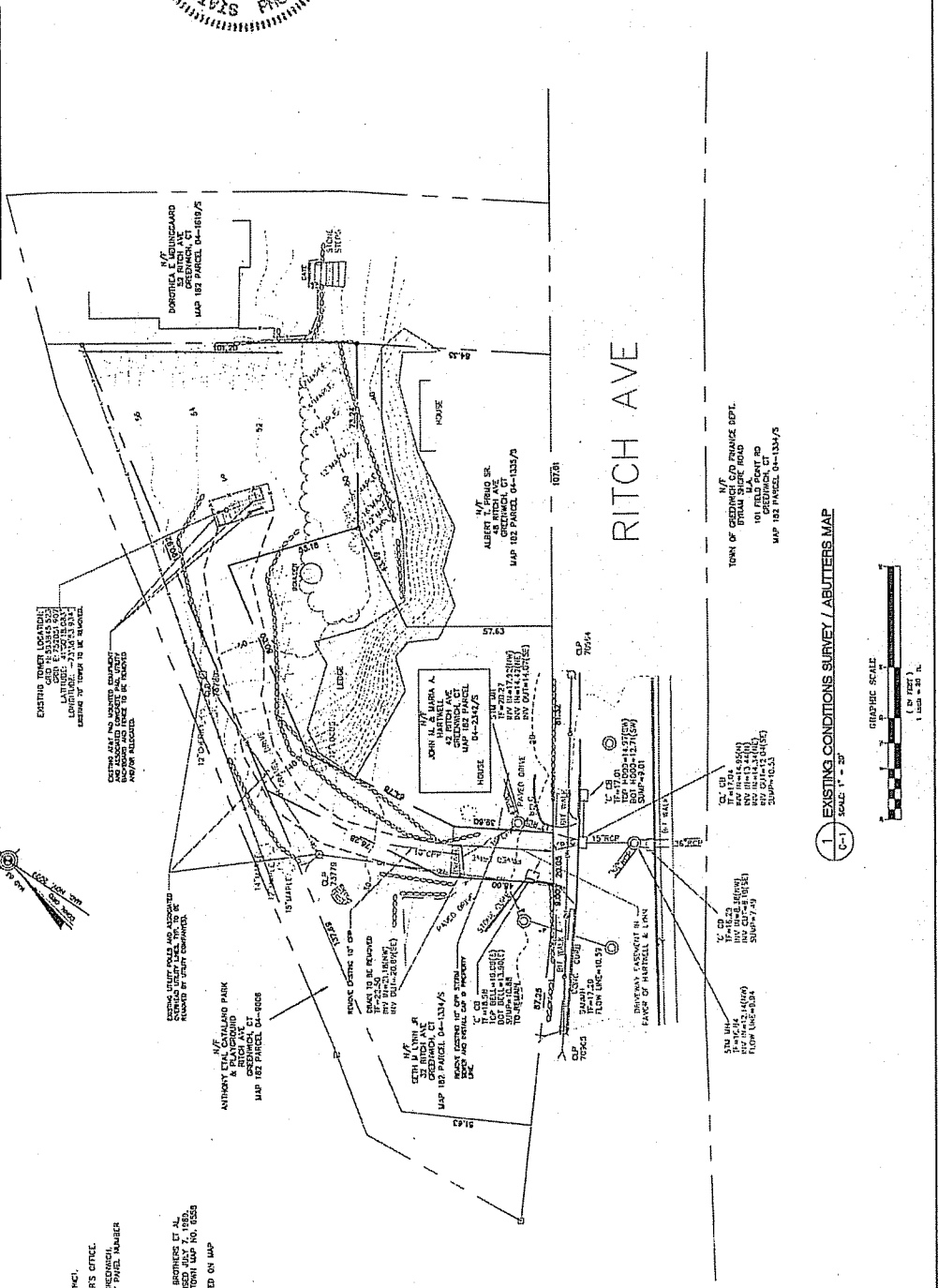
KCB/kmd  
Attachment





**Legend**

- ANGLE CORNER IN PROPERTY LINE
- IRON PIN / IRON PIPE FOUND
- CONCRETE FOUNDATION / OLD FOUND
- EXISTING UTILITY POLE
- WETLAND FLAG
- RECORDED TRAIL (DUSTY)
- EMERALD TRAIL (DUSTY)
- PROPERTY LINE
- FAUCON LINE
- CONTOUR LINE
- FENCE
- DRY / DRAIN DRAIN



**PROPERTY NOTES**

THIS SURVEY WAS MADE IN ACCORDANCE WITH SECTION 36-232-1 AND 36-232-2 OF THE REGULATIONS OF CONSENTED PLAT SURVEYS. THE SURVEY STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ARE SET FORTH IN THE CONNECTICUT GENERAL STATUTES, CHAPTER 36-232, AND THE REGULATIONS OF CONSENTED PLAT SURVEYS, CHAPTER 36-232-1 AND 36-232-2. THIS SURVEY WAS MADE FOR THE PURPOSE OF RECORDING THE SURVEY AND IS INTENDED TO BE USED TO RESOLVE ANY DISPUTES THAT MAY ARISE FROM THIS SURVEY.

THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE COMPARED FROM OTHER SURVEYS AND UNDATED FIELD SURVEYS. THESE LINES ARE NOT TO BE COVERED BY ANY OTHER SURVEY. ANY DISCREPANCIES BETWEEN THIS SURVEY AND ANY OTHER SURVEY MAY BE CAUSED BY DIFFERENCES IN THE SURVEYING METHODS OR BY CHANGES IN THE PROPERTY BOUNDARIES SINCE THE DATE OF THE SURVEY. THIS MAP IS NOT VALID WITHOUT A DATE SOURCE AND SEAL.

VERTICAL DATUM IS BASED ON NAD 83.

COORDINATES REFER TO NAD 83.

PARCEL OWNER OF RECORD: 36 RITCH AVENUE LLC  
 GREENWICH, CT 06830

PARCEL ACO = 0.8972 ACRES.

PARCEL S IN THE 4-2 SINGLE FAMILY RESIDENCE ZONING DISTRICT.

PARCEL S IN THE 4-2 SINGLE FAMILY RESIDENCE ZONING DISTRICT.

CONTRIBUTOR: PARCELS 36-232-1/2 GREENWICH ASSOCIATES OFFICE.  
 COMMUNITY DEVELOPMENT DEPARTMENT, GREENWICH, CT 06830  
 069055 0022 G, DETERMINED DATE FEBRUARY 27, 1999

REFERENCE IS MADE TO THE FOLLOWING MAPS:

"SUBDIVISION PLAN - RECORD SHEET, PROPERTY OF CALVALDO BROTHERS ET AL, GREENWICH, CONNECTICUT, 1978, MAP 182 PARCEL 04-1334/3, 04-1334/4, 04-1334/5, 04-1334/6, 04-1334/7, 04-1334/8, 04-1334/9, 04-1334/10, 04-1334/11, 04-1334/12, 04-1334/13, 04-1334/14, 04-1334/15, 04-1334/16, 04-1334/17, 04-1334/18, 04-1334/19, 04-1334/20, 04-1334/21, 04-1334/22, 04-1334/23, 04-1334/24, 04-1334/25, 04-1334/26, 04-1334/27, 04-1334/28, 04-1334/29, 04-1334/30, 04-1334/31, 04-1334/32, 04-1334/33, 04-1334/34, 04-1334/35, 04-1334/36, 04-1334/37, 04-1334/38, 04-1334/39, 04-1334/40, 04-1334/41, 04-1334/42, 04-1334/43, 04-1334/44, 04-1334/45, 04-1334/46, 04-1334/47, 04-1334/48, 04-1334/49, 04-1334/50, 04-1334/51, 04-1334/52, 04-1334/53, 04-1334/54, 04-1334/55, 04-1334/56, 04-1334/57, 04-1334/58, 04-1334/59, 04-1334/60, 04-1334/61, 04-1334/62, 04-1334/63, 04-1334/64, 04-1334/65, 04-1334/66, 04-1334/67, 04-1334/68, 04-1334/69, 04-1334/70, 04-1334/71, 04-1334/72, 04-1334/73, 04-1334/74, 04-1334/75, 04-1334/76, 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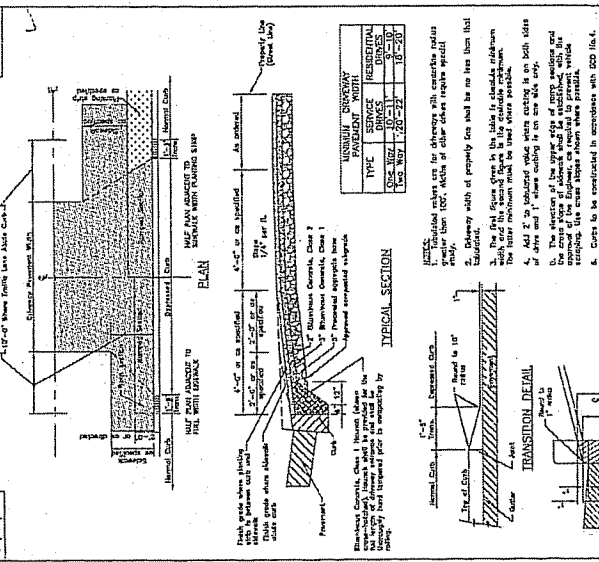


**Standard Construction Notes**

- Site and Subdivision Plans**
1. A Highway Permit is required for all work within the Town of Greenwich - Right of Way.
  2. All work within the Town of Greenwich - Right of Way shall be constructed in Town of Greenwich Standards.
  3. Catch basins for inlets at driveway shall have a minimum depth of two feet by two feet. If the driveway is within the catch basin, it shall have a minimum width of six feet. Each driveway catch basin shall also have a two-foot ramp and fall top.
  4. All drainage structures to the Town drainage system shall be gravity flow. If a discharge from a pump pump is connected to the Town drainage system it must discharge to a drainage structure (catch basin) located on the property and be connected to the Town drainage system. A Drain Connection Permit from the Highway Division is required for all connections to the Town drainage system.
  5. The Engineering Division of the Department of Public Works shall be notified three days prior to the commencement of construction within the Town of Greenwich - Right of Way.
  6. In roadway cuts, submittals shall be required if drainage occurs during construction or within one year after road construction is completed and accepted, even though plans may have been approved without submittals and/or roadway construction has been completed.
  7. All retaining walls greater than three feet are required to be designed, and inspected during construction by a Professional Engineer Registered in the State of Connecticut. All retaining walls shall be designed and retaining walls shall be inspected from final to determine price for the issuance of a Certificate of Occupancy.
  8. All detourment systems shall be installed per manufacturer specifications. All systems shall be installed in a trench with a minimum depth of 18 inches. All systems shall be installed in a trench with a minimum depth of 18 inches. All systems shall be installed in a trench with a minimum depth of 18 inches.
  9. All inlets shall be a minimum of 18 inches high. Inlets shall be installed in a trench with a minimum depth of 18 inches. Inlets shall be installed in a trench with a minimum depth of 18 inches. Inlets shall be installed in a trench with a minimum depth of 18 inches.
  10. The following shall be submitted upon completion of work and prior to the issuance of a Certificate of Occupancy:
    - o Engineering Division Checklist for Certificate of Occupancy
    - o Engineering Division Checklist for Improvement Location Survey
    - o Copy of approved construction plans with revisions
    - o Copy of retaining wall plans with revisions
    - o Engineering Division Site Inspection Certificate Slip-Off
    - o Engineering Division Drainage Certificate Slip-Off
    - o Engineering Division Retaining Wall Certificate Slip-Off
    - o Engineering Division Checklist for Operation & Maintenance Plan
    - o Final Operation and Maintenance Plan Request

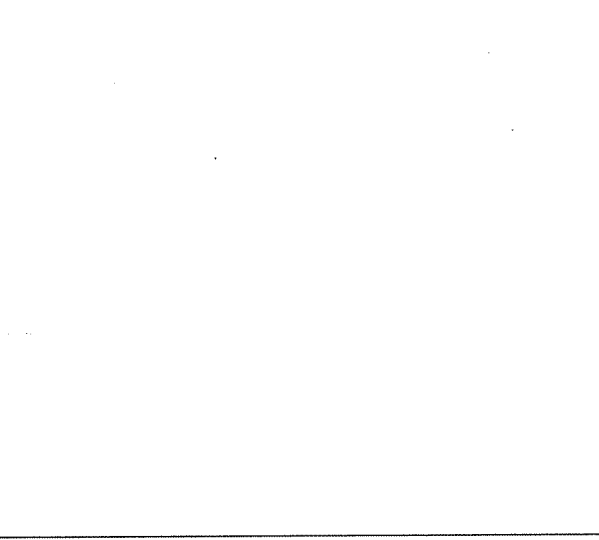
Kenyon L. Hines, P.E.  
 Kenyon L. Hines, P.E.  
 Commissioner of Public Works

**Standard Construction Detail**



- NOTES:**
1. The absolute maximum and minimum residual slope shall be 1" per foot and 1/8" per foot, respectively, unless otherwise noted.
  2. In concrete sidewalks expansion joints shall be spaced 30' o.c.
  3. In concrete sidewalks expansion joints shall be spaced 10' o.c. and more than 10' o.c. or as directed.
  4. In concrete sidewalks expansion joints shall be spaced 10' o.c. and more than 10' o.c. or as directed.
  5. In concrete sidewalks expansion joints shall be spaced 10' o.c. and more than 10' o.c. or as directed.
  6. In concrete sidewalks expansion joints shall be spaced 10' o.c. and more than 10' o.c. or as directed.

**Standard Construction Detail**



- NOTES:**
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**ADJACENT PROPERTY OWNERS**

SITE NAME: RITCH AVENUE

OWNER NAME: 36 RITCH AVENUE LLC

OWNER ADDRESS: 36 RITCH AVENUE, GREENWICH, CT 06830

ASSESSOR'S REFERENCE:        MAP: 182    LOT: 04-2334/S

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TAX ASSESSOR'S RECORDS AND LAND RECORDS OF THE TOWN OF GREENWICH. THE INFORMATION IS CURRENT AS OF NOVEMBER 4, 2010.

THE PARCEL IS ZONED R-7 DISTRICT.

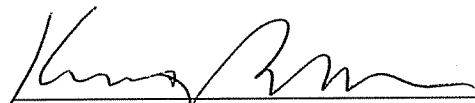
	<b><u>Map/Lot</u></b>	<b><u>Property Owner and Mailing Address</u></b>	<b><u>Property Address</u></b>
1.	182/04-1619/S	Dorothea E. Meilinggaard 52 Ritch Avenue West Greenwich, CT 06830	52 Ritch Avenue
2.	182/04-1335/S	Albert T. Primo, Sr. 48 Ritch Avenue Greenwich, CT 06830	48 Ritch Avenue
3.	182/04-2342/S	John M. and Maria A. Hartwell 42 Ritch Avenue Greenwich, CT 06830	42 Ritch Avenue
4.	182/04-1334/S	Seth M. Lynn, Jr. 32 Ritch Avenue Greenwich, CT 06830	32 Ritch Avenue

**CERTIFICATION OF SERVICE**

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached list of abutting landowners.

December 9, 2010

Date



Kenneth C. Baldwin, Esq.

Robinson & Cole LLP

280 Trumbull Street

Hartford, Connecticut 06103

Attorneys for CELLCO PARTNERSHIP

d/b/a VERIZON WIRELESS

ULS License

# Cellular License - KNKA363 - Cellco Partnership

**PA** This license has pending applications: 0003317580

Call Sign	KNKA363	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

**Market**

Market	CMA042 - Bridgeport-Stamford-Norwalk-Danbury, CT	Channel Block	A
Submarket	0	Phase	2

**Dates**

Grant	02/05/2008	Expiration	01/22/2018
Effective	02/05/2008	Cancellation	

**Five Year Buildout Date**

11/20/1992

**Control Points**

**1** 180 WASHINGTON VALLEY ROAD, BEDMINSTER, NJ  
P: (800)852-2671

**Licensee**

FRN	0003290673	Type	Partnership
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**Licensee**

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASASREG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

**Contact**

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy #150 GASASREG Alpharetta, GA 30004 ATTN Network Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
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**Ownership and Qualifications**

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

**Alien Ownership**

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?	No
Is the applicant directly or indirectly controlled by any other corporation	Yes

of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country?

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Demographics**

Race

Ethnicity

Gender

ULS License

## Cellular License - KNKA363 - Cellco Partnership - Frequencies

Call Sign      KNKA363

Radio Service    CL - Cellular

[Return to Main](#)

### A Block

824.04 - 834.99 paired with 869.04 - 879.99

845.01 - 846.48 paired with 890.01 - 891.48

ULS License

**PCS Broadband License - KNLH264 - Cellco Partnership**

Call Sign	KNLH264	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular

**Market**

Market	BTA321 - New York, NY	Channel Block	F
Submarket	0	Associated Frequencies (MHz)	001890.00000000-001895.00000000-001970.00000000-001975.00000000

**Dates**

Grant	07/23/2007	Expiration	06/27/2017
Effective	07/23/2007	Cancellation	

**Buildout Deadlines**

1st	06/27/2002	2nd	
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**Notification Dates**

1st	06/04/2002	2nd	
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**Licensee**

FRN	0003290673	Type	Joint Venture
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**Licensee**

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

**Contact**

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
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**Ownership and Qualifications**

Radio Service Type Mobile

Regulatory Status	Common Carrier	Interconnected	Yes
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**Alien Ownership**

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of	No

the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?

Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country? **Yes**

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Tribal Land Bidding Credits**

This license did not have tribal land bidding credits.

**Demographics**

Race

Ethnicity

Gender

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**Federal Communications Commission**  
**Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
 CELLCO PARTNERSHIP  
 1120 SANCTUARY PKWY #150 - GASA5REG  
 ALPHARETTA, GA 30004

Call Sign WQJQ689	File Number 0003382444
Radio Service WU - 700 MHz Upper Band (Block C)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number REA001	Channel Block	Sub-Market Designator 0	
Market Name Northeast			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

**Waivers/Conditions:**

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls> and select "License Search". Follow the instructions on how to search for license information.



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**Federal Communications Commission**  
**Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
 CELLCO PARTNERSHIP  
 1120 SANCTUARY PKWY #150 - @ASA5REG  
 ALPHARETTA, GA 30004

<b>Call Sign</b> WQJQ696	<b>File Number</b> 0003382435
<b>Radio Service</b> WY - 700 MHz Lower Band (Blocks A, B, E)	

FCC Registration Number (FRN): 0003290673

<b>Grant Date</b> 11-26-2008	<b>Effective Date</b> 11-26-2008	<b>Expiration Date</b> 02-17-2019	<b>Print Date</b> 12-03-2008
<b>Market Number</b> BEA010	<b>Channel Block</b>	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> New York-New Jer.-Long Isl			
<b>1st Build-out Date</b> 02-17-2013	<b>2nd Build-out Date</b> 02-17-2019	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

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If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

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