

CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS

Connecticut Siting Council

APPLICATION OF CELLCO PARTNERSHIP
D/B/A VERIZON WIRELESS

CITY OF MILFORD

BAYVIEW FACILITY

DOCKET NO. _____

OCTOBER 20, 2010



TABLE OF CONTENTS

	Page
EXECUTIVE SUMMARY.....	i
SITE LOCATION MAP	ii
AERIAL PHOTO.....	iii
I. INTRODUCTION.....	1
A. Authority and Purpose	1
B. The Applicant.....	5
C. Application Fee.....	6
II. SERVICE AND NOTICE REQUIRED BY C.G.S. SECTION 16-50 <u>l</u> (b)	6
III. REQUIRED INFORMATION: PROPOSED WIRELESS FACILITY.....	6
A. General Information.....	7
B. Public Need and System Design	9
1. Public Need.....	9
2. System Design and Equipment	9
a. System Design.....	9
b. Cellular System Equipment	10
3. Technological Alternatives	11
C. Site Selection and Tower Sharing.....	11
1. Cell Site Selection.....	11
2. Tower Sharing.....	12
D. Cell Site Information.....	12
1. Site Facilities.....	12
2. Overall Costs and Benefits.....	13
3. Environmental Compatibility.....	14
a. Primary Facility Impact is Visual.....	14
b. Environmental Reviews and Agency Comments.....	15
c. Non-Ionizing Radio Frequency Radiation	16
d. Other Environmental Issues	17
4. Consistency with Local Land Use Controls.....	17
a. Planned and Existing Land Uses.....	17
b. Town Plan of Conservation and Development	18

TABLE OF CONTENTS

(continued)

	Page
c. Zoning Regulations	18
d. Inland Wetlands and Watercourses Regulations.....	18
5. Local Input	20
6. Consultations With State and Federal Officials.....	20
a. Federal Communications Commission.....	20
b. Federal Aviation Administration	20
c. United States Fish and Wildlife Service	21
d. Connecticut Department of Environmental Protection.....	21
e. Connecticut State Historic Preservation Officer.....	22
E. Estimated Cost and Schedule.....	22
1. Overall Estimated Costs.....	22
2. Overall Scheduling.....	22
IV. CONCLUSION.....	23

LIST OF ATTACHMENTS

1. Bayview Facility – Factual Summary and Project Plans
2. Certificate of Service of Application on Government Officials and List of Officials Served
3. Legal Notice in the *Connecticut Post*
4. Notice to Landowners; List of Abutting Landowners; Certificate of Service
5. Federal Communications Commission Authorization
6. Coverage Maps – Location of Proposed and Surrounding Cell Sites
7. Antenna and Equipment Specifications
8. Site Search Summary
9. Visual Impact Evaluation Report
10. Environmental Reviews/State Agency Comments
11. Wetland Impact Report and Soils Report; FIRM; CAM Report
12. Federal Airways & Airspace Summary Report
13. Redacted Lease Agreement – Melba Realty, LLC

EXECUTIVE SUMMARY

Cellco Partnership d/b/a Verizon Wireless (“Cellco”) proposes to construct a telecommunications tower disguised as a flagpole and related facility on an approximately 2.71-acre parcel at 234 Melba Street in the Bayview section of Milford, Connecticut (the “Property”). The Property is owned by Melba Realty LLC. For purposes of this application, Cellco identifies the proposed telecommunications facility as it’s “Bayview Facility”. The Bayview Facility will provide coverage and capacity relief along portions of Route 162 and local roads, as well as commercial and residential areas in the Bayview section of Milford, and portions of Long Island Sound.

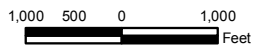
T-Mobile currently maintains an existing 135-foot flagpole tower at the Property. The existing flagpole supports AT&T antennas at the 90-foot and 100-foot levels, T-Mobile antennas at the 110-foot and 120-foot levels, and Sprint antennas at the 130-foot level. The T-Mobile tower is not structurally capable of supporting additional antennas nor can it be expanded.

Cellco proposes to construct a 136-foot flagpole tower, 42 inches in diameter on the Property to the west of the T-Mobile facility. Cellco will install a total of nine (9) panel-type antennas, three (3) PCS (1900 MHz) antennas at the 130-foot level, three (3) cellular (850 MHz) antennas at the 120-foot level, and three (3) LTE (700 MHz) antennas at the 110-foot level. Cellco would also install a 12’ x 24’ shelter located near the base of the tower to house its radio equipment and a propane fueled back-up generator. All improvements, including a 1,000 gallon propane tank, will be located within a 1,405 square-foot fenced compound. Vehicular access to the Bayview Facility would extend from Melba Street over an existing paved driveway and

commercial parking area a distance of approximately 405 feet. Utilities will extend from existing service on the Property.



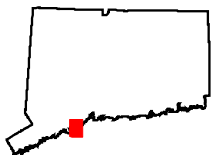
Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Milford (1984) and Woodmont (1971)



Vanasse Hangen Brustlin, Inc.

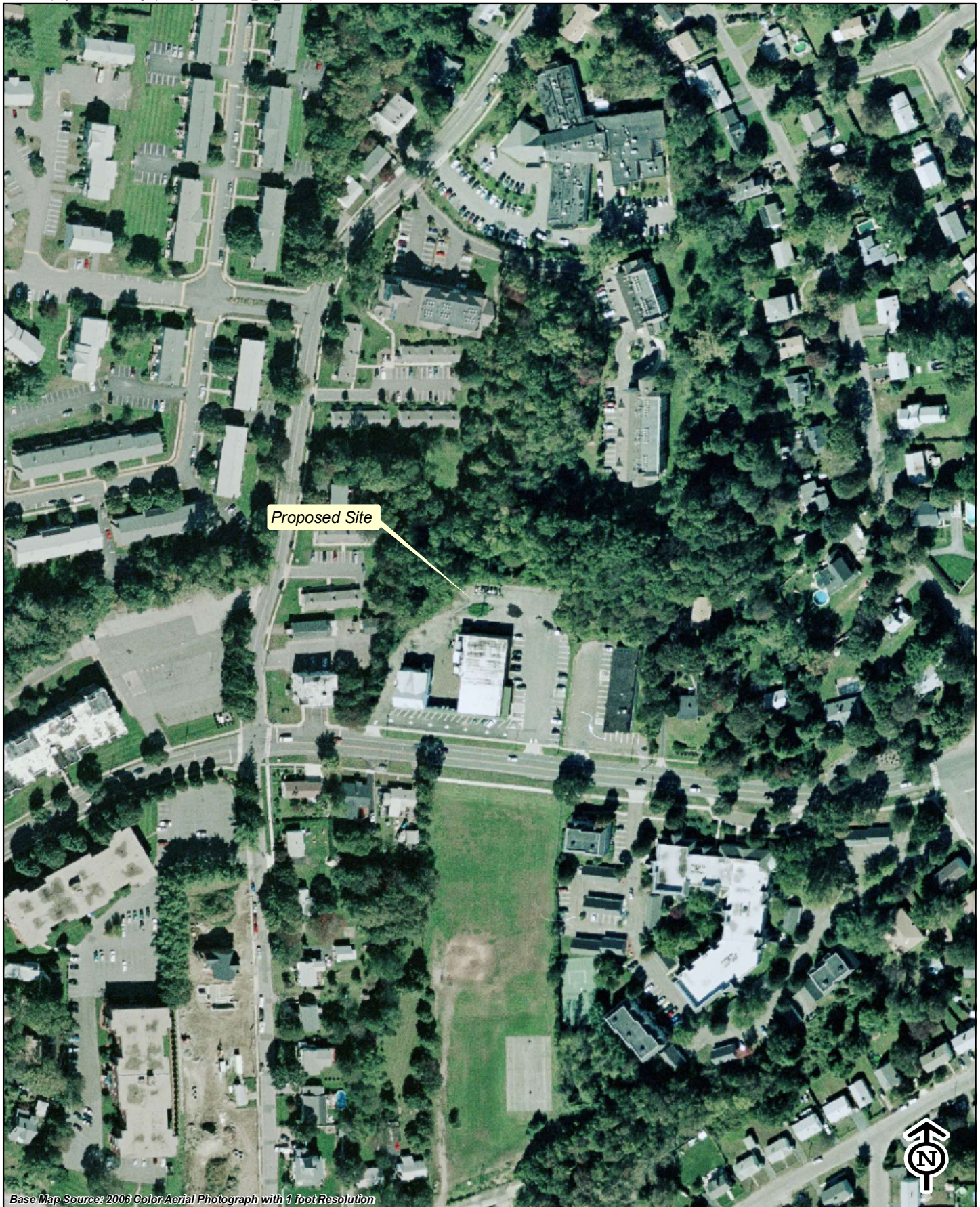
**USGS Topographic Map
Proposed Verizon Wireless
Telecommunications Facility**

**Site Location
Bayview
234 Melba Street
Milford, Connecticut**



Quadrangle Location





Proposed Site

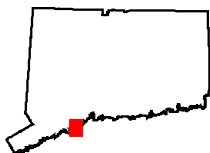
Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Vanasse Hangen Brustlin, Inc.

**Aerial Photograph
Proposed Verizon Wireless
Telecommunications Facility**

**Site Location
Bayview
234 Melba Street
Milford, Connecticut**



Quadrangle Location



**STATE OF CONNECTICUT
CONNECTICUT SITING COUNCIL**

IN RE: :
 :
 :
APPLICATION OF CELLCO PARTNERSHIP : **DOCKET NO. _____**
D/B/A VERIZON WIRELESS FOR A :
CERTIFICATE OF ENVIRONMENTAL :
COMPATIBILITY AND PUBLIC NEED FOR :
THE CONSTRUCTION, MAINTENANCE :
AND OPERATION OF A WIRELESS :
TELECOMMUNICATIONS FACILITY AT :
234 MELBA ROAD, BAYVIEW (MILFORD), :
CONNECTICUT : **OCTOBER 20, 2010**

**APPLICATION FOR CERTIFICATE OF
ENVIRONMENTAL COMPATIBILITY AND PUBLIC NEED**

I. INTRODUCTION

A. Authority and Purpose

This Application and the accompanying attachments (collectively, the “Application”) is submitted by Cellco Partnership d/b/a Verizon Wireless (“Cellco” or the “Applicant”), pursuant to Chapter 277a, Sections 16-50g et seq. of the Connecticut General Statutes (“C.G.S.”), as amended, and Sections 16-50j-1 et seq. of the Regulations of Connecticut State Agencies (“R.C.S.A.”), as amended. The Application requests that the Connecticut Siting Council (“Council”) issue a Certificate of Environmental Compatibility and Public Need (“Certificate”) for the construction, maintenance, and operation of a wireless telecommunications facility (the “Bayview Facility”), in the Bayview section (“Bayview”) of the City of Milford (the “City” or “Milford”), Connecticut. The proposed Bayview Facility would provide wireless services along

portions of Route 162 and local roads, as well as commercial and residential areas in Bayview and portions of Long Island Sound. Cellco currently experiences significant gaps in service in the Bayview area. Cellco can not provide reliable service to these areas from its existing Milford South, Forest Heights, Old Gate and Milford South 2 cell sites that surround the Bayview area. Cellco's Milford South cell site consists of antennas at the 67-foot level on a smoke stack at 200 High Street in Milford, located approximately 2.7 miles northwest of the Bayview Facility. Cellco's Forest Heights cell site consists of antennas at the 76.5 and 82.5-foot levels on a flagpole tower on the roof of a building at 1052 Boston Post Road in Milford, located approximately 2.3 miles northwest of the Bayview Facility. Cellco's Old Gate cell site consists of antennas at the 100-foot level on a 120-foot tower at 311 Old Gate Lane in Milford, located approximately 1.7 miles north of the Bayview Facility. Cellco's Milford South 2 cell site consists of antennas at the 126-foot level on a 185-foot tower at 185 Research Drive in Milford, located approximately 2.2 miles northeast of the Bayview Facility.

The Bayview Facility would be located in the westerly portion of a 2.71 acre parcel at 234 Melba Street in Milford (the "Property"). The Property is located in the Town's BD-Business zone district and is currently used for commercial (retail) purposes. The Bayview Facility will provide reliable service to a 0.2 mile portion of Route 162 and an overall area of 5.5 square miles at PCS (1900 MHz) frequencies; a 0.80 mile portion of Route 162 and an overall area of 6.8 square miles at cellular (850 MHz) frequencies; and a 0.85 mile portion of Route 162 and an overall area of 6.96 square miles at LTE (700 MHz) frequencies.

If this application is approved by the Council, Cellco will construct a 136-foot self-supporting flagpole tower. Cellco would install a total of nine (9) panel-type antennas, three (3)

PCS (1900 MHz) antennas at a centerline height of 130 feet; three (3) cellular (850 MHz) antennas at a centerline height of 120 feet; and three (3) LTE (700 MHz) antennas at a centerline height of 110 feet. Cellco's antennas would be concealed behind RF transparent screening panels and all antenna cables will run inside the monopole structure. To accommodate all of Cellco's antennas and antenna cables, the upper portion of the flagpole tower will maintain a diameter of 42 inches. The flagpole tower will maintain a base diameter of approximately 56 inches. Equipment associated with Cellco's antennas and a propane-fueled back-up generator would be located inside a 12' x 24' shelter installed near the base of the tower. A 1,000 gallon propane tank would be located immediately north of Cellco's shelter. All facility improvements would be located within a 1,405 square foot fenced compound area. Vehicular access to the Bayview Facility would extend from Melba Street over an existing paved driveway, a distance of approximately 405 feet, to the cell site. Utilities will extend from existing service on the Property.

The flagpole tower would be designed to accommodate additional carriers as well as municipal emergency services antennas if a need exists. Cellco's limited leased compound area, however, does not offer adequate ground space for any additional carriers. Future carriers in need of additional ground space would be required to enter into separate lease agreements with the Property owner.

Cellco's equipment shelter would house radio and related equipment, including (a) receiving, transmitting, switching, processing and performance monitoring equipment; and (b) automatic heating and cooling equipment. A propane-fueled back-up generator would be installed in a segregated generator room within the shelter for use during power outages and periodically for

maintenance purposes. A 1,000 gallon propane tank would be located immediately north of the equipment shelter.

The tower, equipment shelter and propane tank would be enclosed by an 8-foot high security fence and gate. Cellco's equipment building would be equipped with a silent intrusion and systems alarm and will be monitored on a 24-hour basis to receive and to respond to incoming alarms or other technical problems. The equipment building would remain unstaffed, except as required for maintenance. Once the cell site is operational, maintenance personnel will visit the site on a monthly basis. More frequent visits may be required if there are problems with the cell site equipment.

Included in this Application as Attachment 1 is a factual summary and project plans for the proposed Bayview Facility. This summary, along with the other attachments submitted as part of this Application, contains all of the site-specific information required by statute and the regulations of the Council.

If approved, Cellco's Bayview Facility would be the second flagpole tower on the Property. T-Mobile currently maintains a 135-foot flagpole tower located approximately 124 feet to the east of the proposed Bayview Facility. The T-Mobile flagpole tower currently supports AT&T antennas at the 90 and 100-foot levels, T-Mobile antennas at the 110 and 120-foot levels and Sprint antennas at the 130-foot level. The T-Mobile flagpole tower is not structurally capable of supporting additional antennas. To accommodate T-Mobile, AT&T, Sprint and Cellco antennas on a single flagpole structure, the height of the structure would need to increase to 165 feet, with Cellco's

antennas at the 140, 150 and 160-foot levels. In this instance, a second flagpole tower of 136 feet would allow Cellco to satisfy its needs in the area with less overall environmental effect.¹

B. The Applicant

Cellco is a Delaware Partnership with an administrative office located at 99 East River Drive, East Hartford, CT, 06108. Cellco is licensed by the Federal Communications Commission (“FCC”) to operate a wireless telecommunications system in the State of Connecticut within the meaning of C.G.S. Section 16-50i(a)(6). Operation of the wireless telecommunications systems and related activities are Cellco’s sole business in the State of Connecticut.

Cellco has extensive national experience in the development, construction and operation of wireless telecommunications systems and the provision of wireless telecommunications service to the public.

Correspondence and/or communications regarding this Application may be addressed to:

Sandy Carter, Regulatory Manager
Verizon Wireless
99 East River Drive
East Hartford, Connecticut 06108

A copy of all such correspondence or communications should also be sent to the applicant’s attorneys:

Robinson & Cole LLP
280 Trumbull Street
Hartford, Connecticut 06103-3597
(860) 275-8200
Attention: Kenneth C. Baldwin, Esq.

¹ In Council Docket No. 309, the Council approved the use of two shorter towers, rather than one taller, larger diameter structure as a way to satisfy the needs of multiple carriers while, at the same time, reducing the facility’s overall environmental effect. In this case, Cellco was able to accommodate the needs of five wireless carriers on two flagpole towers behind the Round Hill Community Church.

C. Application Fee

The estimated total construction cost for the Bayview Facility would be less than \$5,000,000. Therefore, pursuant to Section 16-50v-1a(b) of the Regulations of Connecticut State Agencies, an application fee of \$1,250 accompanies this Application in the form of a check payable to the Council.

II. SERVICE AND NOTICE REQUIRED BY C.G.S. SECTION 16-50l(b)

Copies of this Application have been sent by certified mail, return receipt requested, to municipal, regional, state and federal officials, pursuant to C.G.S. Section 16-50l(b). A certificate of service, along with a list of the parties served with a copy of the Application, is included as Attachment 2.

Notice of Cellco's intent to submit this Application was published on October 14 and 15, 2010, in the *Connecticut Post* pursuant to C.G.S. Section 16-50l(b). A copy of the published legal notice is included as Attachment 3. A Publisher's Affidavit or Certificate of Publication will be submitted to the Council as soon as it is available.

Attachment 4 contains a certification that notice of Cellco's intent to file this application was sent to each person appearing in the Town's Assessor's records as an owner of property that may be considered to abut the Property in accordance with C.G.S. Section 16-50l(b), along with a list of the property owners to whom such notice was sent and a sample notice letter.

III. REQUIRED INFORMATION: PROPOSED WIRELESS FACILITY

The purpose of this section is to provide an overview and general description of the wireless facility proposed to be installed at the Property.

A. General Information

Prior to the 1980's, mobile telephone service was characterized by insufficient frequency availability, inefficient use of available frequencies and poor quality of service. These limitations generally resulted in problems of congestion, blocking of transmissions, interference, lack of coverage and relatively high cost. Consequently, the FCC, in its Report and Order released May 4, 1981 in FCC Docket No. 79-318, recognized the public need for technical improvement, wide-area coverage, high quality service and a degree of competition in mobile telephone service.

More recently, the federal Telecommunications Act of 1996 (the "Act") emphasized and expanded on these aspects of the FCC's 1981 decision. Among other things, the Act recognized an important nationwide public need for high-quality wireless telecommunication services of all varieties. The Act also expressly promotes competition and seeks to reduce regulation in all aspects of the telecommunications industry in order to foster lower prices for consumers and to encourage the rapid deployment of new telecommunications technologies.

Cellco's proposed Bayview Facility would be part of the expanding wireless telecommunications network envisioned by the Act and has been developed to help meet these nationwide goals. In particular, Cellco's system has been designed, and the cell sites proposed in this Application have been selected, so as to maximize the geographical coverage and quality of service while minimizing the total number of cell sites required.

Because the FCC and the United States Congress have determined that there is a pressing public need for high-quality wireless telecommunications service nationwide, the federal government has preempted the determination of public need by states and municipalities, including the Council, with respect to public need for the service to be provided by the proposed facility. In

addition, the FCC has promulgated regulations containing technical standards for wireless systems, including design standards, in order to ensure the technical integrity of each system and nationwide compatibility among all systems. State and local regulation of these matters is likewise preempted. The FCC has also exercised its jurisdiction over and preempted state and local regulation with respect to radio frequency interference issues by establishing regulations in this area as well.

Pursuant to FCC authorizations, Cellco has constructed and currently operates a wireless system throughout Connecticut. This system, together with Cellco's system throughout its east coast and nationwide markets, has been designed and constructed to operate as one integrated, contiguous system, consistent with Cellco's business policy of developing compatibility and continuity of service on a regional and national basis.

Recognizing the public safety benefits that enhanced wireless telecommunications networks can provide, the United States, Congress also enacted the Wireless Communications and Public Safety Act of 1999 to promote and enhance public safety by making 911 the universal emergency assistance number, furthering the deployment of wireless 911 capabilities and further encouraging the construction and operation of seamless, ubiquitous and reliable wireless networks. In 2004, Congress enacted the Enhanced 911 Act for the specific purpose of enhancing and promoting Homeland Security, public safety and citizen activated emergency response capabilities. These goals and other related responsibilities imposed on wireless service providers can only be satisfied if Cellco maintains a ubiquitous and reliable wireless network.

Included as Attachment 5 is a copy of the FCC's authorization issued to Cellco for its wireless service in New Haven County, Connecticut. The FCC's rules permit a licensee to modify its system, including the addition of new cell sites, without prior approval by the FCC, as long as

the licensee's authorized service area is not enlarged. The Bayview Facility would not enlarge Cellco's authorized service area.

B. Public Need and System Design

1. Public Need

As noted above, the Act has pre-empted any state or local determination of public need for wireless services. In New Haven County, Cellco holds FCC Licenses to provide wireless services in the 850 MHz (cellular), 1900 MHz (PCS) and 700 MHz (LTE) frequency ranges. Pursuant to its FCC Licenses, Cellco has developed and continues to develop a network of cell sites to serve the demand for wireless service in the area. Cellco's network currently provides coverage in the southerly portion of Milford from its existing Milford South, Forest Heights, Old Gate and Milford South 2 cell sites. Coverage from these existing facilities, alone and together with the coverage from the proposed Bayview Facility are included as Attachment 6.²

2. System Design and Equipment

a. System Design

Cellco's wireless system in general and the proposed Bayview Facility, in particular, have been designed and developed to allow Cellco to achieve and to maintain high quality, reliable wireless service without interruption from dropped calls and interference.

The system design provides for frequency reuse and hand-off, is capable of orderly expansion and is compatible with other wireless systems. The resulting quality of service compares favorably with the quality of service provided by conventional wireline telephone service. The wireless system is designed to assure a true cellular configuration of base transmitters and receivers

² Coverage in Cellco's 700 MHz frequency range is depicted on a "stand alone" coverage plot at the proposed Bayview Facility. LTE service has not been activated at any of Cellco's existing cell sites in New Haven County.

in order to cover the proposed service area effectively while providing the highest quality of service possible. Cell site transmissions are carefully tailored to the FCC's technical standards with respect to coverage and interference and to minimize the amount of power that is radiated.

Mobile telephone switching offices ("MTSOs") in Windsor and Wallingford are interconnected and operate Cellco's wireless systems in Connecticut as a single network, offering the subscriber uninterrupted use of the system while traveling throughout the State. This network is further interconnected with the local exchange company ("LEC") and inter-lata (long distance) carriers network.

Cellco has designed its wireless system in conformity with applicable standards and constraints for wireless systems. Cellco's system is also designed to minimize the need for additional cell sites in the absence of additional demand or unforeseen circumstances.

b. Cellular System Equipment

The key elements of the cellular system are the two MTSOs located in Windsor and Wallingford and the various connector cell sites around the State. Cellco's CDMA wireless networks are deployed on two platforms: the earlier AUTOPLEX system, using Series II base stations, and the newer FLEXENT CDMA system, using smaller, more compact modular base stations. Because the Series II base stations are no longer manufactured, the newer CDMA systems, using smaller, more compact modular base stations are used for all current installations.

The major electronic components of each cell site are radio frequency transmission and receiving equipment and cell site controller equipment. Cellco's cellular system uses Lucent Flexent® Modular Cell 4.0B cell site equipment to provide complete cell site control and performance monitoring. This equipment is capable of expanding in modules to meet system

growth needs. The cell site equipment primarily provides for: message control on the calling channel; call setup and supervision; radio frequency equipment control; internal diagnostics; response to remote and local test commands; data from the mobile or portable unit in both directions and on all channels; scan receiver control; transmission of power control commands; rescanning of all timing; and commands and voice channel assignment. Additional information with respect to the Lucent Flexent® Modular Cell 4.0B equipment is contained in Attachment 7.

3. Technological Alternatives

Cellco submits that there are no equally effective technological alternatives to the proposal contained herein. In fact, Cellco's wireless system represents state-of-the-art technology offering high-quality service. Cellco is aware of no viable and currently available alternatives to its system design for carriers licensed by the FCC.

C. Site Selection and Tower Sharing

1. Cell Site Selection

Cellco's goal in selecting cell sites such as the one proposed here is to locate its facility in such a manner as to allow it to build and to operate a high-quality wireless system with the least environmental impact. Cellco has determined that the proposed Bayview Facility will satisfy this goal and is necessary to resolve existing coverage problems and to provide high-quality reliable service along portions of Route 162 and local roads, as well as commercial and residential land use in the area and portions of Long Island Sound.

The methodology of cell site selection for Cellco's wireless system generally limits the search for possible locations to specific locations on the overall grid for the area. A list of existing towers or other non-tower structures considered is included in Attachment 8. With the exception of the existing T-Mobile flagpole tower on the Property, Cellco currently shares each of the existing

towers in the area including those sites identified on the coverage maps. (See Attachment 6). These existing tower sites cannot satisfy Cellco's coverage objectives for its Bayview search area. Cellco also regularly investigates the use of existing, non-tower structures in an area, when available, as an alternative to building a new tower. No existing non-tower structures of suitable height exist in the Bayview area. The site search summary, together with the site information contained in Attachment 1, support Cellco's position that the site selected represents the most feasible alternative of the sites investigated.

2. Tower Sharing

Cellco will design its Bayview Facility tower so that it could be shared by additional wireless carriers and the City, if a need exists. Antenna centerline heights of 100 and 90 feet will be available for future use. This type of tower sharing arrangement would reduce, if not eliminate, the need for these other carriers or municipal entities to develop a separate tower in this same area in the future. As of the date of this filing, no other carrier has expressed any interest in the Bayview Facility.

D. Cell Site Information

1. Site Facilities

At the Bayview Facility, Cellco would construct a 136-foot tall flagpole-type tower and install a total of nine (9) panel-type antennas. Three (3) PCS antennas will maintain a centerline height of 130 feet; three (3) cellular antennas will maintain a centerline height of 120 feet; and three (3) LTE antennas will maintain a centerline height of 110 feet. To accommodate its antennas and antenna cables the diameter of the flagpole will be 42 inches. Cellco would also install a 12' x 24' single-story shelter near the base of the tower to house Cellco's receiving, transmitting, switching, processing and performance monitoring equipment and the required heating and cooling equipment.

A propane-fueled generator would be installed within a segregated room in Cellco's equipment shelter for use during power outages and periodically for maintenance purposes. The tower, equipment shelter and a 1000 gallon propane tank would be surrounded by an 8-foot high security fence and gate. (See Attachment 1).

The equipment shelter would be equipped with silent intrusion and systems alarms. Cellco personnel will be available on a 24-hour basis to receive and to respond to incoming alarms. The equipment building will remain unstaffed, except as required for periodic maintenance purposes.

2. Overall Costs and Benefits

Aside from the limited visual impacts discussed further below, Cellco believes that there are no significant costs attendant to the construction, maintenance, and operation of the proposed cell site. In fact, the public will benefit substantially from its increased ability to receive high-quality, reliable wireless service in southerly portion of Milford.³ The Bayview Facility would be a part of a communications system that addresses the public need identified by the FCC and the United States Congress for high-quality, competitive mobile and portable wireless service. Moreover, the proposed cell site would be part of a system designed to limit the need for additional cell sites in the future.

The overall costs to Cellco for development of the proposed cell site are set forth in Section III.E. of the Application.

³ Businesses across the State have become more dependent on wireless telecommunication services. The public safety benefits of wireless telephone service are illustrated by the Connecticut State Police enhanced 911 ("E-911") emergency calling system. The E-911 emergency calling system is available statewide to all wireless telephone users. Numerous other emergency service organizations have turned to wireless telephone service for use during natural disasters and severe storms when wireline service is interrupted or unavailable.

3. **Environmental Compatibility**

Pursuant to Section 16-50p of the General Statutes, in its review of the Application, the Council is required to find and to determine, among other things, the nature of the probable environmental impact, including a specification of every significant adverse effect of the Bayview Facility, whether alone or cumulatively with other effects, on, and conflicting with the policies of the state concerning the natural environment, ecological balance, public health and safety, scenic, historic and recreational values, forests and parks, air and water purity and fish and wildlife.

a. **Primary Facility Impact is Visual**

The wireless system of which the proposed Bayview Facility would be a part has been designed to meet the public need for high-quality, reliable wireless service while minimizing any potential adverse environmental impact. In part because there are few, if any other adverse impacts, the primary impact of facilities such as this is visual. This visual impact will vary from location to location around a tower, depending upon factors such as vegetation, topography, the distance of nearby properties from the tower and the location of buildings and roadways in a “sight line” toward the tower. Similarly, visual impact of a tower facility can be further reduced through the proper use of alternative tower structures; so-called “stealth installations.” Where appropriate, telecommunications towers disguised as flagpoles or camouflaged as trees, can help to further reduce visual impacts associated with these structures. Attachment 9 contains a detailed Visual Resource Evaluation Report, prepared by VHB, Inc. (the “VHB Report”) that assesses the visual impact of the existing 135’ tall flagpole tower and Cellco’s proposed 136’ flagpole tower and includes photosimulations of the new tower at this site for the Council’s consideration. According to the VHB Report, areas where the tower would be visible above the tree canopy comprise approximately 3,276 acres, a vast majority of which 3,258 acres or 99% is over the open water of

Long Island Sound. Areas where seasonal views are anticipated comprise of approximately 34 additional acres and are generally limited to the immediate vicinity of the Bayview Facility.

Approximately 81 residential properties may have, at least, partial year-round views of the Bayview Facility tower. Limited seasonal views of the Bayview Facility are anticipated from portions of approximately 73 additional residential properties.

Weather permitting, Cellco will raise a balloon with a diameter of at least three (3) feet at the proposed cell site on the day of the Council's hearing on this Application, or at a time otherwise specified by the Council.

b. Environmental Reviews and Agency Comments

Section 16-50j of the General Statutes requires the Council to consult with and to solicit comments on the Application from the Commissioners of the Departments of Environmental Protection, Public Health, Public Utility Control, Economic Development, and Transportation, the Council on Environmental Quality, and the Office of Policy and Management, Energy Division. In addition to the Council's solicitation of comments, Cellco, as a part of its National Environmental Policy Act ("NEPA") Checklist, solicits comments on the proposed facility from the U.S. Department of the Interior, Fish and Wildlife Service ("USFWS"), Environmental and Geographic Information Center of the Connecticut Department of Environmental Protection ("DEP") and the Connecticut Historical Commission, State Historic Preservation Officer ("SHPO"). Information on the USFWS and DEP reviews regarding impacts on known populations of Federal or State Endangered, Threatened or Special Concern Species occurring at the proposed site are included in Attachment 10. According to the USFWS letter dated January 4, 2010, the Piping Plover, a federally-listed threatened species occurs in Milford, Connecticut. As discussed in his USFWS

Compliance Determination Memorandum dated April 2, 2010, Dean Gustafson from VHB, Inc. determined that the Property does not contain the habitat (coastal sandy beaches) needed to support the Piping Plover. He concludes, therefore, that “the proposed [flagpole tower] development will not result in an adverse affect on this listed species”.

In a December 30, 2009 letter, the DEP also confirmed that there are no known extant populations of Federal or State Endangered, Threatened or Special Concern species that occur at the Property. A copy of the USFWS information, Mr. Gustafson’s April 2, 2010 memorandum and the DEP’s December 30, 2009 letter are included in Attachment 10.

Also included in Attachment 10 is an August 26, 2010 letter from the SHPO confirming that the Bayview Facility will have no effect on historic, architectural or archeological resources listed on or eligible for the National Register of Historic Places.⁴

This review by federal and state agencies furnishes ample expert opinion on the potential environmental impacts from the Bayview Facility, in the context of the criteria which the Council must consider.

c. Non-Ionizing Radio Frequency Radiation

The FCC has adopted a standard for exposure to Radio Frequency (“RF”) emissions from telecommunications facilities like the one proposed in this Application. To ensure compliance with the applicable standards, Cellco has performed maximum power density calculations for the proposed cell site according to the methodology prescribed by the FCC Office of Engineering and

⁴ The SHPO issued a “no-effect” determination for the Bayview Facility on January 13, 2010. After modifying its proposal to a taller, 136-foot (42 inch diameter structure), Cellco asked the SHPO to review the revised tower plan. The August 26, 2010 response from SHPO reiterates its previous opinion that the proposed facility will have “no effect” on historic, architectural or archeological resources listed on or eligible for the National Register of Historic Places.

Technology Bulletin No. 65E, Edition 97-01 (August 1997) (“OET Bulletin 65”). The calculation is a conservative, worst-case approximation for RF power density levels at the closest accessible point to the antennas, in this case the base of the tower, and with all antennas transmitting simultaneously on all channels at full power. The calculations indicate that the maximum power density level for Cellco’s cellular, PCS and LTE antennas would be 19.05% of the Standard at the Bayview Facility.

d. Other Environmental Issues

No sanitary facilities are required for the Bayview Facility. The operations at the Bayview Facility will not cause any significant air, water, noise or other environmental impacts, or hazard to human health.

Based on agency comments received and field investigations by Cellco’s project team, Cellco submits that the proposed facility will have no significant adverse effect on scenic, natural, historic or recreational features, and that none of the potential effects from the Bayview Facility alone or cumulatively with other effects is sufficient reason to deny this Application.

4. Consistency with Local Land Use Controls

The Council Application Guide for Community Antenna Television and Telecommunication Facilities, as amended in April, 2010, requires the inclusion of a narrative summary of the project’s consistency with the Town’s Plan of Development and Zoning Regulations, as well as a description of planned and existing uses of the site location and surrounding properties.

a. Planned and Existing Land Uses

The proposed Bayview Facility would be located in the westerly portion of an approximately 2.71-acre parcel owned by Melba Realty LLC. The Property is zoned BD-

Business District and used for commercial/retail purposes. The Property is surrounded by single family and multi-family residential, commercial and institutional (elderly care facility) land uses.

b. Town Plan of Conservation and Development

The City of Milford Plan of Conservation & Development (the “Plan”) effective date September 20, 2002, does not identify telecommunications towers as a land use consistent or inconsistent with the general planning and conservation policies of the City of Milford. Four (4) copies of the Plan were filed as a Bulk File Exhibit on October 20, 2010.

c. Zoning Regulations

According to the Milford Zoning Map, the Property is located in the BD-Business District. “Communication buildings, stations or towers” is not a use listed as permitted use or Special use in the BD zone. Four (4) copies of the Milford Zoning Regulations were submitted as a bulk file exhibit on October 20, 2010.

Section 5.12 of the Milford Zoning Regulations subject all buildings partially or fully within the coastal boundary to Coastal Site Plan review requirements. Even though the requirements are pre-empted by the Council’s exclusive jurisdiction, Cellco has evaluated the Bayview Facility for consistency with the Connecticut Coastal Zone Management Act. A copy of this analysis is included in Attachment 11. This analysis concludes that the Bayview Facility, while located in the coastal boundary, is not likely to have an “adverse impact on coastal resources”.

d. Inland Wetlands and Watercourses Regulations

The Inland Wetlands and Watercourses Regulations of the Town of Milford (the “IWW Regulations”) define Regulated Activity as any operation within, or use of, a wetland or watercourse or deposition of material or any obstruction, construction, alteration or pollution, of

such wetlands or watercourses, and any earth moving, filling, construction, or clear cutting of trees or discharge of waters. Regulated areas also includes any such activity within 100 feet of the wetland edge. Four (4) copies of the Milford IWW Regulations were filed as a Bulk File Exhibit on October 20, 2010.

Dean Gustafson, Professional Soil Scientist with VHB, Inc., conducted a field investigation and completed a Wetlands Delineation Report and Wetland Impact Analysis for development of the Bayview Facility. Mr. Gustafson identified a wetland area in the northerly portion of the Property, approximately 13 feet from the northern edge of the proposed facility compound. (See Plan Sheet C-1A behind Attachment 1). There are, however, no direct impacts to any federal or state wetlands on the Property.

In accordance with the Connecticut Soil Erosion Control Guidelines, as established by the Council for Soil and Water Conservation, adequate and appropriate soil erosion and sedimentation control measures will be established and maintained throughout the cell site construction period. In addition, Cellco will employ appropriate construction management practices to ensure that no pollutants are discharged to any nearby watercourse or wetland areas or to area groundwater during the construction process.

According to the Federal Emergency Management Agency Flood Insurance Rate Map ("FIRM"), Community Panel Number 0900820003D (Map Revised: July 2, 1987), the Facility would be located in the unshaded Flood Zone X, an area of minimal flooding outside the 500 year flood level. A copy of the FIRM is also included in Attachment 11.

5. Local Input

Section 16-50(e) of the Connecticut General Statutes, as amended, requires local input on matters before the Council. On May 5, 2010, Cellco representatives met with Mayor James L. Richetelli, Jr. to commence the 60-day municipal consultation process, prior to the filing of the Council application. Mayor Richetelli received copies of technical information summarizing Cellco's plans to establish the Bayview Facility. At this time, the technical information submitted to the Town describes a 126-foot flagpole tower that maintains a top of tower diameter of 54 inches. On August 10, 2010, Mayor Richetelli was notified of Cellco's plans to modify the flagpole tower and proceed with a 136-foot tall flagpole tower, with a diameter of only 42 inches at the top of the structure. The City of Milford has yet to offer any formal comments on the Bayview Facility proposal.

6. Consultations With State and Federal Officials

Attachments 10 and 12 and Section III.D. of the Application describe Cellco's consultations with state and federal officials regarding Cellco's proposed Bayview Facility.

a. Federal Communications Commission

The FCC did not review this particular proposal. As discussed above, FCC approval is not required where the authorized service area is not enlarged.

b. Federal Aviation Administration

As it does with all of its tower applications, Cellco prepared a Federal Airways & Airspace Summary Report for the proposed Bayview Facility to determine if the proposed flagpole tower would constitute an obstruction or hazard to air navigation. This report confirms, pursuant to FAA standards and guidelines, that the proposed tower would not constitute an obstruction or hazard to

air navigation and therefore no obstruction marking or lighting would be required. A copy of the Federal Airways & Airspace Summary Report is included in Attachment 12.

c. United States Fish and Wildlife Service

According to the USFWS, the Piping Plover, a federally-listed threatened species occurs in the Milford, Connecticut area. The Piping Plover is a migratory breeder in Connecticut, nesting only at coastal sandy beaches. Dean Gustafson with VHB, Inc. has completed a site investigation and determined that the Property does not contain coastal sandy beaches. The Bayview Facility will not, therefore, have an adverse effect on this listed species. (See VHB Memorandum dated April 2, 2010, included in Attachment 10).

d. Connecticut Department of Environmental Protection

(1) Environmental and Geographic Information Center

As discussed above, the DEP determined that there are no extant populations of Federal or State Endangered, Threatened or Special Concern Species that occur at the Property. (See DEP correspondence dated December 30, 2009, included in Attachment 10).

(2) Bureau of Air Management

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this Application will require the issuance of a permit from the DEP Bureau of Air Management. As proposed, this emergency generator will be run only during the interruption of utility service to the cell site and periodically as required for maintenance purposes. Cellco will obtain the necessary permit prior to installing the generator at the Bayview Facility.

e. **Connecticut State Historic Preservation Officer**

As discussed above, Attachment 10 also includes the SHPO's determination that the proposed Bayview Facility will have no effect on historic, architectural or archaeological resources listed on or eligible for the National Register of Historic Places.

E. Estimated Cost and Schedule

1. Overall Estimated Costs

The total estimated cost of construction of the proposed facility is \$733,000. This estimate includes:

(1)	Cell site radio equipment of approximately	\$450,000
(2)	Tower, coax and antenna costs of approximately	150,000
(3)	Power systems costs of approximately	40,000
(4)	Equipment building costs of approximately	50,000
(5)	Miscellaneous costs (including site preparation and installation) of approximately	43,000

2. Overall Scheduling

Site preparation and engineering would commence following Council approval of Cellco's Development and Maintenance ("D&M") Plan and are expected to be completed within two to four weeks. Due to the delivery schedules of the manufacturers, installation of the building and installation of the tower are expected to take an additional two weeks. Equipment installation is expected to take an additional two weeks after installation of the building and installation of the tower. Cell site integration and system testing is expected to require two weeks after equipment installation.

IV. CONCLUSION

Based on the facts contained in this Application, Cellco submits that the establishment of the Bayview Facility, at the Property will not have any substantial adverse environmental effects. A public need exists for high quality reliable wireless service in the Bayview area, as determined by the FCC and the United States Congress, and a competitive framework for providing such service has been established by the FCC and the Telecommunications Act of 1996. Cellco submits that the public need far outweighs any potential environmental effects resulting from the construction of the Bayview Facility.

WHEREFORE, Cellco respectfully requests that the Council grant this Application for a Certificate of Environmental Compatibility and Public Need for the proposed Bayview Facility.

Respectfully submitted,

CELLCO PARTNERSHIP D/B/A VERIZON
WIRELESS

By: 

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, Connecticut 06103-3597
(860) 275-8200
Attorneys for the Applicant

MILFORD

**Bayview Facility
234 Melba Street
Milford, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

TABLE OF CONTENTS

	Page
GENERAL CELL SITE DESCRIPTION.....	1
U.S.G.S. TOPOGRAPHIC MAP.....	2
AERIAL PHOTOGRAPH.....	3
SITE EVALUATION REPORT.....	4
FACILITIES AND EQUIPMENT SPECIFICATION.....	6
ENVIRONMENTAL ASSESSMENT STATEMENT.....	7

SITE NAME: BAYVIEW – 234 Melba Street, Milford, CT

GENERAL CELL SITE DESCRIPTION

The proposed cell site would be located in the westerly portion of an approximately 2.7 acre parcel at 234 Melba Street (“Property”). The Property is owned by Melba Realty LLC. The facility would consist of a 136-foot flagpole telecommunications tower and a 12’ x 24’ equipment shelter to house Cellco’s radio equipment and a propane-fueled back-up generator. A 1,000 gallon propane tank would be installed to the north of the shelter. All Bayview Facility improvements would be located within a 1,405 square-foot leased compound. Cellco would install a total of nine (9) antennas at centerline heights of 130-feet, 120-feet and 110-feet. All antennas will be installed behind RF transparent screening panels. Vehicular access to the site would extend from Melba Street over an existing paved driveway and parking area, a distance of approximately 405 feet to the cell site. Utility service would extend underground from existing service on the Property.



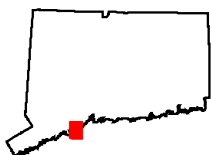
Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Milford (1984) and Woodmont (1971)



Vanasse Hangen Brustlin, Inc.

**USGS Topographic Map
Proposed Verizon Wireless
Telecommunications Facility**

**Site Location
Bayview
234 Melba Street
Milford, Connecticut**



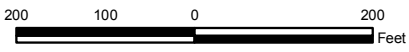
Quadrangle Location





Proposed Site

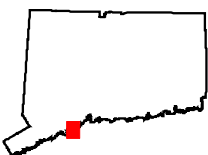
Base Map Source: 2006 Color Aerial Photograph with 1 foot Resolution



Vanasse Hangen Brustlin, Inc.

**Aerial Photograph
Proposed Verizon Wireless
Telecommunications Facility**

**Site Location
Bayview
234 Melba Street
Milford, Connecticut**



Quadrangle Location



SITE EVALUATION REPORT

SITE NAME: BAYVIEW – 234 Melba Street, Milford, CT

I. LOCATION

- A. COORDINATES: 41°-12'-35.52" N 73°-01'-09.87" W
- B. GROUND ELEVATION: Approximately 30± feet AMSL
- C. USGS MAP: Milford, CT
- D. SITE ADDRESS: 234 Melba Street, Milford, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is in the BD Business district, R-7.5 and R-5 single-family Residential zone districts and the RMF-16 Multi-Family Residential zone districts.

II. DESCRIPTION

- A. SITE SIZE: 1,405 square-foot leased area
- B. LESSOR'S PARCEL: Approximately 2.7 acres
- C. TOWER TYPE/HEIGHT: 136' Flagpole Tower
- D. SITE TOPOGRAPHY AND SURFACE: Topography on the Property is generally flat. No clearing and minimal grading of the site compound will be required.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower is located in the westerly portion of a 2.7 acre parcel. A wetland area exists within 13 feet of the northern-most portion of the site compound.
- F. LAND USE WITHIN 1/4 MILE OF SITE: The subject parcel is used for commercial/retail purposes today. Within ¼ mile of the subject site are a mix of commercial, single-family residential and multi-family residential land uses.

III. FACILITIES

- A. POWER COMPANY: United Illuminating
- B. POWER PROXIMITY TO SITE: Approximately 140 feet to the east of the cell site.
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend from Melba Street over an existing paved driveway and parking areas a distance of approximately 405 feet.
- F. CLEARING AND FILL REQUIRED: No clearing and minimal grading will be required for construction of the tower and site compound area. Detailed construction plans would be developed after approval by the Siting Council.

IV. LEGAL

- A. PURCHASE LEASE
- B. OWNER: Melba Realty LLC
- C. ADDRESS: P.O. Box 7014, Prospect, CT 06714
- D. DEED ON FILE AT: City of Milford, CT Land Records

Vol. 2273 Page 471

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: BAYVIEW – 234 Melba Street, Milford, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the facility. There are no lakes, ponds, rivers, streams, wetlands or other regulated bodies of water located in the area to be used for the access drive, tower or equipment shelter. The equipment used will not discharge any pollutants to area surface or groundwater systems.

B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at the site would emit no air pollutants of any kind. For limited periods during power outages and periodically for maintenance purposes, minor levels of emissions from the on-site generator would result.

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this application would require the issuance of a Connecticut Department of Environmental Protection Air Bureau permit for potential emissions. Cellco would obtain this permit prior to installing the generator at the approved cell site.

C. LAND

No clearing and minimal grading of the tower compound will be required. Cellco does not anticipate the need for any significant construction activity associated with the new access drive.

D. NOISE

The equipment to be in operation at the site after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator which would be run during power failures and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's cellular, PCS and LTE antennas at the Bayview Facility would be 19.05% of the Standard.

F. VISIBILITY

See Visual Resource Evaluation Report included as Attachment 9.

Cellco Partnership

d.b.a. **verizon** wireless

WIRELESS COMMUNICATIONS FACILITY

BAYVIEW

234 MELBA STREET
MILFORD, CT 06461

SITE DIRECTIONS

FROM: 99 EAST RIVER DRIVE EAST HARTFORD, CONNECTICUT **TO:** 234 MELBA STREET MILFORD, CONNECTICUT

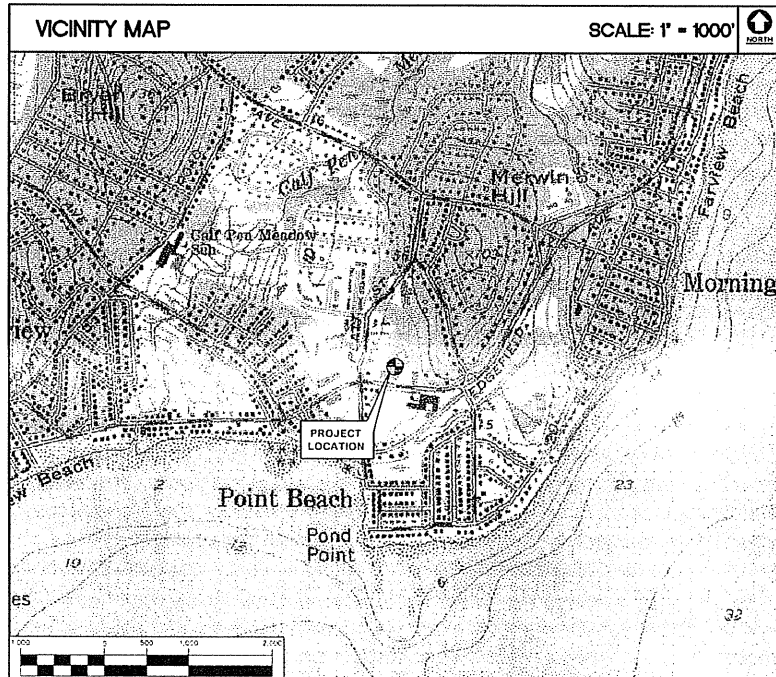
1. Start out going EAST on E RIVER DR toward PITKIN ST. 1.3 mi
2. Merge onto US-5 S/CT-15 S toward I-95 S/NEW HAVEN. 1.1 mi
3. Merge onto I-91 S via EXIT B6 toward NEW HAVEN/N.Y. CITY. 36.6 mi
4. Merge onto I-95 S/GOVERNOR JOHN DAVIS LODGE TURNPIKE via the exit on the LEFT. 7.4 mi
5. Take the WOODMONT RD exit, EXIT 40. 0.2 mi
6. Turn LEFT onto WOODMONT RD. 0.0 mi
7. Turn RIGHT onto OLD GATE LN. 1.1 mi
8. Turn SLIGHT RIGHT onto NEW HAVEN AVENUE/CT-162. 0.7 mi
9. Turn LEFT onto BUCKINGHAM AVENUE. 1.5 mi
10. Turn LEFT onto MELBA STREET. 0.2 mi
11. 234 MELBA ST is on the RIGHT.

GENERAL NOTES

1. PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

SITE INFORMATION

1. THE CONSTRUCTION OF A 1290± SQ. FT. FENCED WIRELESS COMMUNICATIONS COMPOUND WITHIN A 1405± SQ. FT. LEASE AREA.
2. THREE (3) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 130'± AGL, THREE (3) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 120'± AGL AND THREE DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 110'± AGL, FOR A TOTAL OF NINE (9) ANTENNAS WITHIN A 136'± PROPOSED RF TRANSPARENT FLAGPOLE TOWER.
3. ACCESS TO SITE WILL BE VIA A PROPOSED 20' WIDE BY 405'± LONG ACCESS EASEMENT OFF OF MELBA STREET.
4. POWER AND TELCO UTILITIES SHALL BE ROUTED UNDERGROUND FROM EXISTING RESPECTIVE DEMARCS TO THE EQUIPMENT WITHIN THE PROPOSED COMPOUND. FINAL DEMARC LOCATIONS AND CAPACITIES WILL BE VERIFIED/DETERMINED BY LOCAL UTILITY COMPANIES.
5. FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE D&M PLANS.
6. THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2009 CONNECTICUT SUPPLEMENT.
7. THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
8. THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.



PROJECT SUMMARY

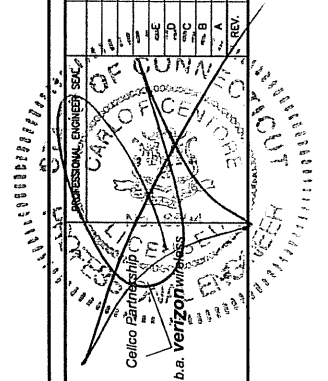
SITE NAME: BAYVIEW
SITE ADDRESS: 234 MELBA STREET MILFORD, CT 06461
PROPERTY OWNER: MELBA REALTY LLC
 M.A. C/O LOMBARD GROUP
 P.O. BOX 7014
 PROSPECT, CT 06714
LESSEE/TENANT: CELCO PARTNERSHIP
 d.b.a. VERIZON WIRELESS
 99 EAST RIVER DRIVE
 EAST HARTFORD, CT 06108
CONTACT PERSON: SANDY CARTER
 CELCO PARTNERSHIP
 (860) 803-8219
ENGINEER: CENTEK ENGINEERING
 63-2 NORTH BRANFORD ROAD
 BRANFORD, CT 06405
 (203) 488-0580
TOWER COORDINATES: LATITUDE 41°-12'-35.521"
 LONGITUDE 73°-01'-09.873"
 GROUND ELEVATION: 30.3'± A.M.S.L.
 COORDINATES AND GROUND ELEVATION BASED ON FAA 2C
 SURVEY CERTIFICATION PREPARED BY MARTINEZ COUCH
 AND ASSOCIATES DATED JANUARY 5, 2010, LAST REVISED
 04/28/10.

SHEET INDEX

SHT. NO.	DESCRIPTION	REV. NO.
T-1	TITLE SHEET	E
C-1	ABUTTERS MAP	E
C-1A	SITE / SURVEY PLAN	E
C-2	PARTIAL SITE PLAN AND ELEVATION	E
C-3	SITE DETAILS AND SHELTER ELEVATIONS	E
C-4	SHELTER FOUNDATION PLAN, DETAILS AND NOTES	E

DESIGNED BY: CFC
 DRAWN BY: TSP
 CHK'D BY: DMD

ISSUED FOR	DATE	BY	DESCRIPTION
ISSUED FOR CT SITING COUNCIL - REASED	10/13/10	DMD	CFC
ISSUED FOR CT SITING COUNCIL - REASED	10/13/10	DMD	CFC
ISSUED FOR CT SITING COUNCIL - REASED	08/10/10	DMD	CFC
ISSUED FOR CT SITING COUNCIL - REASED	07/17/10	KAW	DMD
ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW	06/11/10	DMD	CFC



Cellco Partnership
 d.b.a. verizon wireless

Centek Engineering
 63-2 NORTH BRANFORD ROAD
 BRANFORD, CT 06405
 (203) 488-0580
 www.CentekEng.com

DATE: 09/14/09
 SCALE: AS NOTED
 JOB NO. 09092

Cellco Partnership d/b/a Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
BAYVIEW
 234 MELBA STREET
 MILFORD, CT 06461

N/F
VANYUPAVALDE & RALPH BONCZEWSKI
211 MELBA STREET
VOL. 2438 P. 619
M 30 B 543 L 2C

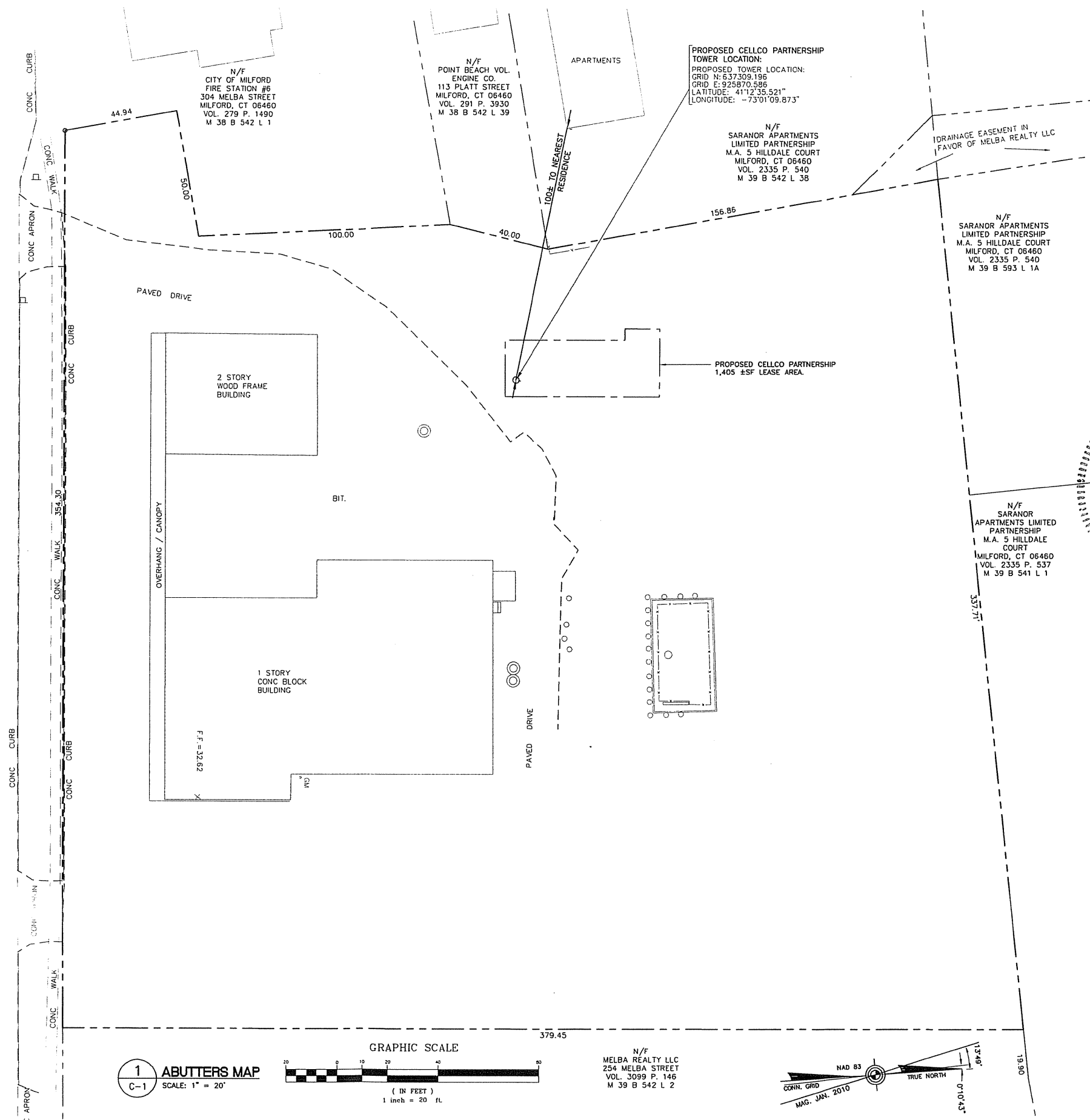
N/F
LADISLAV KONECNY
219 MELBA STREET
VOL. 2438 P. 619
M 30 B 543 L 2D

N/F
ROBERT J. & TINA M.
MURPHY
223 MELBA STREET
VOL. 3170 P. 112
M 30 L 543 L 2E

N/F
CITY OF MILFORD
M.A. C/O TAX COLLECTOR
MILFORD, CT 06460
VOL. 299 P. 532
M 30 B 543 L 1A

N/F
BAY POINTE VILLAGE (CONDOS) 267
MELBA STREET
M 30 B 543 L 1 (MULTIPLE UNITS)

MELBA STREET



PROPOSED CELLCO PARTNERSHIP
TOWER LOCATION:
GRID N: 537309.196
GRID E: 925870.386
LATITUDE: 41°12'35.521"
LONGITUDE: -73°01'09.873"

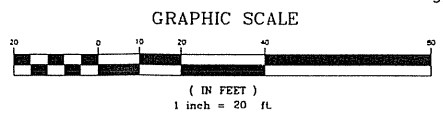
N/F
SARANOR APARTMENTS
LIMITED PARTNERSHIP
M.A. 5 HILLDALE COURT
MILFORD, CT 06460
VOL. 2335 P. 540
M 39 B 542 L 3B

N/F
SARANOR APARTMENTS
LIMITED PARTNERSHIP
M.A. 5 HILLDALE COURT
MILFORD, CT 06460
VOL. 2335 P. 540
M 39 B 593 L 1A

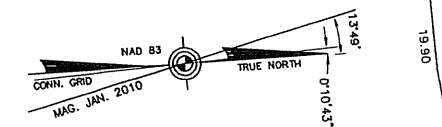
N/F
SARANOR
APARTMENTS LIMITED
PARTNERSHIP
M.A. 5 HILLDALE
COURT
MILFORD, CT 06460
VOL. 2335 P. 537
M 39 B 541 L 1

PROPOSED CELLCO PARTNERSHIP
1,405 ±SF LEASE AREA.

1 ABUTTERS MAP
SCALE: 1" = 20'

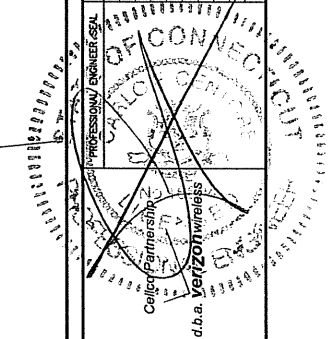


N/F
MELBA REALTY LLC
254 MELBA STREET
VOL. 3099 P. 146
M 39 B 542 L 2



DESIGNED BY: CFC
DRAWN BY: TSP
CHK'D BY: DMD

REV.	DATE	BY	DESCRIPTION
E	10/13/10	CFC	ISSUED FOR CT SITING COUNCIL - REASED
D	10/17/10	DMD	ISSUED FOR CT SITING COUNCIL - REASED
C	09/10/10	CFC	ISSUED FOR CT SITING COUNCIL - REASED
B	07/07/10	DMD	ISSUED FOR CT SITING COUNCIL - REASED
A	06/11/10	DMD	ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW



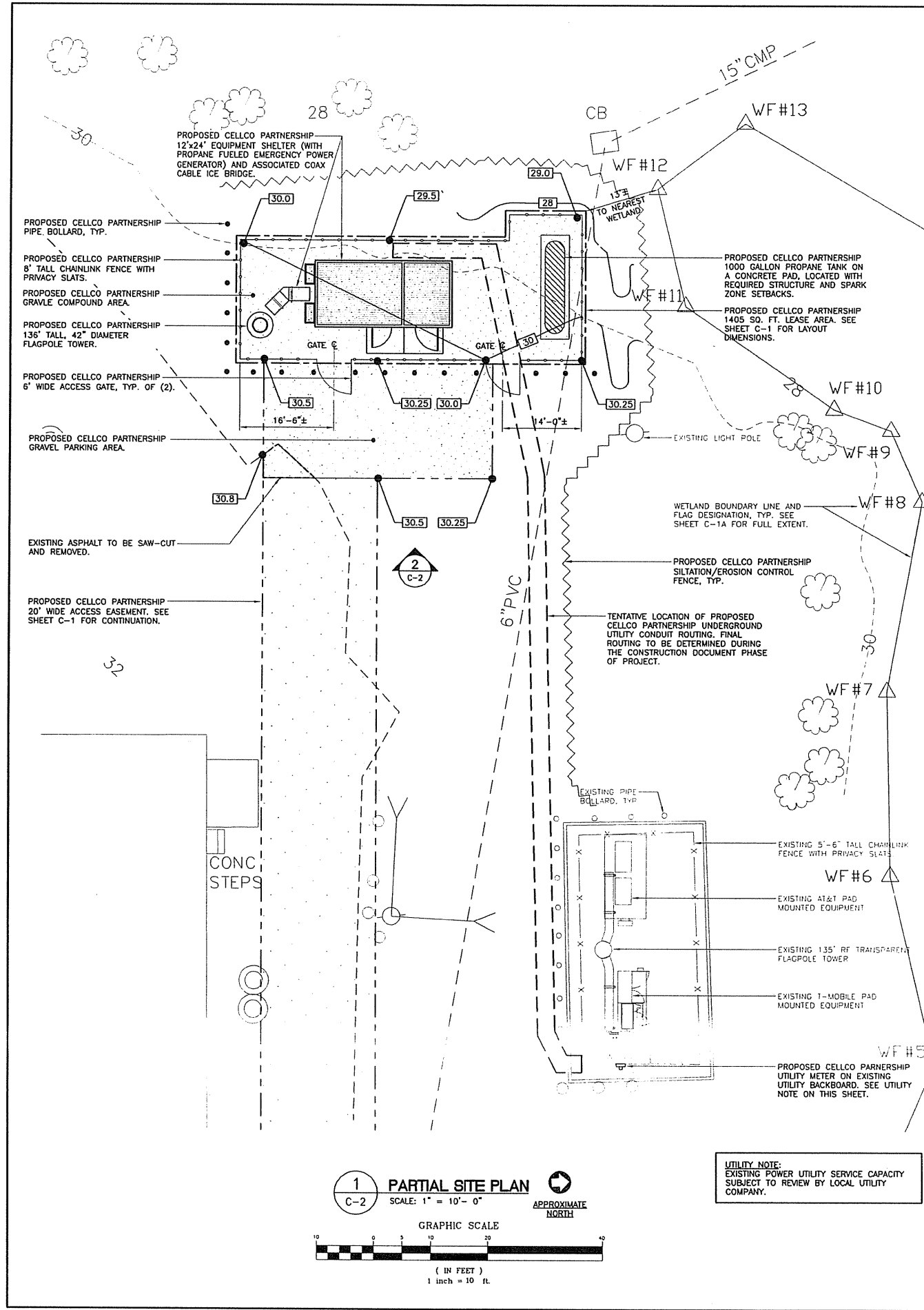
CENTER engineering
Centered on solutions™
(203) 488-0580
(203) 488-8397 Fax
65-2 North Branford Road
Branford, CT 06460
www.CenterEng.com

Cellco Partnership d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
BAYVIEW
234 MELBA STREET
MILFORD, CT 06461

DATE: 09/14/09
SCALE: AS NOTED
JOB NO. 09092

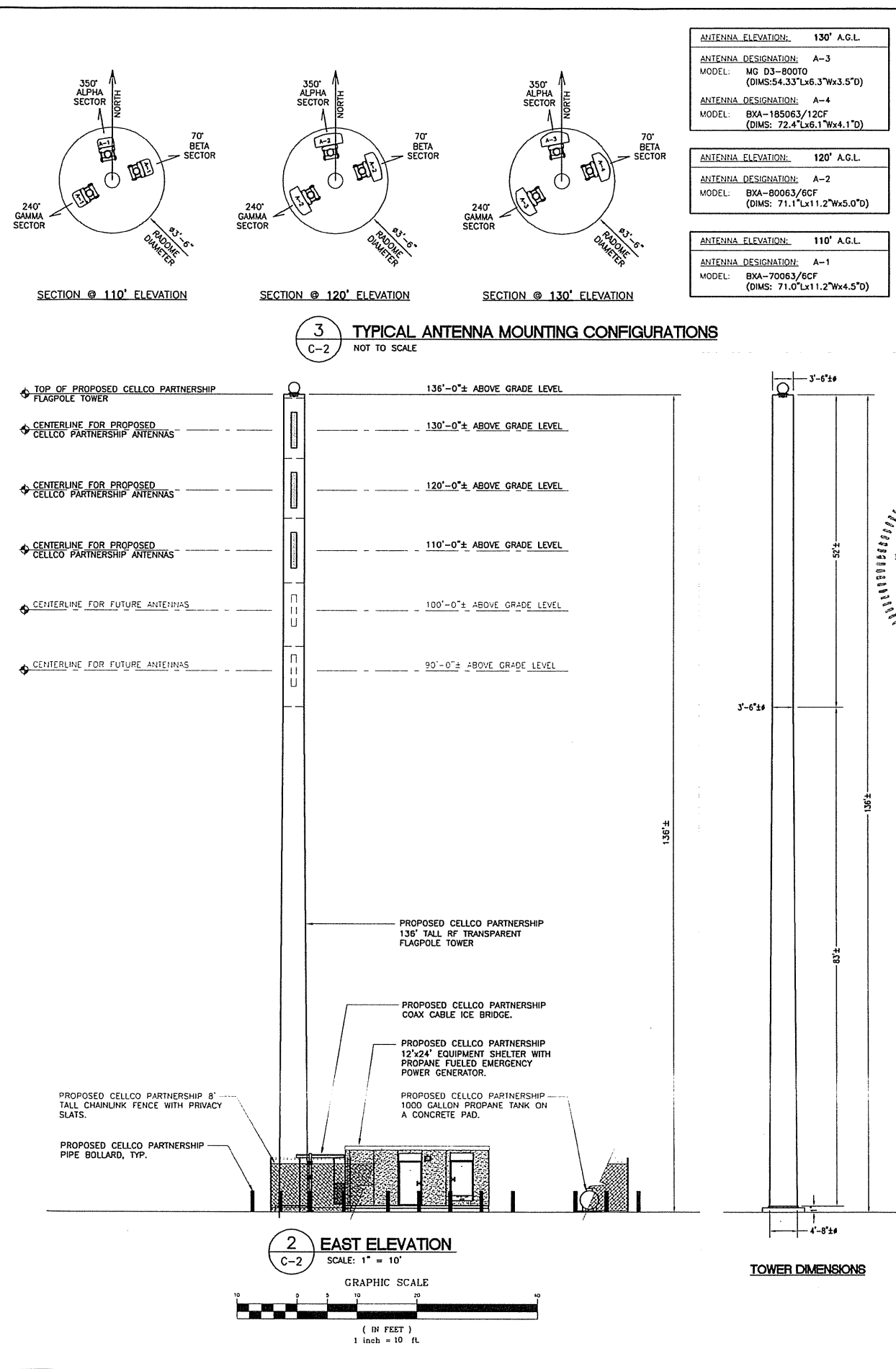
ABUTTERS
MAP

C-1
Sheet No. 2 of 5



1 PARTIAL SITE PLAN
 SCALE: 1" = 10'-0"
 GRAPHIC SCALE
 (IN FEET)
 1 inch = 10 ft.

UTILITY NOTE:
 EXISTING POWER UTILITY SERVICE CAPACITY
 SUBJECT TO REVIEW BY LOCAL UTILITY
 COMPANY.



2 EAST ELEVATION
 SCALE: 1" = 10'
 GRAPHIC SCALE
 (IN FEET)
 1 inch = 10 ft.

TOWER DIMENSIONS

ANTENNA ELEVATION:	130' A.G.L.
ANTENNA DESIGNATION:	A-3
MODEL:	MG D3-80010 (DIMS: 54.33" L x 6.3" W x 3.5" D)
ANTENNA DESIGNATION:	A-4
MODEL:	BXA-185063/12CF (DIMS: 72.4" L x 6.1" W x 4.1" D)
ANTENNA ELEVATION:	120' A.G.L.
ANTENNA DESIGNATION:	A-2
MODEL:	BXA-80063/6CF (DIMS: 71.1" L x 11.2" W x 5.0" D)
ANTENNA ELEVATION:	110' A.G.L.
ANTENNA DESIGNATION:	A-1
MODEL:	BXA-70063/6CF (DIMS: 71.0" L x 11.2" W x 4.5" D)

3 TYPICAL ANTENNA MOUNTING CONFIGURATIONS
 C-2 NOT TO SCALE

DESIGNED BY: CFC
 DRAWN BY: TSP
 CHK'D BY: DMD

ISSUED FOR CT SITING COUNCIL - REVISED	DATE	BY	DESCRIPTION
ISSUED FOR CT SITING COUNCIL - REVISED	10/13/10	DMD	
ISSUED FOR CT SITING COUNCIL - REVISED	10/27/10	CFC	
ISSUED FOR CT SITING COUNCIL - REVISED	07/17/10	DMD	
ISSUED FOR CT SITING COUNCIL - REVISED	07/17/10	DMD	
ISSUED FOR CT SITING COUNCIL - REVISED	06/17/10	DMD	
ISSUED FOR CT SITING COUNCIL - REVISED	06/17/10	DMD	

Cellco Partnership
 d.b.a. Verizon Wireless

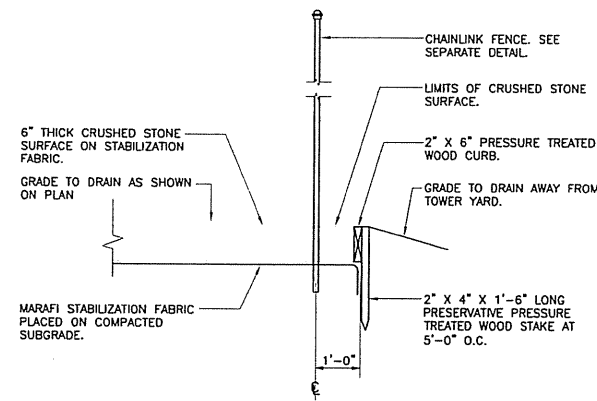
CENTERK engineering
 Centered on solutions™
 (203) 488-0900
 (203) 488-1897 Fax
 63 North Branford Road
 Branford, CT 06405
 www.CenterkEng.com

Cellco Partnership d/b/a Verizon Wireless
BAYVIEW
 234 MELBA STREET
 MILFORD, CT 06461

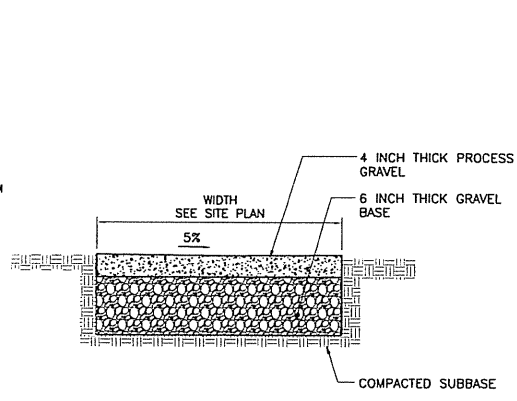
DATE: 09/14/09
 SCALE: AS NOTED
 JOB NO. 09092

PARTIAL SITE PLAN AND ELEVATION

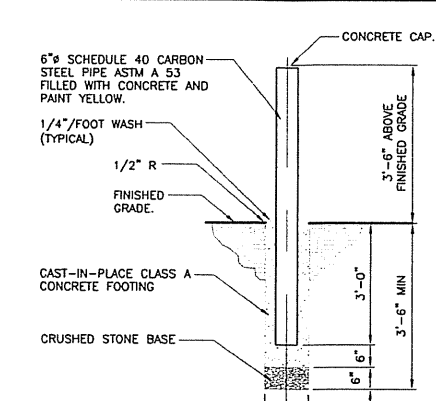
C-2
 Sheet No. 1 of 5



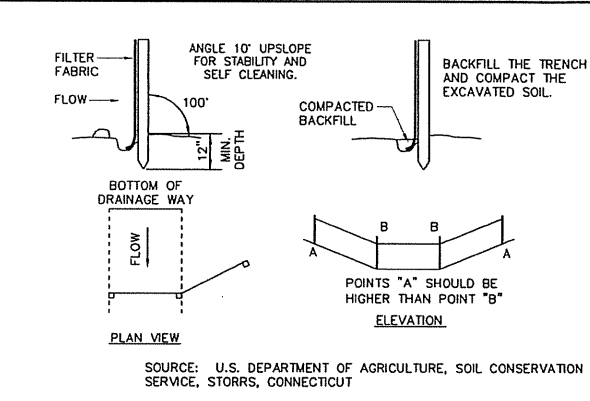
1 COMPOUND SURFACING DETAIL
C-3 NOT TO SCALE



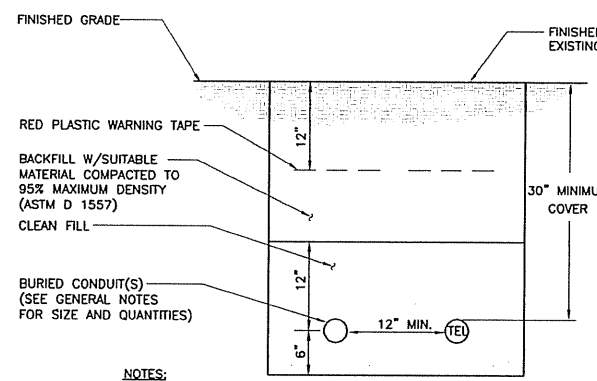
2 GRAVEL PARKING SURFACE
C-3 NOT TO SCALE



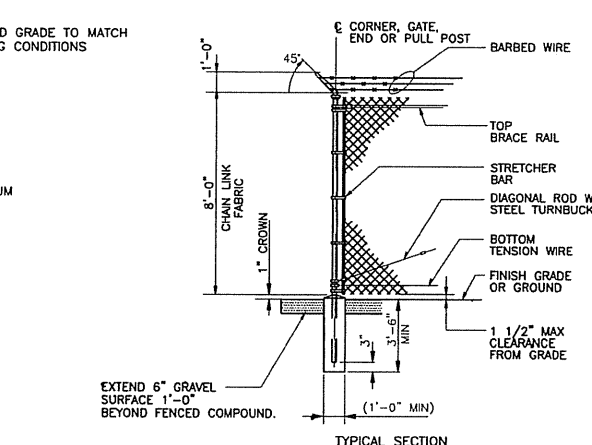
3 BOLLARD DETAIL
C-3 NOT TO SCALE



4 PLACEMENT AND CONSTRUCTION SILTATION FENCE
C-3 NOT TO SCALE

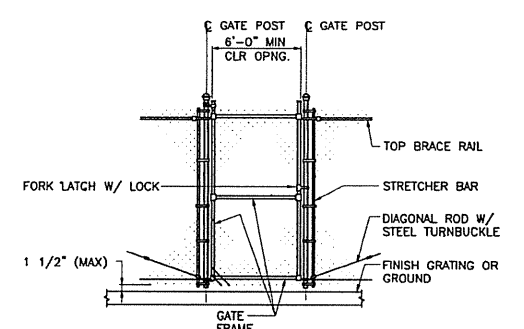


5 TYPICAL ELECTRICAL/TEL TRENCH DETAIL
C-3 NOT TO SCALE

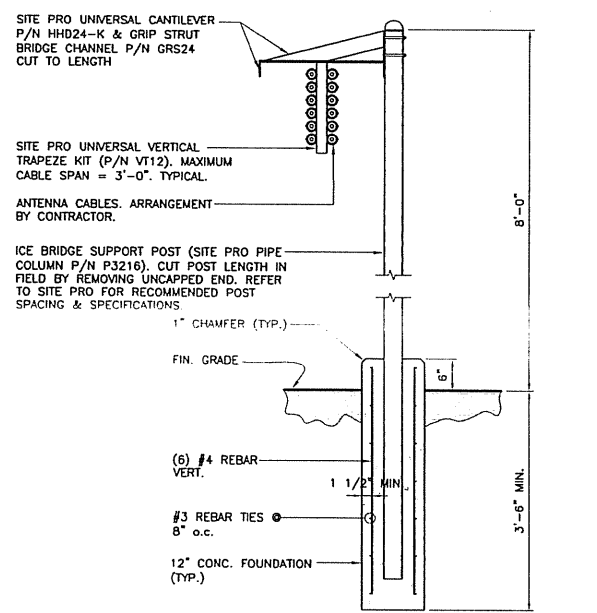


6 WOVEN WIRE FENCE DETAIL
C-3 NOT TO SCALE

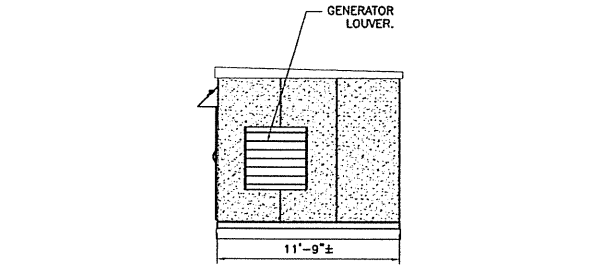
- WOVEN WIRE FENCE NOTES**
- GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2" ϕ SCHEDULE 40 FOR GATE WIDTHS UP THRU 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
 - LINE POST: 2" ϕ SCHEDULE 40 PIPE PER ASTM-F1083.
 - GATE FRAME: 1 1/2" ϕ SCHEDULE 40 PIPE PER ASTM-F1083.
 - TOP RAIL & BRACE RAIL: 1 1/2" ϕ SCHEDULE 40 PIPE PER ASTM-F1083.
 - FABRIC: 12 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
 - TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX 24" INTERVALS.
 - TENSION WIRE: 7 GA. GALVANIZED STEEL.
 - BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH W/FABRIC 14 GA., 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
 - GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, KEYS ALIKE FOR ALL SITES IN A GIVEN MTA.
 - LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED WITH IF REQUIRED.
 - HEIGHT = 8' VERTICAL + 1' BARBED WIRE VERTICAL DIMENSION.
 - ALL FENCE AND GATE SECTIONS TO RECEIVE BLACK VINYL PRIVACY SLATS.



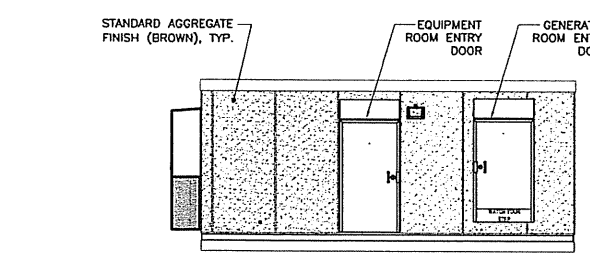
6A WOVEN WIRE SWING GATE-SINGLE
C-3 NOT TO SCALE



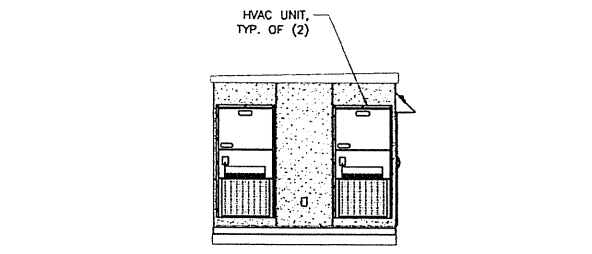
7 ICE BRIDGE DETAIL
C-3 NOT TO SCALE



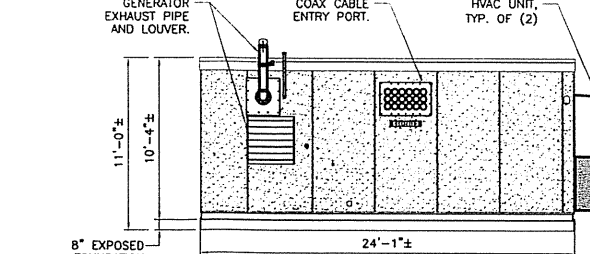
8 NORTH SHELTER ELEVATION
C-3 SCALE: 3/16" = 1'-0"



9 EAST SHELTER ELEVATION
C-3 SCALE: 3/16" = 1'-0"



10 SOUTH SHELTER ELEVATION
C-3 SCALE: 3/16" = 1'-0"



11 WEST SHELTER ELEVATION
C-3 SCALE: 3/16" = 1'-0"

EROSION CONTROL

GENERAL CONSTRUCTION SEQUENCE

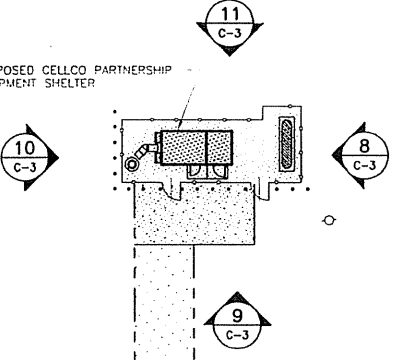
- THIS IS A GENERAL CONSTRUCTION SEQUENCE OUTLINE SOME ITEMS OF WHICH MAY NOT APPLY TO PARTICULAR SITES.
- CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
 - INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
 - REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.
 - CONSTRUCT CLOSED DRAINAGE SYSTEM. PRECEPT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
 - CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
 - INSTALL UNDERGROUND UTILITIES.
 - BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION. NO AREA SHALL BE LEFT UNSTABILIZED FOR A TIME PERIOD OF MORE THAN 30 DAYS.
 - DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
 - BEGIN EXCAVATION FOR AND CONSTRUCTION OF TOWERS AND PLATFORMS.
 - FINISH PAVING ALL ROADWAYS, DRIVES, AND PARKING AREAS.
 - COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 - NO FLOW SHALL BE DIVERTED TO ANY WETLANDS UNTIL A HEALTHY STAND OF GRASS HAS BEEN ESTABLISHED IN REGARDED AREAS.
 - AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

CONSTRUCTION SPECIFICATIONS - SILT FENCE

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BUILD UP IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE - SILT FENCE

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



SHELTER ELEVATION KEY PLAN
NOT TO SCALE APPROXIMATE NORTH

DESIGNED BY: CFC
DRAWN BY: DMD
CHK'D BY: CFC

REV.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
1	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	CFC	CFC
2	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	DMD	CFC
3	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	CFC	CFC
4	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	DMD	CFC
5	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	CFC	CFC
6	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	DMD	CFC
7	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	CFC	CFC
8	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	DMD	CFC
9	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	CFC	CFC
10	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	DMD	CFC
11	06/17/10	ISSUED FOR CT SITING COUNCIL - REVISED	CFC	CFC

PROFESSIONAL ENGINEER SEAL
STATE OF CONNECTICUT
CELECCO PARTNERSHIP
d.l.a. VEIZOR/WIRELESS
www.CellicoEng.com

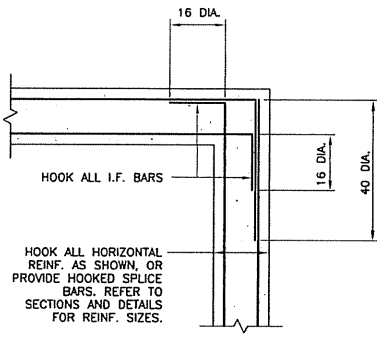
engineered on solutions
CENTEK
203-498-0580
203-498-8897 Fax
652 North Branford Road
Branford, CT 06405
www.CentekEng.com

CELICO PARTNERSHIP d/b/a Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
BAYVIEW
234 MELBA STREET
MILFORD, CT 06461

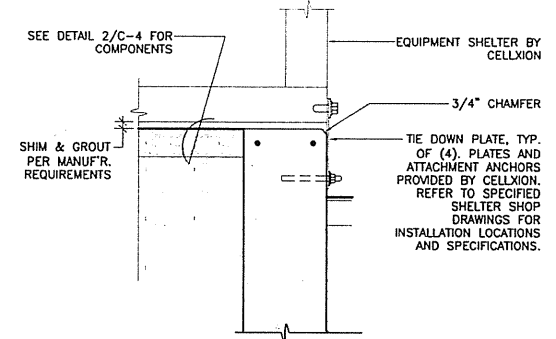
DATE: 09/14/09
SCALE: AS NOTED
JOB NO. 09092

SITE DETAILS AND SHELTER ELEVATIONS

C-3
Sheet No. 5 of 6

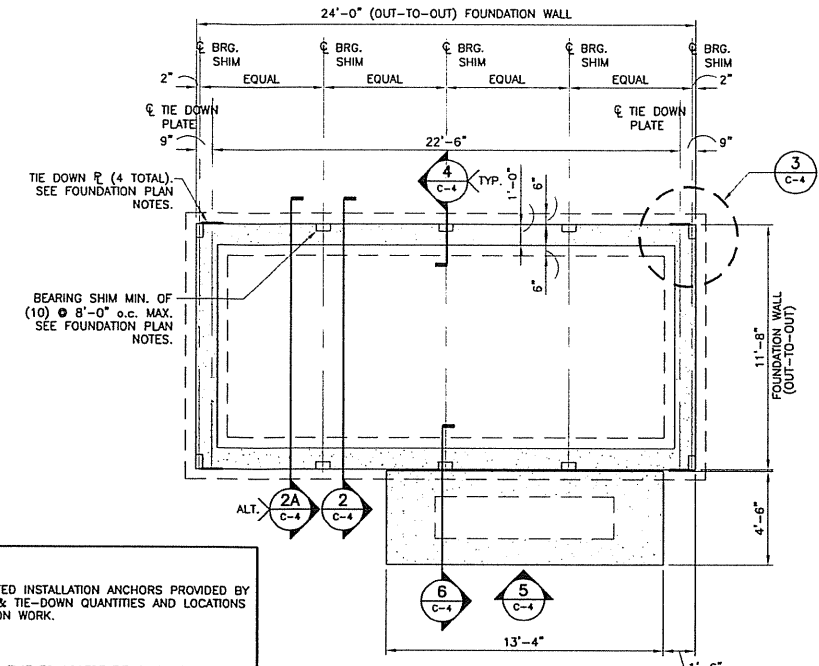


3 PLAN DETAIL
C-4 NOT TO SCALE

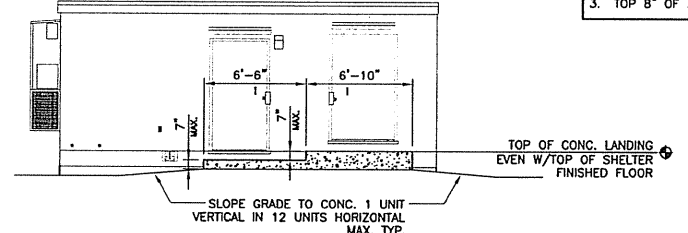


4 BUILDING TIE DOWN
C-4 SCALE: 1"=1'-0"

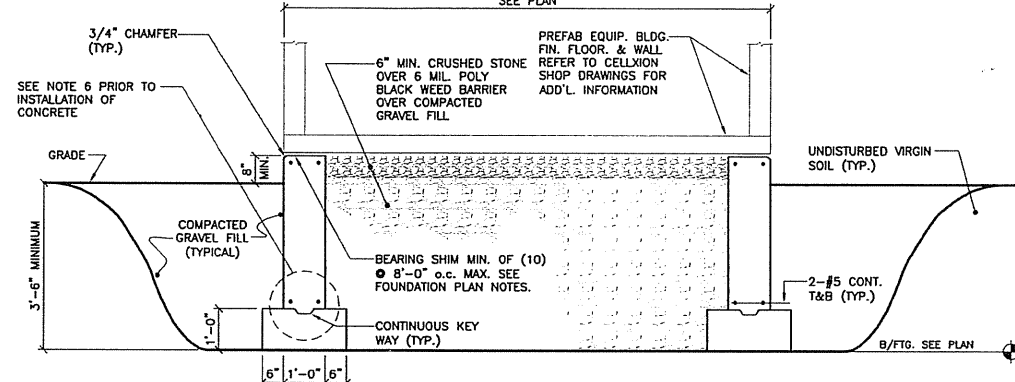
- NOTES:**
- BEARING SHIMS, TIE-DOWN PLATES AND ASSOCIATED INSTALLATION ANCHORS PROVIDED BY CELLXION. CONTRACTOR SHALL VERIFY ALL SHIM & TIE-DOWN QUANTITIES AND LOCATIONS WITH CELLXION PRIOR TO PERFORMING FOUNDATION WORK.
 - SLAB/ TOP OF WALL TOLERANCE IS 1/4"±
 - TOP 8" OF FOUNDATION SIDES MUST BE FORMED FLAT TO ACCEPT TIE-DOWN PLATES.



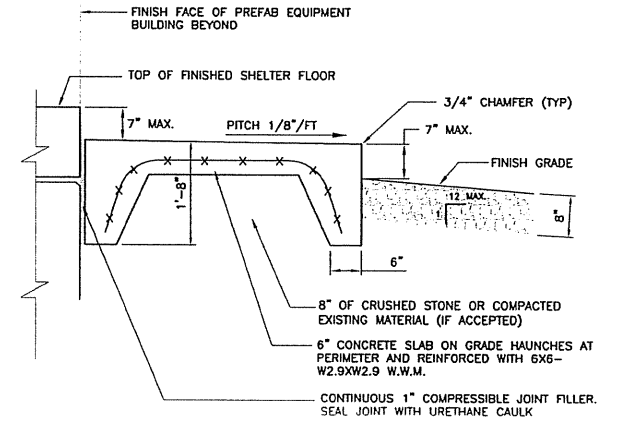
1 FOUNDATION PLAN
C-4 SCALE: 1/4"=1'-0" APPROXIMATE NORTH



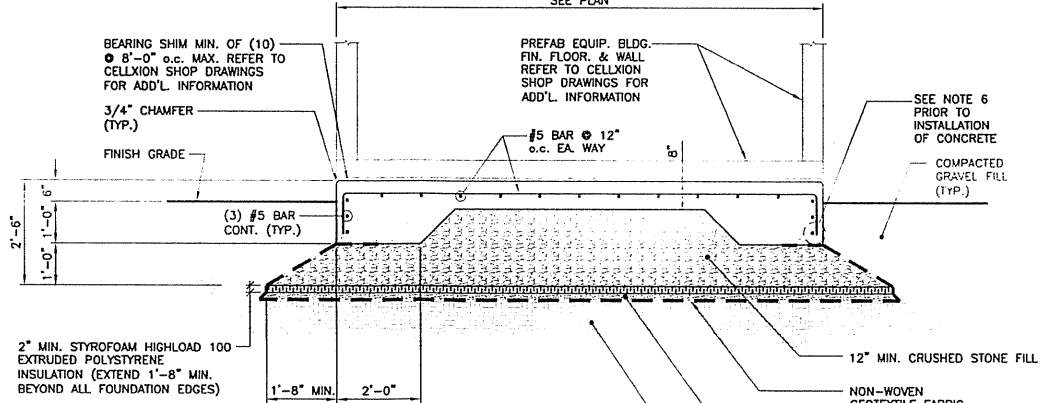
5 ENTRY STOOP DETAIL - ELEVATION
C-4 SCALE: 3/16"=1'-0"



2 TYPICAL SECTION
C-4 SCALE: 1/2"=1'-0"



6 ENTRY STOOP DETAIL - SECTION
C-4 SCALE: 3/16"=1'-0"



2A FOUNDATION PLAN SLAB ON GRADE ALTERNATE
C-4 SCALE: 1/2"=1'-0"

EQUIPMENT SHELTER BY CELLXION. VERIFY ALL SHELTER DIMENSIONS, EQUIPMENT DIMENSIONS, EQUIPMENT LOCATIONS AND UTILITY OPENINGS WITH BUILDING SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.

- FOUNDATION NOTES:**
- IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH ANY AFFECTED WORK.
 - DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
 - THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.
 - REFER TO DRAWING T1 FOR ADDITIONAL NOTES AND REQUIREMENTS.

- SITE NOTES:**
- THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - ACTIVE EXISTING UTILITIES, WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY. PRIOR TO PROCEEDING, SHOULD ANY UNCOVERED EXISTING UTILITY PRECLUDE COMPLETION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - ALL RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED OFF SITE AND BE LEGALLY DISPOSED, AT NO ADDITIONAL COST.
 - THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND TOWER AREAS.
 - NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
 - THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
 - THE AREAS OF THE COMPOUND DISTURBED BY THE WORK SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
 - CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, SHALL BE IN CONFORMANCE WITH THE LOCAL REGULATIONS FOR EROSION AND SEDIMENT CONTROL.
 - IF ANY FIELD CONDITIONS EXIST WHICH PRECLUDE COMPLIANCE WITH THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL PROCEED WITH AFFECTED WORK AFTER CONFLICT IS SATISFACTORILY RESOLVED.
 - DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST THE PRE MANUFACTURED EQUIPMENT BUILDING SHOP DRAWINGS.
 - THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

- COMPACTED GRAVEL FILL:**
- COMPACTED GRAVEL FILL SHALL BE FURNISHED AND PLACED AS A FOUNDATION FOR STRUCTURES, WHERE SHOWN ON THE CONTRACT DRAWINGS OR DIRECTED BY THE ENGINEER.
 - GRAVEL SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE M.02.02 OF THE CONNECTICUT D.O.T. STANDARD SPECIFICATIONS. ADMIXTURES AND SURFACE PROTECTIVE MATERIALS USED TO PREVENT THE GRAVEL FROM FREEZING MUST MEET THE APPROVAL OF THE ENGINEER. THE LARGEST STONE SIZE SHALL BE 3-1/2 INCHES.
 - SAMPLES OF THE MATERIAL TO BE USED SHALL BE DELIVERED TO THE JOB SITE 5 DAYS PRIOR TO ITS INTENDED USE SO IT MAY BE TESTED FOR APPROVAL.
 - AFTER ALL EXCAVATION HAS BEEN COMPLETED, GRAVEL SHALL BE DEPOSITED IN LAYERS NOT EXCEEDING EIGHT (8) INCHES IN DEPTH OVER THE AREAS. IN EXCEPTIONAL CASES, THE ENGINEER MAY PERMIT THE FIRST LAYER TO BE THICKER THAN EIGHT (8) INCHES. EACH LAYER SHALL BE LEVELED OFF BY SUITABLE EQUIPMENT. THE ENTIRE AREA OF EACH LAYER SHALL BE COMPACTED BY USE OF APPROVED VIBRATORY, PNEUMATIC-TIRED OR TREAD-TYPE COMPACTION EQUIPMENT. COMPACTION SHALL BE CONTINUED UNTIL THE DRY DENSITY OVER THE ENTIRE AREA OF EACH LAYER IS NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY ACHIEVED BY METHOD C. THE MOISTURE CONTENT OF THE GRAVEL SHALL NOT VARY BY MORE THAN 3%± FROM ITS OPTIMUM MOISTURE CONTENT. NO SUBSEQUENT LAYER SHALL BE DEPOSITED UNTIL THE SPECIFIED COMPACTION IS ACHIEVED FOR THE PREVIOUS LAYER. IF NECESSARY TO OBTAIN THE REQUIRED COMPACTION WATER SHALL BE ADDED AND GENTLE PLODGING PERFORMED IF AUTHORIZED. COMPACTED GRAVEL FILL SHALL BE PREVENTED FROM FREEZING BY USE OF APPROVED ADMIXTURES OR BY USE OF APPROVED PROTECTIVE MATERIALS ON THE SURFACE, OR BOTH.

- CONCRETE AND REINFORCING STEEL NOTES:**
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318.
 - ALL CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED WITH A MAXIMUM SLUMP OF 4", AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD UNLESS OTHERWISE INDICATED.
 - THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON THE DRAWINGS:
 CONCRETE CAST AGAINST EARTH.....3 IN.
 CONCRETE EXPOSED TO EARTH OR WEATHER:
 #6 AND LARGER.....2 IN.
 #5 AND SMALLER & WWF.....1 1/2 IN.
 CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 SLAB AND WALL.....3/4 IN.
 BEAMS AND COLUMNS.....1 1/2 IN.
 - ALL EXPOSED EDGES OF CONCRETE TO RECEIVE A 3/4" CHAMFER IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
 - CONCRETE EQUIPMENT PAD TO RECEIVE A BRUSHED FINISH.
 - INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT DURING DRILLING WITHOUT PRIOR REVIEW BY THE ENGINEER.

DESIGNED BY: CFC
 DRAWN BY: TSP
 CHK'D BY: DMD

REV.	DATE	DESCRIPTION
E	10/13/10	ISSUED FOR CT SITING COUNCIL - REVISED
D	10/07/10	ISSUED FOR CT SITING COUNCIL - REVISED
G	09/10/10	ISSUED FOR CT SITING COUNCIL - REVISED
A	08/17/10	ISSUED FOR CT SITING COUNCIL - REVISED
B	08/17/10	ISSUED FOR CT SITING COUNCIL - REVISED
C	08/17/10	ISSUED FOR CT SITING COUNCIL - REVISED
		ISSUED FOR CT SITING COUNCIL - CLIENT REVIEW

PROFESSIONAL ENGINEER
 STATE OF CONNECTICUT
 No. 10000
 J. P. Verizzi
 d.p. verizzi@verizzi.com

Cellco Partnership d/b/a Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
BAYVIEW
 234 MELBA STREET
 MILFORD, CT 06461

DATE: 09/14/09
 SCALE: AS NOTED
 JOB NO. 09092

SHELTER FOUND.
 PLAN, DETAILS
 AND NOTES

C-4
 Sheet No. 5 of 5

CERTIFICATION OF SERVICE

I hereby certify that on this 20th day of October, 2010, copies of the Application and attachments were sent certified mail, return receipt requested, to the following:

STATE OFFICIALS:

The Honorable Richard Blumenthal
Attorney General
Office of the Attorney General
55 Elm Street
Hartford, CT 06106

Peter J. Boynton, Commissioner
Department of Emergency Management and Homeland Security
25 Sigourney Street, 6th Floor
Hartford, CT 06106-5042

Amey Marrella, Commissioner
Connecticut Department of Environmental Protection
79 Elm Street
Hartford, CT 06106

J. Robert Galvin, M.D., M.P.H., M.B.A., Commissioner
Department of Public Health and Addiction Services
410 Capitol Avenue
P.O. Box 340308, MS 13COM
Hartford, CT 06134-0308

Karl J. Wagener, Executive Director
Council on Environmental Quality
79 Elm Street
P.O. Box 5066
Hartford, CT 06106

Kevin M. DelGobbo, Chairman
Department of Public Utility Control
Ten Franklin Square
New Britain, CT 06051

Robert L. Genuario, Secretary
Office of Policy and Management
450 Capitol Avenue
Hartford, CT 06134-1441

Joan McDonald, Commissioner
Department of Economic and Community Development
505 Hudson Street
Hartford, CT 06106

Joseph F. Marie, Commissioner
Department of Transportation
P.O. Box 317546
2800 Berlin Turnpike
Newington, CT 06131-7546

David Bahlman, Division Director
Deputy State Historic Preservation Officer
Connecticut Commission on Culture & Tourism
Historic Preservation and Museum Division
One Constitution Plaza, 2nd Floor
Hartford, CT 06103

MILFORD CITY OFFICIALS:

James L. Richetelli, Jr.
Mayor
City of Milford
110 River Street
Milford, CT 06460

The Honorable Gayle Slossberg
Senator
Legislative Office Building
Room 2200
Hartford, CT 06106-1591

The Honorable Richard Roy
Representative – 119th District
43 Howe Street
Milford, CT 06460

Linda Stock
City Clerk
City of Milford
70 West River Street
Milford, CT 06460

Susan Shaw, Chairman
Planning and Zoning Board
City of Milford
70 West River Street
Milford, CT 06460

Philip J. Fulco, Chairman
Inland Wetlands Agency
City of Milford
70 West River Street
Milford, CT 06460

David B. Sulkis, AICP
City Planner
City of Milford
70 West River Street
Milford, CT 06460

Frederick E. Katen, Chairman
Zoning Board of Appeals
City of Milford
70 West River Street
Milford, CT 06460

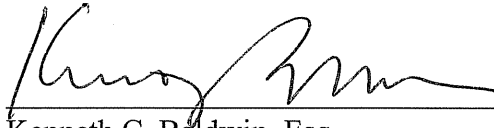
FEDERAL OFFICIALS:

The Honorable Christopher Dodd
United States Senator
448 Russell Senate Office Building
Washington, DC 20510

The Honorable Joseph Lieberman
United States Senator
706 Hart Senate Office Building
Washington, DC 20510


The Honorable Chris Murphy
Representative
412 Cannon HOB
Washington, DC 20515

Federal Communications Commission
445 12th Street SW
Washington, DC 20554



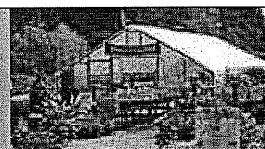
Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103
Telephone: (860) 275-8200
Attorneys for Cellco Partnership d/b/a Verizon Wireless

TWOMBLY NURSERY
 163 Barn Hill Road
 Monroe, CT 06468



click for more details!
 Sale Dates: July 5th - July 31st
EXTENDED THROUGH SEPTEMBER

largest collection of rare & hard to find plants



Sign up for FREE home delivery of healthy life magazine



ctpost.com

Traffic Weather Customer Care e-Edition Register Sign In

Thursday, October 14, 2010

50° F Bridgeport, CT
Clear

Search ctpost.com Web Search by YAHOO!

Home News Sports Business Entertainment Obituaries Opinion Living Blogs Classifieds Jobs Homes Rentals Cars Index

- Home
- Place Ad
- Find it!
- Help
- Guest (sign in)

What: Where: Search

Home » Main Categories » Events & Notices » Legal & Public Notices » **LEGAL NOTICE Notice is hereby given, pursuant to Section 16-50l(b) of the Connecticut General Statutes and...**

LEGAL NOTICE Notice is hereby given, pursuant to Section 16-50l(b) of the Connecticut General Statutes and...

Control Panel

- Print Ad
- Add to my Bookmarked Ads
- Ask seller a question
- Email ad to a friend
- Report ad to moderator

Source: [Connecticut Post](#)

Ad Id: 17813920

Description

LEGAL NOTICE Notice is hereby given, pursuant to Section 16-50l(b) of the Connecticut General Statutes and Regulations pertaining thereto, of an Application to be submitted to the Connecticut Siting Council ("Council") on or about October 20, 2010, by Cellco Partnership d/b/a Verizon Wireless ("Cellco" or the "Applicant"). The Application proposes the installation of a wireless telecommunications facility in Milford, Connecticut. The installation would consist of a 1,405 square-foot leased area within a 2.7 acre parcel located at 234 Melba Street, owned by Melba Realty LLC. At this site, Cellco proposes to construct a 136-foot flagpole tower. Access to the site will extend from Melba Street over an existing paved driveway a distance of 405 feet to the cell site. Cellco will also install a 12' x 24' shelter located near the base of the tower to house its radio equipment and a propane-fueled back-up generator. Cellco will place a 1,000 gallon propane tank within the fenced compound. The location and other features of the proposed facility are subject to change under provisions of Connecticut General Statutes § 16-50g et. seq. On the day of the Siting Council public hearing on this proposal, Cellco will fly a balloon at the height of the proposed tower described above. Interested parties and residents of the City of Milford are invited to review the Application on or after October 21, 2010, during normal business hours at any of the following offices: Connecticut Siting Council Celco Partnership d/b/a 10 Franklin Square Verizon Wireless New Britain, CT 06051 99 East River Drive East Hartford, CT 06108 City Clerk Office of the First Selectman City of Milford City of Milford 70 West River Street 70 West River Street Milford, CT 06460 Milford, CT 06460 or the offices of the undersigned. All inquiries should be addressed to the Connecticut Siting Council or to the undersigned. CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS Kenneth C. Baldwin, Esq. Robinson & Cole LLP 280 Trumbull Street Hartford, CT 06103-3597 (860) 275-8200 Its Attorneys

Ad Details

Ad ID: 17813920
 Location: Hartford, CT
 Created: Oct 14, 2010
 Expires: Oct 15, 2010
 Offers: 0
 Views: 3

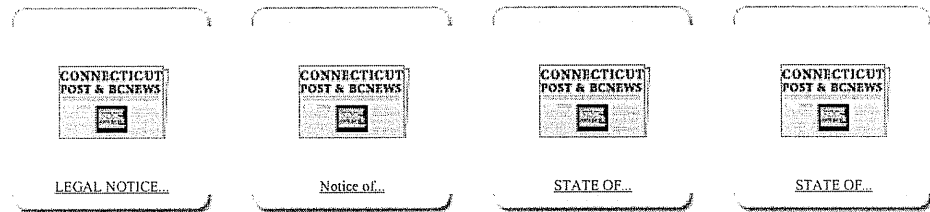
Advertiser Details

Member: [tmp543b838](#)
 Ratings: Good (0) OK (0) Poor (0)
 Joined: Mar 24, 2010

Ads placed: 3



More ads like this



LEGAL NOTICE

Notice is hereby given, pursuant to Section 16-50(b) of the Connecticut General Statutes and Regulations pertaining thereto, of an Application to be submitted to the Connecticut Siting Council (“Council”) on or about October 20, 2010, by Cellco Partnership d/b/a Verizon Wireless (“Cellco” or the “Applicant”). The Application proposes the installation of a wireless telecommunications facility in Milford, Connecticut. The installation would consist of a 1,405 square-foot leased area within a 2.7 acre parcel located at 234 Melba Street, owned by Melba Realty LLC. At this site, Cellco proposes to construct a 136-foot flagpole tower. Access to the site will extend from Melba Street over an existing paved driveway a distance of 405 feet to the cell site. Cellco will also install a 12’ x 24’ shelter located near the base of the tower to house its radio equipment and a propane-fueled back-up generator. Cellco will place a 1,000 gallon propane tank within the fenced compound. The location and other features of the proposed facility are subject to change under provisions of Connecticut General Statutes § 16-50g et. seq.

On the day of the Siting Council public hearing on this proposal, Cellco will fly a balloon at the height of the proposed tower described above. Interested parties and residents of the City of Milford are invited to review the Application on or after October 21, 2010, during normal business hours at any of the following offices:

Connecticut Siting Council
10 Franklin Square
New Britain, CT 06051

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

City Clerk
City of Milford
70 West River Street
Milford, CT 06460

Office of the First Selectman
City of Milford
70 West River Street
Milford, Ct 06460

or the offices of the undersigned. All inquiries should be addressed to the Connecticut Siting Council or to the undersigned.

CELLCO PARTNERSHIP d/b/a VERIZON
WIRELESS

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103-3597
(860) 275-8200
Its Attorneys

KENNETH C. BALDWIN

280 Trumbull Street
Hartford, CT 06103-3597
Main (860) 275-8200
Fax (860) 275-8299
kbaldwin@rc.com
Direct (860) 275-8345

October 14, 2010

Via Certified Mail Return Receipt Requested

«Name_and_Address»

Re: **Cellco Partnership d/b/a Verizon Wireless
Proposed Telecommunications Facility
Milford, Connecticut**

Dear «Salutation»:

Cellco Partnership d/b/a Verizon Wireless ("Cellco") will be submitting an application to the Connecticut Siting Council ("Council") on or about October 20, 2010, for approval of the construction of a telecommunications facility in the Bayview section of the City of Milford, Connecticut.

The proposed facility location would consist of a new 136-foot telecommunications tower disguised as a flagpole and a 12' x 24' equipment shelter located on a 2.7 acre parcel at 234 Melba Street. This parcel is owned by Melba Realty LLC. An on-site backup generator would also be installed inside Cellco's shelter. The tower would be designed to accommodate multiple carriers. Access to the facility would extend directly from Melba Street over an existing driveway a distance of 405 feet to the cell site.

The location and other features of the proposed facility are subject to change under the provisions of Connecticut General Statutes § 16-50g et seq.

State law provides that owners of record of property which abuts a parcel on which the proposed facility may be located must receive notice of the submission of this application. This notice is directed to you either because you may be an abutting land owner or as a courtesy notice.

October 14, 2010

Page 2

If you have any questions concerning the application, please direct them to either the Connecticut Siting Council or me. My address and telephone number are listed above. The Siting Council may be reached at its New Britain, Connecticut office at (860) 827-2935.

Very truly yours,

Kenneth C. Baldwin

ADJACENT PROPERTY OWNERS

SITE NAME: MILFORD (BAVIEW)

OWNER NAME: CITY OF MILFORD

OWNER ADDRESS: 234 MELBA STREET, MILFORD, CONNECTICUT 06461

ASSESSOR'S REFERENCE: MAP: 39 BLOCK: 542 LOT: 38A

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TAX ASSESSOR'S RECORDS AND LAND RECORDS OF MILFORD CITY HALL, MILFORD, CONNECTICUT. THE INFORMATION IS CURRENT AS OF SEPTEMBER 14, 2010.

	<u>Map/Blk/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
1.	39/542/2	254 Melba Street	Melba Realty LLC c/o Lombard Group 20 East Main Street, Suite 300 Waterbury, CT 06702
2.	38/542/38	119-179 Platt Street	Saranor Apartments Limited Partnership 5 Hilldale Court Milford, CT 06460
3.	38/542/39	113 Platt Street	Pointe Beach Volunteer Engine Co. 61 12-00H Clubhouse 113 Platt Street Milford, CT 06460
4.	38/542/1	204 Melba Street	City of Milford Fire Station No. 6 72 New Haven Avenue Milford, CT 06460
5.	39/541/1	159-1 Platt Street	Saranor Apartments Limited Partnership 5 Hilldale Court Milford, CT 06460
6.	30/543/1A	0 Melba Street	City of Milford c/o Tax Collector 70 West River Street Milford, CT 06460

	<u>Map/Blk/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
7.	30/543/2E	223 Melba Street	Robert J. and Tina M. Murphy 223 Melba Street Milford, CT 06460
8.	30/543/2D	219 Melba Street	Ladislav Konecny 219 Melba Street Milford, CT 06460
9.	30/543/2C	211 Melba Street	Vanyupavade and Ralph Bonczewski 211 Melba Street Milford, CT 06460
10.	30/543/1-4	267 Melba Street	Sandra Zavaleta 267 Melba Street, Unit A33 Milford, CT 06460
11.	30/543/1-6	267 Melba Street	Robert Rossi, Sr. 267 Melba Street, Unit 6 B33 Milford, CT 06460
12.	30/543/1-8	267 Melba Street	Donald J. Hughes 267 Melba Street, Unit A35 Milford, CT 06460
13.	30/543/1-10	267 Melba Street	Corey Dwyer 267 Melba Street, Unit B35 Milford, CT 06460
14.	30/543/1-10/3	267 Melba Street	Margaret M. Ward 267 Melba Street, Unit C6 Milford, CT 06460
15.	30/543/1-10/5	267 Melba Street	Michelle McAbee 267 Melba Street, Unit 105 C18 Milford, CT 06460
16.	30/543/1-10/7	267 Melba Street	Sarah A. and David K. Bennett 267 Melba Street, Unit 107 Milford, CT 06460
17.	30/543/1-10/9	267 Melba Street	Michael Reppucci 267 Melba Street, Unit 109 C8 Milford, CT 06460

	<u>Map/Blk/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
18.	30/543/1-11/1	267 Melba Street	Mark J. Uliano 267 Melba Street, C14 Unit 111 Milford, CT 06460
19.	30/543/1-11/3	267 Melba Street	Susan P. Divine 267 Melba Street, Unit C12 Milford, CT 06460
20.	30/543/1-11/5	267 Melba Street	Maureen S. Porto 267 Melba Street, Unit 115 C2 Milford, CT 06460
21.	30/543/1-11/7	267 Melba Street	Joy L. Southard 267 Melba Street, Unit 117 C10 Milford, CT 06460
22.	30/543/1-11/9	267 Melba Street	Muriel F. Burke Est. c/o Joan P. Papsin 47 Diana Lane Beacon Falls, CT 06403
23.	30/543/1-12	267 Melba Street	Carol H. Malone 38 Shelter Cove Milford, CT 06460
24.	30/543/1-14	267 Melba Street	Vernon C. and Gabrielle Beltz 267 Melba Street, Unit B-39 Milford, CT 06460
25.	30/543/1-16	267 Melba Street	Alan R. and Mary Jane Robbins 267 Melba Street, Unit 16 B41 Milford, CT 06460
26.	30/543/1-17/1	267 Melba Street	Nita M. and Kenneth G. Prior 267 Melba Street, Unit B4 171 Milford, CT 06460
27.	30/543/1-17/3	267 Melba Street	Linda E. Megan 267 Melba Street, Unit 173 Milford, CT 06460
28.	30/543/1-17/5	267 Melba Street	Kellie S. Roper 267 Melba Street, Unit 175 Milford, CT 06460

	<u>Map/Blk/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
29.	30/543/1-17/7	267 Melba Street	Janice Morin Est. 267 Melba Street, Unit B2 Milford, CT 06460
30.	30/543/1-17/9	267 Melba Street	Adelena Ugrin 267 Melba Street, Unit 179 B8 Milford, CT 06460
31.	30/543/1-18	267 Melba Street	Jesse A. Langer 267 Melba Street, Unit 18 A1 Milford, CT 06460
32.	30/543/1-18/1	267 Melba Street	Clare M. Keneally 34C Glenwood Avenue Norwalk, CT 06854
33.	30/543/1-20	267 Melba Street	Michael John Labella 267 Melba Street, Unit 20 Milford, CT 06460
34.	30/543/1-22	267 Melba Street	Agnes W. Rodko 267 Melba Street, Unit 22 A3 Milford, CT 06460
35.	30/543/1-24	267 Melba Street	Margaret Magdon 267 Melba Street, Unit 24 B3 Milford, CT 06460
36.	30/543/1-26	267 Melba Street	Waltraud Miller 267 Melba Street, Unit 26 Milford, CT 06460
37.	30/543/1-28	267 Melba Street	Kristen Peloso 267 Melba Street, Unit B5 Milford, CT 06460
38.	30/543/1-30	267 Melba Street	John H. Hughes 267 Melba Street, Unit 30 A7 Milford, CT 06460
39.	30/543/1-32	267 Melba Street	Joan Lecount 265 Hollywood Avenue Stratford, CT 06614

	<u>Map/Blk/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
40.	30/543/1-34	267 Melba Street	Rhonda L. Caldwell 267 Melba Street, A9 Unit 34 Milford, CT 06460
41.	30/543/1-36	267 Melba Street	Andrea L. Barron 267 Melba Street, Unit 36 B9 Milford, CT 06460
42.	30/543/1-38	267 Melba Street	Patrick Grace 267 Melba Street, Unit A-11 Milford, CT 06460
43.	30/543/1-40	267 Melba Street	Edward W. Hungerford 267 Melba Street, Unit 40 Milford, CT 06460
44.	30/543/1-42	267 Melba Street	Ashraf A. Alzawaideh 267 Melba Street, Unit B13 Milford, CT 06460
45.	30/543/1-44	267 Melba Street	Emma Martin 267 Melba Street, Unit 44 A13 Milford, CT 06460
46.	30/543/1-46	267 Melba Street	John K. and Kimberly A. Sheehan 267 Melba Street, B15 Unit 46 10B1 Milford, CT 06460
47.	30/543/1-48	267 Melba Street	Michele Benedosso 267 Melba Street, A15 Unit 48 10A1 G48 Milford, CT 06460
48.	30/543/1-50	267 Melba Street	Lynn Crosby 104 French Farm Road North Andover, MA 01845
49.	30/543/1-52	267 Melba Street	Gloria L. Kelly 267 Melba Street, Unit A17-52 Milford, CT 06460
50.	30/543/1-54	267 Melba Street	Stephanie F. Dickinson 267 Melba Street, Unit 54 8B2 Milford, CT 06460

	<u>Map/Blk/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
51.	30/543/1-56	267 Melba Street	Christopher M. Johnston 267 Melba Street, Unit 56 Milford, CT 06460
52.	30/543/1-58	267 Melba Street	Christy Person and Jason M. Cummings 267 Melba Street, Unit 58 B21 Milford, CT 06460
53.	30/543/1-60	267 Melba Street	Steven M. DeFeo 267 Melba Street, Unit 21A Milford, CT 06460
54.	30/543/1-62	267 Melba Street	Paul A. El Deiry 267 Melba Street, Unit 62 B23 Milford, CT 06460
55.	30/543/1-64	267 Melba Street	Rosemary R. Cornell 267 Melba Street, Unit A23 Milford, CT 06460
56.	30/543/1-65	267 Melba Street	Carmella and Francis M. Gargiulo 267 Melba Street, Unit 65 D4 Milford, CT 06460
57.	30/543/1-66	267 Melba Street	Douglas F. Stella 267 Melba Street, Unit 66 A25 Milford, CT 06460
58.	30/543/1-67	267 Melba Street	Eric J. Grzesiuk 267 Melba Street, D-12 Milford, CT 06460
59.	30/543/1-68	267 Melba Street	Alicia A. Carrano 267 Melba Street, Unit 68 B25 Milford, CT 06460
60.	30/543/1-69	267 Melba Street	Christopher P. Maiorano 267 Melba Street, Unit 69 D10 Milford, CT 06460
61.	30/543/1-70	267 Melba Street	Laura A. Fetter 150 Acorn Lane Milford, CT 06460

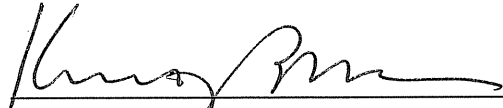
	<u>Map/Blk/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
62.	30/543/1-71	267 Melba Street	Carol M. Dion 267 Melba Street, D2 Milford, CT 06460
63.	30/543/1-72	267 Melba Street	Mary K. Schaffer 267 Melba Street, Unit B27 Milford, CT 06460
64.	30/543/1-73	267 Melba Street	Patricia Beers 267 Melba Street, Unit 73 Milford, CT 06460
65.	30/543/1-74	267 Melba Street	Kenneth E. Lenz 267 Melba Street, A29 Milford, CT 06460
66.	30/543/1-75	267 Melba Street	Linda N. and George J. Pastor, Jr. 267 Melba Street, Unit 75 D6 Milford, CT 06460
67.	30/543/1-76	267 Melba Street	Daniel J. Nolan 267 Melba Street, Unit 76 B29 Milford, CT 06460
68.	30/543/1-78	267 Melba Street	Kathleen L. Newman 267 Melba Street, Unit 78 A31 Milford, CT 06460
69.	30/543/1-80	267 Melba Street	John B. Oakley 267 Melba Street, Unit 80 Milford, CT 06460

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached list of abutting landowners.

October 14, 2010

Date



Kenneth C. Baldwin, Esq.

Robinson & Cole LLP

280 Trumbull Street

Hartford, CT 06103

Attorneys for CELLCO PARTNERSHIP

d/b/a VERIZON WIRELESS

ULS License

Cellular License - KNKA313 - Cellco Partnership

PA This license has pending applications: 0003324919

Call Sign	KNKA313	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

Market

Market	CMA049 - New Haven-West Haven-Waterbury-Meriden, CT	Channel Block	A
Submarket	0	Phase	2

Dates

Grant	02/05/2008	Expiration	01/22/2018
Effective	02/05/2008	Cancellation	

Five Year Buildout Date

12/04/1992

Control Points

1 180 Washington Valley Road, BEDMINSTER, NJ
P: (800)852-2671

Licensee

FRN	0003290673	Type	Partnership
-----	------------	------	-------------

Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Contact

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy #150 GASA5REG Alpharetta, GA 30004 ATTN Network Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
--	--

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?	No
Is the applicant directly or indirectly controlled by any other corporation	Yes

of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country?

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Demographics

Race

Ethnicity

Gender

ULS License

Cellular License - KNKA313 - Cellco Partnership - Frequencies

Call Sign KNKA313

Radio Service CL - Cellular

[Return to Main](#)

A Block

824.04 - 834.99 paired with 869.04 - 879.99

845.01 - 846.48 paired with 890.01 - 891.48

ULS License

PCS Broadband License - KNLH262 - Cellco Partnership

Call Sign	KNLH262	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular
Market			
Market	BTA318 - New Haven-Waterbury-Meriden, CT	Channel Block	F
Submarket	0	Associated Frequencies (MHz)	001890.00000000-001895.00000000-001970.00000000-001975.00000000

Dates

Grant	07/23/2007	Expiration	06/27/2017
Effective	07/23/2007	Cancellation	

Buildout Deadlines

1st	06/27/2002	2nd	
-----	------------	-----	--

Notification Dates

1st	06/10/2002	2nd	
-----	------------	-----	--

Licensee

FRN	0003290673	Type	Joint Venture
-----	------------	------	---------------

Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Contact

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No

Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country? **No**

Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country? **Yes**

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Tribal Land Bidding Credits

This license did not have tribal land bidding credits.

Demographics

Race

Ethnicity

Gender

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
1120 SANCTUARY PKWY #150 - GASA5REG
ALPHARETTA, GA 30004

Call Sign WQJQ689	File Number 0003382444
Radio Service WU - 700 MHz Upper Band (Block C)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number REA001	Channel Block C	Sub-Market Designator 0	
Market Name Northeast			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls> and select "License Search". Follow the instructions on how to search for license information.

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
1120 SANCTUARY PKWY #150 - GASA5REG
ALPHARETTA, GA 30004

Call Sign WQJQ696	File Number 0003382435
Radio Service WY - 700 MHz Lower Band (Blocks A, B, E)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number BEA010	Channel Block A	Sub-Market Designator 0	
Market Name New York-No. New Jer.-Long Isl			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls> and select "License Search". Follow the instructions on how to search for license information.