

CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS

Connecticut Siting Council

APPLICATION OF CELLCO PARTNERSHIP
D/B/A VERIZON WIRELESS

WILLINGTON FACILITY

TOWN OF WILLINGTON

DOCKET NO. _____

FEBRUARY 5, 2010



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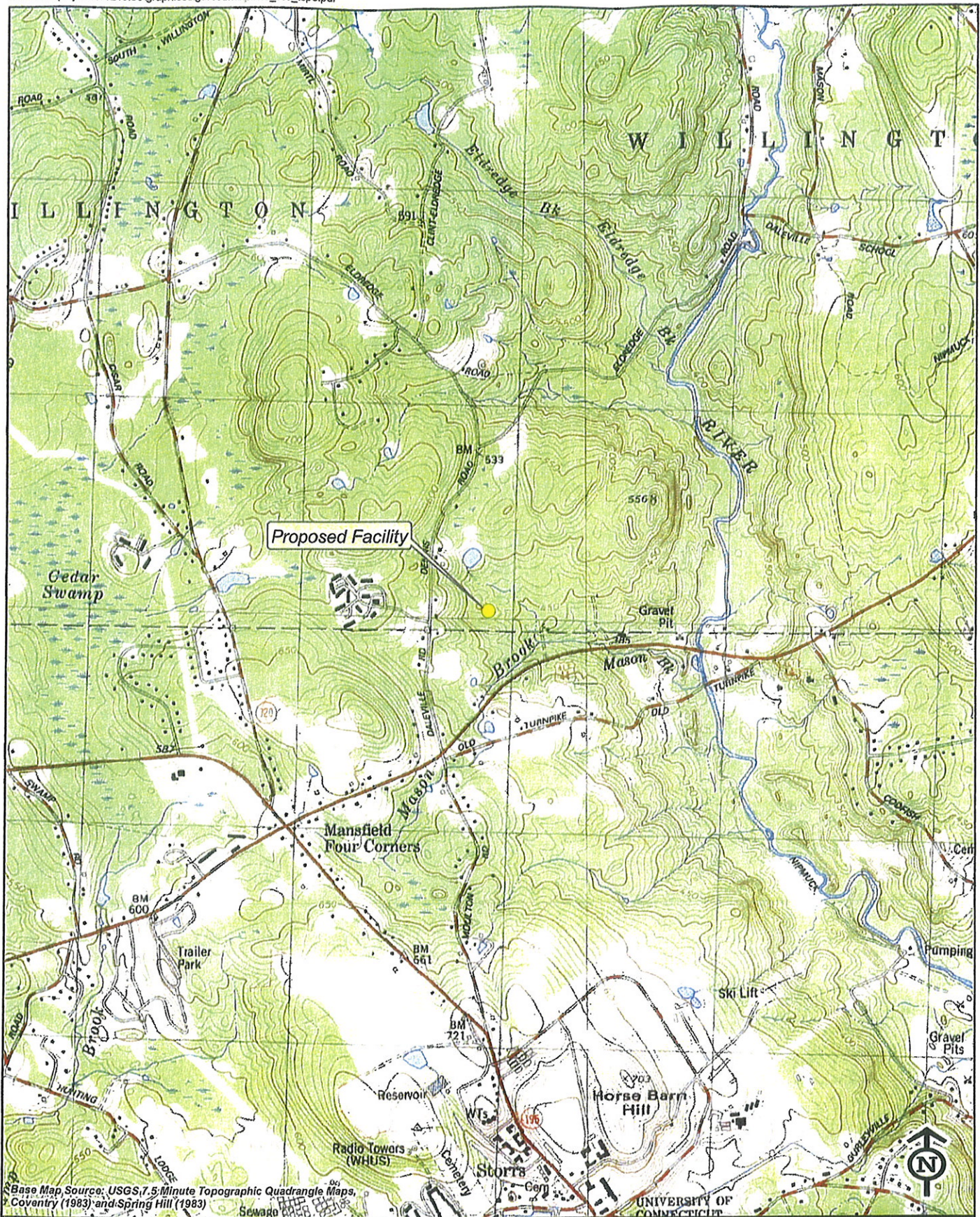
LIST OF ATTACHMENTS

1. Willington Facility – Factual Summary and Project Plans
2. Connecticut Siting Council Application Guide
3. Certificate of Service of Application on Government Officials and List of Officials Served
4. Legal Notice in the *Willimantic Chronicle*
5. Notice to Landowners; List of Abutting Landowners; Certificate of Service
6. Federal Communications Commission Authorization
7. Coverage Maps – Location of Proposed and Surrounding Cell Sites
8. Antenna and Equipment Specifications
9. Site Search Summary
10. Visual Impact Evaluation Report
11. Environmental Reviews/State Agency Comments
12. Wetland Impact Report and Soils Report
13. Federal Airways & Airspace Summary Report
14. Lease Agreement between Cellco Partnership and Muriel Kreuzscher

EXECUTIVE SUMMARY

Cellco Partnership d/b/a Verizon Wireless (“Cellco”) proposes to construct a telecommunications tower and related facility on an approximately 22-acre parcel owned by Muriel Kreuscher (the “Owner”) at 343 Daleville Road in Willington, Connecticut (the “Willington Facility”). The Willington Facility will provide wireless service along Route 44, as well as local roads in the southerly portion of the Town of Willington and northerly portion of the Town of Mansfield.

Cellco proposes the construction of a 100-foot telecommunications tower at this site. Cellco will install twelve (12) panel-type antennas, with their centerline at the 97-foot level on the tower. Cellco would also install a 12’ x 30’ shelter located near the base of the tower to house its radio equipment and a propane-fueled back-up generator. The tower and all ground-mounted equipment will be located within a 60’ x 60’ fenced compound. A 1,000 gallon propane tank would be installed on a concrete pad in the southeast corner of the fenced compound. Vehicular access to the Willington Facility would extend from Daleville Road over the Owner’s existing gravel driveway a distance of approximately 600 feet, then over portions of an existing dirt path to the cell site, an additional distance of approximately 500 feet. Utilities will extend from existing service on the Owner’s property approximately 500 feet west of the cell site.



Base Map Source: USGS 7.5 Minute Topographic Quadrangle Maps, Coventry (1983) and Spring Hill (1983)



Vanasse Hangen Brustlin, Inc.

**USGS Topographic Map
Proposed Verizon Wireless
Telecommunications Facility
Mansfield Four Corners
343 Daleville Road
Willington, Connecticut**



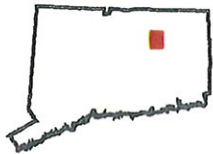
Quadrangle Location





Base Map Source: 2006 aerial photograph with a 1-foot pixel resolution

Vanasse Hangen Brustlin, Inc.



Quadrangle Location



2006 Aerial Photograph
 Proposed Verizon Wireless
 Telecommunications Facility
 Mansfield Four Corners
 343 Daleville Road
 Willington, Connecticut



STATE OF CONNECTICUT
CONNECTICUT SITING COUNCIL

IN RE: :
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 APPLICATION OF CELLCO PARTNERSHIP : DOCKET NO. ____
 D/B/A VERIZON WIRELESS FOR A :
 CERTIFICATE OF ENVIRONMENTAL :
 COMPATIBILITY AND PUBLIC NEED FOR :
 THE CONSTRUCTION, MAINTENANCE AND :
 OPERATION OF A WIRELESS :
 TELECOMMUNICATIONS FACILITY AT 343 :
 DALEVILLE ROAD, WILLINGTON, :
 CONNECTICUT : FEBRUARY 5, 2010

**APPLICATION FOR CERTIFICATE OF
ENVIRONMENTAL COMPATIBILITY AND PUBLIC NEED**

I. INTRODUCTION

A. Authority and Purpose

This Application and the accompanying attachments (collectively, the “Application”) is submitted by Cellco Partnership d/b/a Verizon Wireless (“Cellco” or the “Applicant”), pursuant to Chapter 277a, Sections 16-50g et seq. of the Connecticut General Statutes (“C.G.S.”), as amended, and Sections 16-50j-1 et seq. of the Regulations of Connecticut State Agencies (“R.C.S.A.”), as amended. The Application requests that the Connecticut Siting Council (“Council”) issue a Certificate of Environmental Compatibility and Public Need (“Certificate”) for the construction, maintenance, and operation of a wireless telecommunications facility, in the Town of Willington, Connecticut (the “Willington Facility”). The proposed Willington Facility would provide for wireless telecommunications coverage and some capacity relief to customers

along Route 44, Cellco's principal coverage objective, as well as local roads in the southerly portion of the Town of Willington and northerly portion of the Town of Mansfield. These coverage gaps exist, primarily along Route 44, between Cellco's existing Mansfield facility to the west and Ashford West 2 facility to the east. Cellco's existing Mansfield cell site consists of antennas at the 109-foot level of a 120-foot AT&T tower at 497 Middle Turnpike in Mansfield. Cellco's existing Ashford West 2 cell site consists of antennas at the 127-foot level of a 150-foot National Grid tower at 99 Knowlton Road in Ashford. Cellco's existing coverage gap along Route 44 measures 0.5 miles at cellular frequencies (850 MHz) and 1.6 miles at PCS (1900 MHz). Currently, Cellco does not provide LTE (700 MHz) service in the Willington/Mansfield area. The proposed Willington Facility will provide reliable service to a 1.95 mile portion of Route 44, and an overall area of 4.4 square miles at cellular frequencies; a 1.9 mile portion of Route 44, and an overall area of 1.9 square miles at PCS frequencies; and a 2.35 mile portion of Route 44, and an overall area of 5.95 square miles at LTE frequencies.

The Willington Facility would be located in the central portion of a 22-acre parcel at 343 Daleville Road in Willington (the "Property"). The Property is located in the Town's R-80 (Residential) zone district. The Property's southerly boundary is the Willington-Mansfield town line.

If this application is approved by the Council, Cellco will construct a 100-foot self-supporting monopole telecommunications tower at the Property. At the top of the tower, Cellco would install a total of twelve (12) panel-type antennas (six (6) cellular, three (3) PCS; and three (3) LTE) with their centerline at the 97-foot level. Cellco's antennas will not extend above the top of the tower. Equipment associated with Cellco's antennas would be located in a 12' x 30'

shelter installed near the base of the tower within a 60' x 60' fenced compound. Vehicular access to the Willington Facility would extend from Daleville Road over the landowner's existing driveway a distance of approximately 600 feet, then along portions of an existing dirt path to the cell site, an additional distance of approximately 500 feet.¹ Utilities will extend underground from existing overhead service on the Property, located to the northwest of the landlord's residence, a distance of approximately 500 feet west of the cell site. Both the tower and leased area would be designed to accommodate additional carriers as well as municipal and emergency services antennas and equipment. As of the date of this filing neither the Town nor any other wireless carrier has expressed an interest in sharing the proposed Willington Facility.

Cellco's equipment shelter would house radio and related equipment, including (a) receiving, transmitting, switching, processing and performance monitoring equipment; and (b) automatic heating and cooling equipment. A propane-fueled generator would also be installed in a segregated generator room within the shelter for use during power outages and periodically for maintenance purposes. A 1,000 gallon propane tank will be installed, on a concrete pad, in the corner of the site compound.

The tower, equipment shelter and propane tank would be enclosed by an 8-foot high security fence and gate. Cellco's equipment building would be equipped with a silent intrusion and systems alarm and will be monitored on a 24-hour basis to receive and to respond to incoming alarms or other technical problems. The equipment building would remain unstaffed, except as required for maintenance. Once operational, maintenance personnel will visit the cell

¹ A portion of the property owner's existing driveway, approximately 300 feet east of Daleville Road, will be realigned as a part of the Cellco proposal. The existing driveway currently encroaches onto the adjacent parcel to the north. Under Cellco's development plan, this driveway encroachment will be eliminated.

site on a monthly basis. More frequent visits may be required if there are problems with the cell site equipment.

Included in this Application as Attachment 1 is a factual summary and project plans for the proposed Willington Facility. This summary, along with the other attachments submitted as part of this Application, contains all of the site-specific information required by statute and the regulations of the Council.

In accordance with Paragraph I(F) of the Council's "Application Guide" for Community Antenna Television and Telecommunication Towers, a copy of the Application Guide is included as Attachment 2. The Application Guide contains references to the specific pages of this Application and the attachments where the information required under Section VI of the Application Guide may be found.

B. The Applicant

Cellco is a Delaware Partnership with an administrative office located at 99 East River Drive, East Hartford, CT, 06108. Cellco is licensed by the Federal Communications Commission ("FCC") to operate a wireless telecommunications system in the State of Connecticut within the meaning of C.G.S. Section 16-50i(a)(6). Operation of the wireless telecommunications systems and related activities are Cellco's sole business in the State of Connecticut.

Cellco has extensive national experience in the development, construction and operation of wireless telecommunications systems and the provision of wireless telecommunications service to the public.

Correspondence and/or communications regarding this Application may be addressed to:

Sandy Carter, Regulatory Manager
Verizon Wireless
99 East River Drive
East Hartford, CT 06108

A copy of all such correspondence or communications should also be sent to the applicant's attorneys:

Robinson & Cole LLP
280 Trumbull Street
Hartford, Connecticut 06103-3597
(860) 275-8200
Attention: Kenneth C. Baldwin, Esq.

C. Application Fee

The estimated total construction cost for the Willington Facility would be less than \$5,000,000. Therefore, pursuant to Section 16-50v-1a(b) of the Regulations of Connecticut State Agencies, an application fee of \$1,000 accompanies this Application in the form of a check payable to the Council.

II. SERVICE AND NOTICE REQUIRED BY C.G.S. SECTION 16-50l(b)

Copies of this Application have been sent by certified mail, return receipt requested, to municipal, regional, state and federal officials, pursuant to C.G.S. Section 16-50l(b). A certificate of service, along with a list of the parties served with a copy of the Application, is included as Attachment 3.

Notice of Cellco's intent to submit this Application was published on February 1 and 2, 2010, by Cellco in the *Willimantic Chronicle* pursuant to C.G.S. Section 16-50l(b). A copy of the published legal notice is included as Attachment 4. A copy of the publisher's affidavit or certificate of publication will be submitted to the Council as soon as it is available.

Attachment 5 contains a certification that notices were sent to each person appearing of record as an owner of property that may be considered to abut the Property in accordance with C.G.S. Section 16-50(b), as well as a list of the property owners to whom such notice was sent and a sample notice letter.

III. REQUIRED INFORMATION: PROPOSED WIRELESS FACILITY

The purpose of this section is to provide an overview and general description of the wireless facility proposed to be installed at the Property.

A. General Information

Prior to the 1980's, mobile telephone service was characterized by insufficient frequency availability, inefficient use of available frequencies and poor quality of service. These limitations generally resulted in problems of congestion, blocking of transmissions, interference, lack of coverage and relatively high cost. Consequently, the FCC, in its Report and Order released May 4, 1981 in FCC Docket No. 79-318, recognized the public need for technical improvement, wide-area coverage, high quality service and a degree of competition in mobile telephone service.

More recently, the federal Telecommunications Act of 1996 (the "Act") emphasized and expanded on these aspects of the FCC's 1981 decision. Among other things, the Act recognized an important nationwide public need for high-quality wireless telecommunication services of all varieties. The Act also expressly promotes competition and seeks to reduce regulation in all aspects of the telecommunications industry in order to foster lower prices for consumers and to encourage the rapid deployment of new telecommunications technologies.

Cellco's proposed Willington Facility would be part of the expanding wireless telecommunications network envisioned by the Act and has been developed to help meet these

nationwide goals. In particular, Cellco's system has been designed, and the cell sites proposed in this Application have been selected, so as to maximize the geographical coverage and quality of service while minimizing the total number of cell sites required.

Because the FCC and the United States Congress have determined that there is a pressing public need for high-quality wireless telecommunications service nationwide, the federal government has preempted the determination of public need by states and municipalities, including the Council, with respect to public need for the service to be provided by the proposed facility. In addition, the FCC has promulgated regulations containing technical standards for wireless systems, including design standards, in order to ensure the technical integrity of each system and nationwide compatibility among all systems. State and local regulation of these matters is likewise preempted. The FCC has also exercised its jurisdiction over and preempted state and local regulation with respect to radio frequency interference issues by establishing regulations in this area as well.

Pursuant to FCC authorizations, Cellco has constructed and currently operates a wireless system throughout Connecticut. This system, together with Cellco's system throughout its east coast and nationwide markets, has been designed and constructed to operate as one integrated, contiguous system, consistent with Cellco's business policy of developing compatibility and continuity of service on a regional and national basis.

Included as Attachment 6 is a copy of the FCC's authorization issued to Cellco for its wireless service in Tolland County, Connecticut. The FCC's rules permit a licensee to modify its system, including the addition of new cell sites, without prior approval by the FCC, as long as the

licensee's authorized service area is not enlarged. The Willington Facility would not enlarge Cellco's authorized service area.

B. Public Need and System Design

1. Public Need

As noted above, the Act has pre-empted any state or local determination of public need for wireless services. In Tolland County, Cellco holds FCC Licenses to provide cellular, PCS and LTE service. Pursuant to its FCC Licenses, Cellco has developed and continues to develop a network of cell sites to serve the demand for wireless service in the area. Cellco's network currently provides coverage in Willington and the surrounding areas from its existing Mansfield and Ashford West 2 cell sites. Plots showing coverage from Cellco's existing facilities alone and together with the coverage from the proposed Willington Facility are included as Attachment 7.

2. System Design and Equipment

a. System Design

Cellco's wireless system in general and the proposed Willington Facility, in particular, have been designed and developed to allow Cellco to achieve and to maintain high quality, reliable wireless service without interruption from dropped calls and interference.

The system design provides for frequency reuse and hand-off, is capable of orderly expansion and is compatible with other wireless systems. The resulting quality of service compares favorably with the quality of service provided by conventional wireline telephone service. The wireless system is designed to assure a true cellular configuration of base transmitters and receivers in order to cover the proposed service area effectively while providing the highest quality of service possible. Cell site transmissions are carefully tailored to the FCC's

technical standards with respect to coverage and interference and to minimize the amount of power that is radiated.

Mobile telephone switching offices (“MTSOs”) in Windsor and Wallingford are interconnected and operate Cellco’s wireless systems in Connecticut as a single network, offering the subscriber uninterrupted use of the system while traveling throughout the State. This network is further interconnected with the local exchange company (“LEC”) and inter-lata (long distance) carriers network.

Cellco has designed its wireless system in conformity with applicable standards and constraints for wireless systems. Cellco’s system is also designed to minimize the need for additional cell sites in the absence of additional demand or unforeseen circumstances.

b. Cellular System Equipment

The key elements of the cellular system are the two MTSOs located in Windsor and Wallingford and the various connector cell sites around the state. Cellco’s CDMA wireless networks are deployed on two platforms: the earlier AUTOPLEX system, using Series II base stations, and the newer FLEXENT CDMA system, using smaller, more compact modular base stations. Because the Series II base stations are no longer manufactured, the newer CDMA systems, using smaller, more compact modular base stations are used for all current installations.

The major electronic components of each cell site are radio frequency transmission and receiving equipment and cell site controller equipment. Cellco’s cellular system uses Lucent Flexent® Modular Cell 4.0B cell site equipment to provide complete cell site control and performance monitoring. This equipment is capable of expanding in modules to meet system growth needs. The cell site equipment primarily provides for: message control on the calling

channel; call setup and supervision; radio frequency equipment control; internal diagnostics; response to remote and local test commands; data from the mobile or portable unit in both directions and on all channels; scan receiver control; transmission of power control commands; rescanning of all timing; and commands and voice channel assignment. Additional information with respect to the Lucent Flexent® Modular Cell 4.0B equipment is contained in Attachment 8.

3. Technological Alternatives

Cellco submits that there are no equally effective technological alternatives to the proposal contained herein. In fact, Cellco's wireless system represents state-of-the-art technology offering high-quality service. Cellco is aware of no viable and currently available alternatives to its system design for carriers licensed by the FCC.

C. Site Selection and Tower Sharing

1. Cell Site Selection

Cellco's goal in selecting cell sites such as the one proposed here is to locate its facility in such a manner as to allow it to build and to operate a high-quality wireless system with the least environmental impact. Cellco has determined that the proposed Willington Facility will satisfy this goal and is necessary to resolve existing coverage problems and to provide high-quality reliable service along portions of Route 44, as well as local roads in southern Willington and northern Mansfield.

The methodology of cell site selection for Cellco's wireless system generally limits the search for possible locations to specific locations on the overall grid for the area. A list of existing towers or other non-tower structures considered is included in Attachment 9. Cellco currently shares the existing AT&T tower (Cellco's Mansfield cell site) located at 497 Middle

Turnpike in Mansfield; and the existing National Grid tower (Cellco's Ashford West 2 cell site) located at 99 Knowlton Road in Ashford. (See Attachment 7). Neither of these existing cell sites, alone or together, can resolve the coverage problems in southern Willington and northern Mansfield. Cellco also regularly investigates the use of existing, non-tower structures in an area, when available, as an alternative to building a new tower. No existing non-tower structures of suitable height exist in the area. The site search summary together with the site information contained in Attachment 1 support Cellco's position that the site selected represents the most feasible alternative of the sites investigated.

2. Tower Sharing

Cellco will design its Willington Facility tower and compound area so that it could be shared by a minimum of four wireless carriers, and the Town, if a need exists. This type of tower sharing arrangement would reduce, if not eliminate, the need for these other carriers or municipal entities to develop a separate tower in this same area in the future. As of the date of this filing, no other carrier has expressed any interest in the Willington Facility.

D. Cell Site Information

1. Site Facilities

At the Willington Facility, Cellco would construct a new 100-foot tall tower and install twelve (12) panel-type directional antennas at the 97-foot level on the tower. Cellco would install a 12' x 30' single-story shelter near the base of the tower to house Cellco's receiving, transmitting, switching, processing and performance monitoring equipment and the required heating and cooling equipment. A propane-fueled generator would be installed within a segregated room in Cellco's equipment shelter for use during power outages and periodically for

maintenance purposes. A 1,000 gallon propane tank will be installed inside the site compound. The tower, equipment shelter and propane tank would be surrounded by an 8-foot high security fence and gate. (See Attachment 1).

The equipment shelter would be equipped with silent intrusion and systems alarms. Cellco personnel will be available on a 24-hour basis to receive and to respond to incoming alarms. The equipment building will remain unstaffed, except as required for periodic maintenance purposes.

2. Overall Costs and Benefits

Aside from the limited visual impacts discussed further below, Cellco believes that there are no significant costs attendant to the construction, maintenance, and operation of the proposed cell site. In fact, the public will benefit substantially from its increased ability to receive high-quality, reliable wireless service in Willington.² The Willington Facility would be a part of a communications system that addresses the public need identified by the FCC and the United States Congress for high-quality, competitive mobile and portable wireless service. Moreover, the proposed cell site would be part of a system designed to limit the need for additional cell sites in the future.

The overall costs to Cellco for development of the proposed cell site are set forth in Section III.E. of the Application.

² Businesses across the State have become more dependent on wireless telecommunication services. The public safety benefits of wireless telephone service are illustrated by the improved Connecticut State Police 911 emergency calling system. The 911 emergency calling system is available statewide to all wireless telephone users. Numerous other emergency service organizations have turned to wireless telephone service for use during natural disasters and severe storms when wireline service is interrupted or unavailable. As a deterrent to crime, the general public will further benefit from the Cellular Telecommunications Industry Association's donation of more than 50,000 cellular phones to "Neighborhood Watch" groups nationwide.

3. Environmental Compatibility

Pursuant to Section 16-50p of the General Statutes, in its review of the Application, the Council is required to find and to determine, among other things, the nature of the probable environmental impact, including a specification of every significant adverse effect of the Willington Facility, whether alone or cumulatively with other effects, on, and conflicting with the policies of the state concerning the natural environment, ecological balance, public health and safety, scenic, historic and recreational values, forests and parks, air and water purity and fish and wildlife.

a. Primary Facility Impact is Visual

The wireless system of which the proposed Willington Facility would be a part has been designed to meet the public need for high-quality, reliable wireless service while minimizing any potential adverse environmental impact. In part because there are few, if any other adverse impacts, the primary impact of facilities such as this is visual. This visual impact will vary from location to location around a tower, depending upon factors such as vegetation, topography, the distance of nearby properties from the tower and the location of buildings and roadways in a “sight line” toward the tower. Similarly, visual impact of a tower facility can be further reduced through the proper use of alternative tower structures; so-called “stealth installations.” Where appropriate, telecommunications towers camouflaged as trees, flagpoles, and bell towers, to name a few, can help to further reduce visual impacts associated with these structures.

Attachment 10 contains a detailed Visual Resource Evaluation Report, prepared by VHB, Inc. (the “VHB Report”) that assesses the visual impact of the proposed tower and includes photosimulations of the tower at this site for the Council’s consideration. Overall, VHB

concludes that areas where the tower would be visible above the tree canopy are limited to approximately 7 acres, or less than one-half of one percent of the 8,042-acre study area. Much of the visibility associated with the Willington Facility occurs nearly two miles to the south on the UCONN campus. Cellco estimates that select portions of five residential properties would have at least partial year-round views of the tower. Areas where seasonal views are anticipated comprise approximately twenty-three (23) additional acres and are mainly located in the immediate vicinity of the Willington Facility.

There are approximately eight (8) residences within 1,000 feet of the Willington Facility, four located in the Town of Willington and four located in the Town of Mansfield. The closest residence is located on the Property and is approximately 440 feet to the west owned by Cellco's landlord. The nearest off-site residence is located approximately 780 feet to the west owned by Jefferson N. Willey at 331 Daleville Road.

Weather permitting, Cellco will raise a balloon with a diameter of at least three (3) feet at the proposed cell site on the day of the Council's hearing on this Application, or at a time otherwise specified by the Council.

b. Environmental Reviews and Agency Comments

Section 16-50j of the General Statutes requires the Council to consult with and to solicit comments on the Application from the Commissioners of the Departments of Environmental Protection, Public Health, Public Utility Control, Economic Development, and Transportation, the Council on Environmental Quality, and the Office of Policy and Management, Energy Division. In addition to the Council's solicitation of comments, Cellco, as a part of its National Environmental Policy Act ("NEPA") Checklist, solicits comments on the proposed facility from

the U.S. Department of the Interior, Fish and Wildlife Service (“USFWS”), Environmental and Geographic Information Center of the Connecticut Department of Environmental Protection (“DEP”) and the Connecticut Historical Commission, State Historic Preservation Officer (“SHPO”). Information on the USFWS and DEP reviews regarding impacts on known populations of Federal or State Endangered, Threatened or Special Concern Species occurring at the proposed site are included in Attachment 11. According to the USFWS letter dated January 4, 2010, there are no federally-listed or proposed, threatened or endangered species or critical habitat known to occur in Tolland County, where the Project is located, and as such the proposed development will not result in an adverse effect to any federally listed, endangered or threatened species.

In its comment letter dated March 13, 2008, the DEP stated that it “has records of a state species of special concern, Wood Turtle (*Glyptemys insculpta*) in the vicinity of [the] project”. (See Attachment 11 DEP letter dated March 13, 2008). In response to the DEP, Dean Gustafson with VHB, Inc. completed a Wood Turtle Habitat Survey (“Survey”) dated July 25, 2008, for the Property. In the Survey, Mr. Gustafson describes a methodological plan designed to avoid mortality of the Wood Turtle during construction activity associated with the Willington Facility. On January 21, 2010, Mr. Gustafson contacted the DEP and confirmed that there have been no significant changes to the Property since he prepared the Survey and that its findings are still valid. The Survey and Mr. Gustafson’s January 21, 2010 letter to DEP are included as a part of Attachment 11.

Also included in Attachment 11 is a letter from the SHPO confirming that the Willington Facility will have no effect on historic, architectural or archeological resources listed or eligible for listing on the National Register of Historic Places.

This review by state administrative agencies furnishes ample expert opinion on the potential environmental impacts from the Willington Facility, in the context of the criteria which the Council must consider.

c. Non-Ionizing Radio Frequency Radiation

The FCC has adopted a standard for exposure to Radio Frequency (“RF”) emissions from telecommunications facilities like the one proposed in this Application. To ensure compliance with the applicable standards, Cellco has performed maximum power density calculations for the proposed cell site according to the methodology prescribed by the FCC Office of Engineering and Technology Bulletin No. 65E, Edition 97-01 (August 1997) (“OET Bulletin 65”). The calculation is a conservative, worst-case approximation for RF power density levels at the closest accessible point to the antennas, in this case the base of the tower, and with all antennas transmitting simultaneously on all channels at full power. The calculations indicate that the maximum power density level for Cellco antennas would be 35.43% of the Standard at the Willington Facility.

d. Other Environmental Issues

No sanitary facilities are required for the Willington Facility. The operations at the Willington Facility will not cause any significant air, water, noise or other environmental impacts, or hazard to human health.

Based on agency comments received and field investigations by Cellco's project team, Cellco submits that the proposed facility will have no significant adverse effect on scenic, natural, historic or recreational features, and that none of the potential effects from the Willington Facility alone or cumulatively with other effects is sufficient reason to deny this Application.

4. **Consistency with Local Land Use Controls**

The Council Application Guide for Community Antenna Television and Telecommunication Facilities, as amended on February 16, 2007, requires the inclusion of a narrative summary of the project's consistency with the Town's Plan of Development and Zoning Regulations, as well as a description of planned and existing uses of the site location and surrounding properties.

a. **Planned and Existing Land Uses**

The proposed Willington Facility would be located on a 22-acre parcel owned by Muriel Kreuscher. The Property is zoned R-80 Residential and currently used for residential and agricultural purposes by the Owner. The Property is surrounded by low-density residential and agricultural land uses to the north, south and east and by a multi-family apartment complex to the west.

b. **Willington Town Plan of Conservation and Development**

The Town of Willington Plan of Conservation and Development (the "POCD") effective February 7, 2006, does not specifically identify telecommunications towers as a land use consistent or inconsistent with the general planning or conservation policies of the Town of Willington. The POCD does, however, recognize as one of its Economic Development Goals,

that in order to attach new economic development, the Town needs to “upgrade telecommunications infrastructures to better attract high-technology facilities”.

c. Zoning Regulations

According to the Town Zoning Map, the Property is located in the R-80 Residential zone. The Town has established Wireless Telecommunications Facilities Regulations, found in Section 11.13 of the Zoning Regulations. Co-located wireless telecommunications facilities are uses permitted in the R-80 zone by special permit. Telecommunications facilities are permitted in the R-80 zone but only as accessory uses to a principal government use. A tower must maintain a minimum setback equal to either two times the height of the tower from any abutting “sensitive area” if not visible from that area or three times the tower height if visible from the “sensitive area”. Sensitive areas are defined as historic residential and village areas, riparian corridors and stream belts. The Willington Facility tower radius does not extend onto adjacent properties. The distance from the tower to the nearest property boundary (to the north) is approximately 388 feet, nearly four times the tower height. (See Attachment 1 – Plan Sheet S-1). Section 11.13.06.01.02 of the Zoning Regulations establishes certain location preferences for telecommunications facilities in Willington. Locations in order of preference, (1) being the most-preferred and (5) being the least preferred are: (1) facilities on existing/approved towers; (2) facilities within existing structures; (3) facilities on existing non-tower structures; (4) new facilities in non-sensitive areas; and (5) new facilities in sensitive areas with mitigation.

d. Inland Wetland and Water Course Regulations

The Town of Willington Inland Wetlands and Watercourses (“IWWC”) Regulations define regulated activity as any operation within, or use of, a wetland or watercourse or

deposition of material or any obstruction, construction, alteration or pollution, of such wetlands or watercourses. The definition of regulated activity also includes any construction activity within 100 feet of a wetland or watercourse; within 150 feet of the Fenton and Willimantic Rivers; and within 250 feet of a wetland with adjacent slopes of 15% or greater. Four (4) copies of the Willington Wetlands Regulations were filed, in bulk, with the Council.

Dean Gustafson, Professional Soil Scientist with VHB, Inc., conducted a field investigations and completed two separate Wetlands Delineation Reports (the “Wetlands Reports”) for development activity related to the Willington Facility. According to the Wetlands Reports, the closest wetland area is more than 100 feet south of the proposed tower site. Construction activity associated with the realignment of the Owner’s driveway will not directly impact the existing intermittent watercourse located to the south. Adequate soil erosion and sedimentation controls will be installed prior to construction to avoid any indirect impacts to this watercourse area. Copies of the NEPA Wetlands Compliance Memo and Wetlands Delineation Report are included in Attachment 12.

In accordance with the Connecticut Soil Erosion Control Guidelines, as established by the Council for Soil and Water Conservation, adequate and appropriate soil erosion and sedimentation control measures will be established and maintained throughout the cell site construction period. In addition, Cellco will employ appropriate construction management practices to ensure that no pollutants would be discharged to any nearby watercourse or wetland areas or to area groundwater during the construction process.

According to the Federal Emergency Management Agency Flood Insurance Rate Map (“FIRM”), Community Panel Number 0901590020A (Effective Date June 15, 1982), the Facility would be located in Flood Zone C. A copy of the FIRM is also included in Attachment 12.

5. Local Input

Section 16-50(e) of the Connecticut General Statutes, as amended, requires local input on matters before the Council. On December 1, 2009, Cellco representatives met with Willington First Selectwoman Christina B. Mailhos and Susan Yorgenson, Zoning Enforcement Officer and Wetlands Agent to commence the sixty (60) day municipal consultation process. Ms. Mailhos and Ms. Yorgenson received copies of technical information summarizing Cellco’s plans to establish a telecommunications facility at the Property. Because the Willington Facility is located within 2,500 feet of the Town of Mansfield, Cellco representatives also submitted copies of the technical information to Mansfield’s Director of Planning, Greg Padick as designee for the Town Manager.

6. Consultations With State and Federal Officials

Attachment 11 and Section III.D. of the Application describe Cellco’s consultations with state and federal officials regarding Cellco’s proposed Willington Facility.

a. Federal Communications Commission

The FCC did not review this particular proposal. As discussed above, FCC approval is not required where the authorized service area is not enlarged.

b. Federal Aviation Administration

As it does with all of its tower applications, Cellco conducted the appropriate air-space analysis for the proposed Willington Facility to determine if the proposed tower would constitute

an obstruction or hazard to air navigation. Cellco's analysis has confirmed, pursuant to FAA standards and guidelines, that the proposed site tower would not constitute an obstruction or hazard to air navigation and therefore no obstruction marking or lighting would be required. A copy of the Federal Airways & Airspace Summary Report is included in Attachment 13.

c. United States Fish and Wildlife Service

According to the USFWS, there are no federally-listed or proposed, threatened or endangered species or critical habitat known to occur in the project area. (See VHB Memo dated January 21, 2010 in Attachment 11).

d. Connecticut Department of Environmental Protection

(1) Environmental and Geographic Information Center

As discussed above based on a review of the DEP/NDDDB, the project will not impact any known occurrences of State listed species or significant natural communities.

(2) Bureau of Air Management

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this Application will require the issuance of a permit from the DEP Bureau of Air Management. As proposed, this emergency generator will be run only during the interruption of utility service to the cell site and periodically as required for maintenance purposes. Cellco will obtain the necessary permit prior to installing the generator at the Willington Facility.

e. Connecticut State Historic Preservation Officer

As discussed above, Attachment 11 also includes the SHPO's determination that the proposed Willington Facility will have no effect on historic, architectural or archeological resources eligible or listed on the National Register of Historic Places.

E. Estimated Cost and Schedule

1. Overall Estimated Costs

The total estimated cost of construction of the proposed facility is \$785,000. This estimate includes:

(1)	Cell site radio equipment of approximately	\$450,000
(2)	Tower, coax and antenna costs of approximately	150,000
(3)	Power systems costs of approximately	20,000
(4)	Equipment building costs of approximately	50,000
(5)	Miscellaneous costs (including site preparation and installation) of approximately	115,000

2. Overall Scheduling

Site preparation and engineering would commence following Council approval of Cellco's Development and Maintenance ("D & M") plan and are expected to be completed within two to four weeks. Due to the delivery schedules of the manufacturers, installation of the building and installation of the tower are expected to take an additional two weeks. Equipment installation is expected to take an additional two weeks after installation of the building and installation of the tower. Cell site integration and system testing is expected to require two weeks after equipment installation.

IV. CONCLUSION

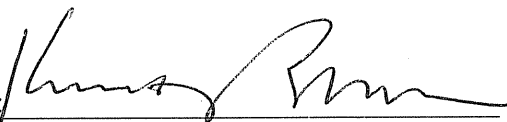
Based on the facts contained in this Application, Cellco submits that the establishment of the Willington Facility, at the Property will not have any substantial adverse environmental effects. A public need exists for high quality reliable wireless service in the Town of Willington and throughout Tolland County, as determined by the FCC and the United States Congress, and a

competitive framework for providing such service has been established by the FCC and the Telecommunications Act of 1996. Cellco submits that the public need far outweighs any possible environmental effects resulting from the construction of the proposed cell site.

WHEREFORE, Cellco respectfully requests that the Council grant this Application for a Certificate of Environmental Compatibility and Public Need for the proposed Willington Facility.

Respectfully submitted,

CELLCO PARTNERSHIP D/B/A VERIZON
WIRELESS

By: 

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, Connecticut 06103-3597
(860) 275-8200
Attorneys for the Applicant

WILLINGTON

**343 Daleville Road
Willington, Connecticut**

Description of Proposed Cell Site

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

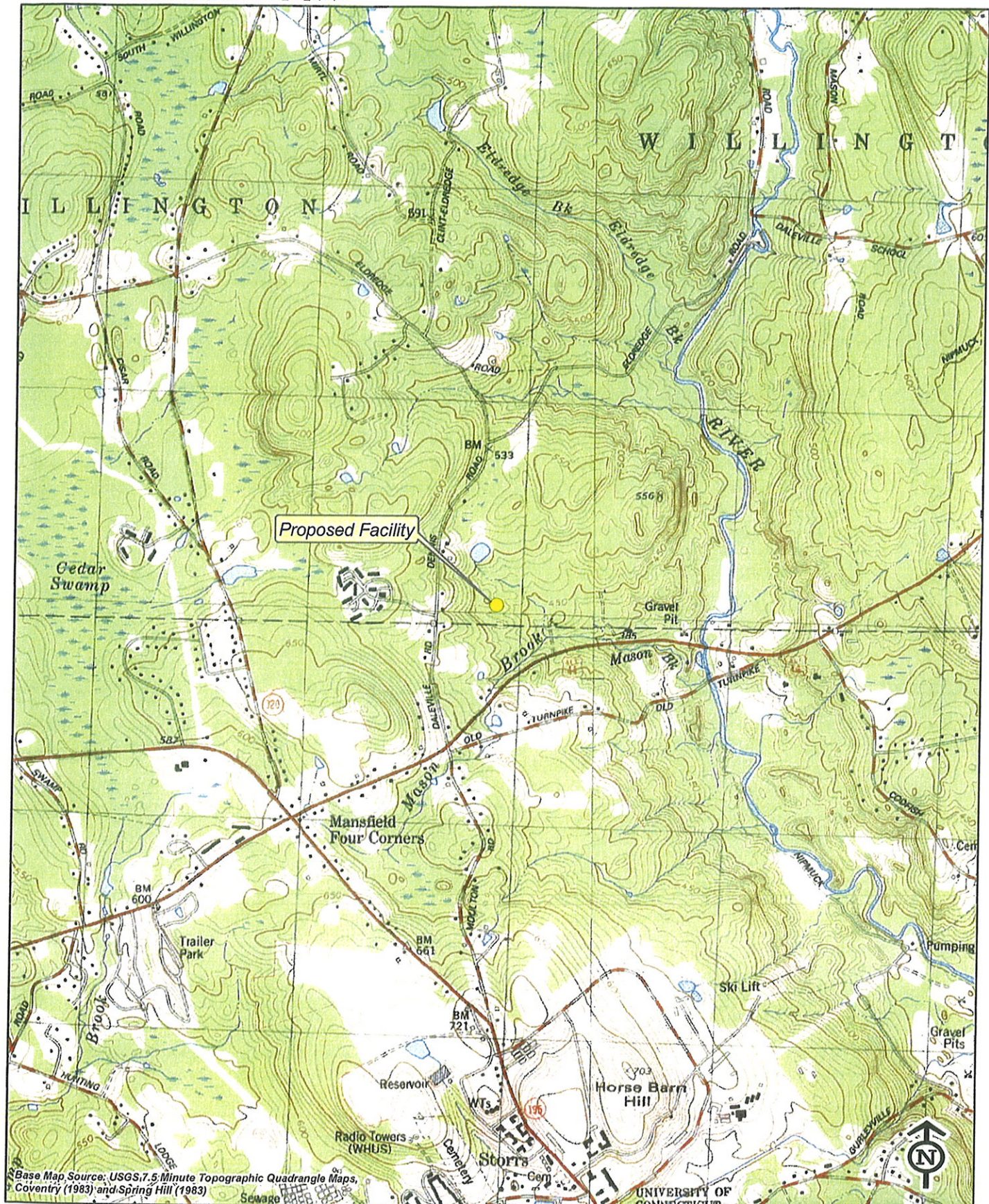
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SITE NAME: WILLINGTON – 343 Daleville Road, Willington, CT

GENERAL CELL SITE DESCRIPTION

The proposed cell site would be located in the central portion of an approximately 22-acre parcel located at 343 Daleville Road in Willington, Connecticut (the “Property”). The Property is owned by Muriel Kreuzscher. The facility would consist of a 100-foot telecommunications tower and a 12’ x 30’ equipment shelter located within a 60’ x 60’ fenced compound (the “Willington Facility”). The shelter would house Cellco’s radio equipment and propane-fueled back-up generator. Cellco antennas would be mounted with their centerline at the 97-foot level on the tower. A 1,000 gallon propane tank would be located in the southeast corner of the Willington Facility compound. Vehicular access to the site would extend from Daleville Road over a portion of the owner’s existing driveway then over an improved portion of an existing path, a total distance of approximately 1,100 feet. Utility access would extend from existing service on the landowner’s property.



Base Map Source: USGS, 7.5 Minute Topographic Quadrangle Maps, Coventry (1983) and Spring Hill (1983)

Vanasse Hangen Brustlin, Inc.



Quadrangle Location

USGS Topographic Map
Proposed Verizon Wireless
Telecommunications Facility
Mansfield Four Corners
343 Daleville Road
Willington, Connecticut





Base Map Source: 2006 aerial photograph with a 1-foot pixel resolution



Vanasse Hangen Brustlin, Inc.



Quadrangle Location



2006 Aerial Photograph
Proposed Verizon Wireless
Telecommunications Facility
Mansfield Four Corners
343 Daleville Road
Willington, Connecticut



SITE EVALUATION REPORT

SITE NAME: WILLINGTON – 343 Daleville Road, Willington, CT

I. LOCATION

- A. COORDINATES: 41° 50' 11.782" N 72° 15' 17.915" W
- B. GROUND ELEVATION: Approximately 497± feet AMSL
- C. U.S.G.S. MAP: Willington, CT
- D. SITE ADDRESS: 343 Daleville Road, Willington, CT
- E. ZONING WITHIN 1/4 MILE OF SITE: Land within 1/4 mile of the cell site is zoned R-80 Residential in Willington and RAR-90 Rural Agricultural Residence immediately south in the Town of Mansfield.

II. DESCRIPTION

- A. SITE SIZE: 80' x 80' Leased Area
60' x 60' Site Compound
- B. LESSOR'S PARCEL: Approximately 22-acres
- C. TOWER TYPE/HEIGHT: 100' Monopole Tower
- D. SITE TOPOGRAPHY AND SURFACE: The tower site is located near the top of a small hilltop on the Property. Site topography generally slopes down in all directions from this high point. Clearing and grading of the compound area and portions of the access road will be required to construct the sell site.
- E. SURROUNDING TERRAIN, VEGETATION, WETLANDS, OR WATER: The tower is located in the central portion of a 22-acre parcel. The Property is currently used for residential and agricultural (horse farm) purposes. No wetland or watercourse areas will be impacted by development at the Willington Facility. The realignment of a portion of the landowner's existing driveway, approximately 200 feet east of Daleville Road, will result in minor construction activity within approximately 12 feet of two existing intermittent watercourses on either side of the existing driveway. Impacts on these intermittent watercourses have been evaluated. No significant change in these surface features is anticipated. (See Wetlands Report included in Attachment 12).

- F. LAND USE WITHIN 1/4 MILE OF SITE: The Property is surrounded by low-density residential areas and agricultural land uses. To the west is an existing multi-family residential apartment complex.

III. FACILITIES

- A. POWER COMPANY: Connecticut Light and Power
- B. POWER PROXIMITY TO SITE: Approximately 500 feet to the west near the Property owner's residence.
- C. TELEPHONE COMPANY: AT&T
- D. PHONE SERVICE PROXIMITY: Same as power
- E. VEHICLE ACCESS TO SITE: Vehicle access to the site would extend directly from Daleville Road along the owner's existing driveway a distance of approximately 600 feet, then along improved portions of an existing cart path, an additional distance of approximately 500 feet to the site compound.
- F. CLEARING AND FILL REQUIRED: Clearing and grading would be required for construction of the tower compound and along portions of the proposed access driveway. Detailed construction plans would be developed after approval by the Siting Council. Cellco anticipates the need to remove 68 trees, greater than 6-inch diameter at breast height.

IV. LEGAL

- A. PURCHASE [] LEASE [X]
- B. OWNER: Muriel Kreuzscher
- C. ADDRESS: 343 Daleville Road, Willington, CT 06279
- D. DEED ON FILE AT: Town of Willington, CT Land Records

FACILITIES AND EQUIPMENT SPECIFICATION
(NEW TOWER & EQUIPMENT BUILDING)

SITE NAME: WILLINGTON – 343 Daleville Road, Willington, CT

I. TOWER SPECIFICATIONS:

- A. MANUFACTURER: To be determined
- B. TYPE: Self-supporting monopole
- C. TOWER HEIGHT: 100'
- D. DIMENSIONS: Approx. 55" base
 Approx. 21" top

II. TOWER LOADING:

A. CELLCO EQUIPMENT:

- 1. Antennas (12)
Six (6) Model LPA-185063/12CF_2 (71.1" x 6.6" x 5.8") Cellular antennas
Three (3) Model LPA-80063/6CF (70.9"x 15" x 13.1") PCS antennas
Three (3) Model BXA-70063/6CF (71" x 11.2" x 4.5")
Antenna Centerline 97' AGL
- 2. GPS Antenna: To be mounted on the top of the equipment shelter or bottom portion of the tower
- 3. Transmission Lines:
 - a. MFG/Model: Andrews LDF5-50A
 - b. Size: 1 5/8"

III. ENGINEERING ANALYSIS AND CERTIFICATION:

The towers will be designed in accordance with Electronic Industries Association Standard EIA/TIA-222-F "Structural Standards for Steel Antenna Towers and Antenna Support Structures." The foundation designs would be based on soil conditions at the site. Details for the towers and foundation designs will be provided as a part of the final D&M Plan.

ENVIRONMENTAL ASSESSMENT STATEMENT

SITE NAME: WILLINGTON – 343 Daleville Road, Willington, CT

I. PHYSICAL IMPACT

A. WATER FLOW AND QUALITY

No water flow and/or water quality changes are anticipated as a result of the construction or operation of the Willington Facility. Best management practices employed during construction will eliminate, to the extent possible, impacts on existing wetlands and watercourses in the area of proposed improvements to the landlord's existing driveway. No direct wetland or watercourse impacts are anticipated from construction of the facility compound or access drive.

B. AIR QUALITY

Under ordinary operating conditions, the equipment that would be used at the site would emit no air pollutants of any kind. For limited periods during power outages and periodically for maintenance purposes, minor levels of emissions from the on-site generator would result.

Pursuant to R.C.S.A. § 22a-174-3, the on-site emergency back-up generator proposed as a part of this application would require the issuance of a Connecticut Department of Environmental Protection Air Bureau permit for potential emissions. Cellco would obtain this permit prior to installing the generator at the approved cell site.

C. LAND

Tree clearing and some regrading of the tower compound and access driveway will be required to construct the Willington Facility. The remaining portion of the Property would remain unchanged by the construction and operation of the Willington Facility.

D. NOISE

The equipment to be in operation at the Willington Facility after construction would emit no noise of any kind, except for operation of the installed heating, air conditioning and ventilation systems and occasional operation of a back-up generator which would be run during power failures and periodically for maintenance purposes. Some noise is anticipated during cell site construction, which is expected to take approximately four to six weeks.

E. POWER DENSITY

The worst-case calculation of power density for Cellco's cellular and PCS antennas at the Willington Facility would be 35.43% of the Standard.

F. VISIBILITY

See Visual Resource Evaluation Report included as Attachment 10.

Cellco Partnership

d.b.a. **verizon** wireless

WIRELESS COMMUNICATIONS FACILITY

WILLINGTON - MANSFIELD 4 CORNERS

343 DALEVILLE ROAD
WILLINGTON, CT 06279

SITE DIRECTIONS

FROM: 99 EAST RIVER DRIVE
EAST HARTFORD, CONNECTICUT **TO:** 343 DALEVILLE ROAD
WILLINGTON, CT 06279

1. Start out going NORTHEAST on E RIVER DRIVE. 0.0 MI.
2. Merge onto I-84E via the ramp on the LEFT toward BOSTON. 17.9 MI.
3. Take the CT-195 exit, EXIT 68, toward TOLLAND/MANSFIELD. 0.2 MI.
4. Turn RIGHT onto MERRROW ROAD/CT-195. Continue to follow CT-195. 5.7 MI.
5. Turn LEFT onto MIDDLE TURNPIKE/US-44. 0.5 MI.
6. Turn LEFT on DALEVILLE ROAD. 0.6 MI.
7. End at 343 DALEVILLE ROAD, on the right.

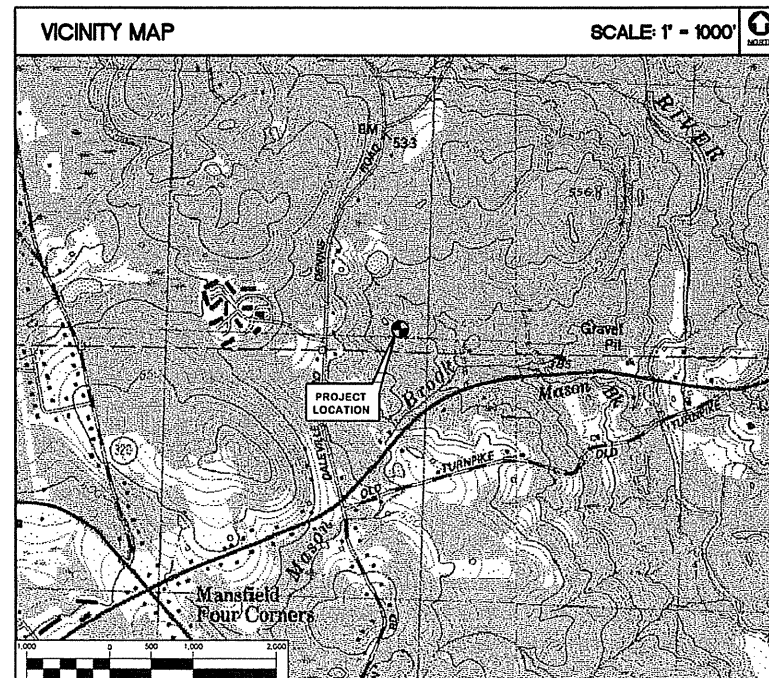
GENERAL NOTES

1. PROPOSED ANTENNA LOCATIONS AND HEIGHTS PROVIDED BY CELCO PARTNERSHIP.

SITE INFORMATION

THE SCOPE OF WORK SHALL INCLUDE:

1. THE CONSTRUCTION OF A 60'x60' FENCED WIRELESS COMMUNICATIONS COMPOUND WITHIN A 80'x80' LEASE AREA.
2. A TOTAL OF TWELVE (12) DIRECTIONAL PANEL ANTENNAS ARE PROPOSED TO BE MOUNTED AT A CENTERLINE ELEVATION OF 97'-0"± AGL ON A 100' PROPOSED STEEL MONOPOLE TOWER LOCATED IN THE CENTER OF THE PROPOSED COMPOUND.
3. TOTAL ACCESS DRIVE LENGTH IS 1100'±. APPROXIMATELY 600'± OF AN EXISTING DIRT/GRAVEL DRIVEWAY WILL BE UTILIZED FOR SITE ACCESS. APPROXIMATELY 500'± OF EXISTING GRASS/DIRT PATH WILL BE PROPOSED GRAVEL ACCESS DRIVE.
4. POWER AND TELCO UTILITIES SHALL BE ROUTED UNDERGROUND FROM EXISTING RESPECTIVE DEMARCS ON THE PROPERTY TO THE PROPOSED UTILITY BACKBOARD LOCATED WITHIN THE PROPOSED FENCED COMPOUND. FINAL DEMARC LOCATION AND UTILITY ROUTING TO PROPOSED BACKBOARD WILL BE VERIFIED/DETERMINED BY LOCAL UTILITY COMPANIES. UTILITIES WILL BE ROUTED FROM UTILITY BACKBOARD TO THE PROPOSED NOMINAL 12'x30' WIRELESS EQUIPMENT SHELTER LOCATED WITHIN THE COMPOUND.
5. FINAL DESIGN FOR TOWER AND ANTENNA MOUNTS SHALL BE INCLUDED IN THE D&M PLANS.
6. THE PROPOSED WIRELESS FACILITY INSTALLATION WILL BE DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE AS MODIFIED BY THE 2009 CONNECTICUT SUPPLEMENT.
7. THERE WILL NOT BE ANY LIGHTING UNLESS REQUIRED BY THE FCC OR THE FAA.
8. THERE WILL NOT BE ANY SIGNS OR ADVERTISING ON THE ANTENNAS OR EQUIPMENT.
9. FOR ADDITIONAL NOTES AND DETAILS REFER TO THE ACCOMPANYING DRAWINGS.



PROJECT SUMMARY

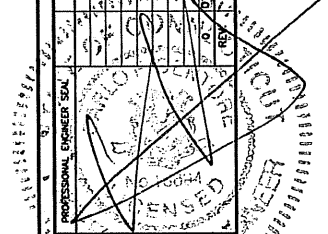
SITE NAME: WILLINGTON - MANSFIELD 4 CORNERS
SITE ADDRESS: 343 DALEVILLE ROAD
WILLINGTON, CT 06279
PROPERTY OWNER: MURIEL KREUSCHER
343 DALEVILLE ROAD
WILLINGTON, CT 06279
LESSEE/TENANT: CELCO PARTNERSHIP
d.b.a. VERIZON WIRELESS
99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108
CONTACT PERSON: SANDY CARTER
CELCO PARTNERSHIP
d.b.a. VERIZON WIRELESS
99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108
TOWER COORDINATES: LATITUDE 41°-50'-11.782"
LONGITUDE 72°-15'-17.915"
GROUND ELEVATION: 497.0'± A.M.S.L.
COORDINATES AND GROUND ELEVATION REFERENCED FROM
FAA 2C SURVEY CERTIFICATION PREPARED BY MARTINEZ
COUCH AND ASSOCIATES LLC DATED JANUARY 21, 2010.

SHEET INDEX

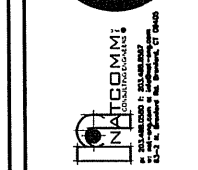
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T-1	TITLE SHEET	0
C-1	ABUTTERS MAP	0
C-1A	SITE / SURVEY PLAN	0
C-2	COMPOUND PLAN AND ELEVATION	0
C-3	SITE DETAILS	0
C-4	SITE DETAILS AND NOTES	0
C-5	SHELTER FOUNDATION DETAILS, PLANS & NOTES	0

DESIGNED BY: CFC
DRAWN BY: TSP
CHK'D BY: CFC

DATE	BY	DESCRIPTION
01/22/10	CFC	CT SITING COUNCIL
	CFC	DRAWN BY CHK'D BY



Cellco Partnership
d.b.a. **verizon** wireless

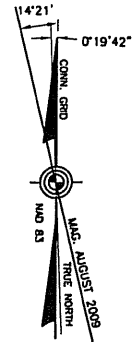


Cellco Partnership d.b.a. Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
WILLINGTON - MANSFIELD 4 CORNERS
343 DALEVILLE ROAD
WILLINGTON, CT 06279

DATE: 01/22/10
SCALE: AS NOTED
JOB NO. 09104

TITLE SHEET

T-1
Sheet No. 1 of 2



N/F
ING STUDENTS NO. 7 LLC
M.A. C/O RABIL PROPERTIES
200 BUSINESS PARK DRIVE, SUITE 204
ARMONK, NY 10504

N/F
THOMAS J. & LINDA R.
COOPER
325 DALEVILLE ROAD
WILLINGTON, CT 06279

N/F
KENNELLY & LINDA HILL
327 DALEVILLE ROAD
WILLINGTON, CT 06279

N/F
JEFFERSON N. WILLEY
331 DALEVILLE ROAD
M.A. P.O. BOX 6335
COLUMBIA, MD 21045

N/F
NICHOLAS & HELEN SADOW
M.A. 67 DALEVILLE ROAD
STORRS, CT 06268

N/F
HAROLD W. III & RENEE BRUCE
315 DALEVILLE ROAD
WILLINGTON, CT 06279

N/F
RICHARD & JOAN P. LEBLOND
M.A. 275 DALEVILLE ROAD
WILLINGTON, CT 06279

N/F
RICHARD & JOAN P. LEBLOND
M.A. 275 DALEVILLE ROAD
WILLINGTON, CT 06279

N/F
JAMES L. KELLY
M.A. 811 MIDDLE TURNPIKE
STORRS, CT 06268

780 ±
TO NEAREST OFF-SITE RESIDENCE

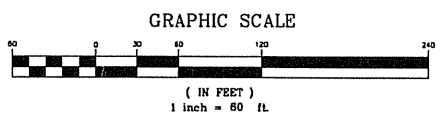
PROPOSED CELCO PARTNERSHIP
100' MONOPOLE TOWER.

DALEVILLE ROAD

N/F
GREGORY F. & EMINE KI. CICHOWSKI
M.A. P.O. BOX 223
MANSFIELD DEPOT, CT 06251

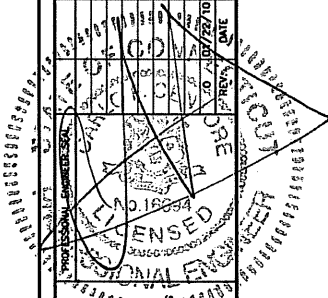
N/F
KALEIGH S. SHUMBO
M.A. 805A MIDDLE TURNPIKE
STORRS, CT 06268

1
C-1
ABUTTERS MAP
SCALE: 1" = 60'-0"



DESIGNED BY: CFC
DRAWN BY: TSP
CHK'D BY: CFC

NO.	DATE	BY	DESCRIPTION



Cellco Partnership
d.b.a. Verizon Wireless



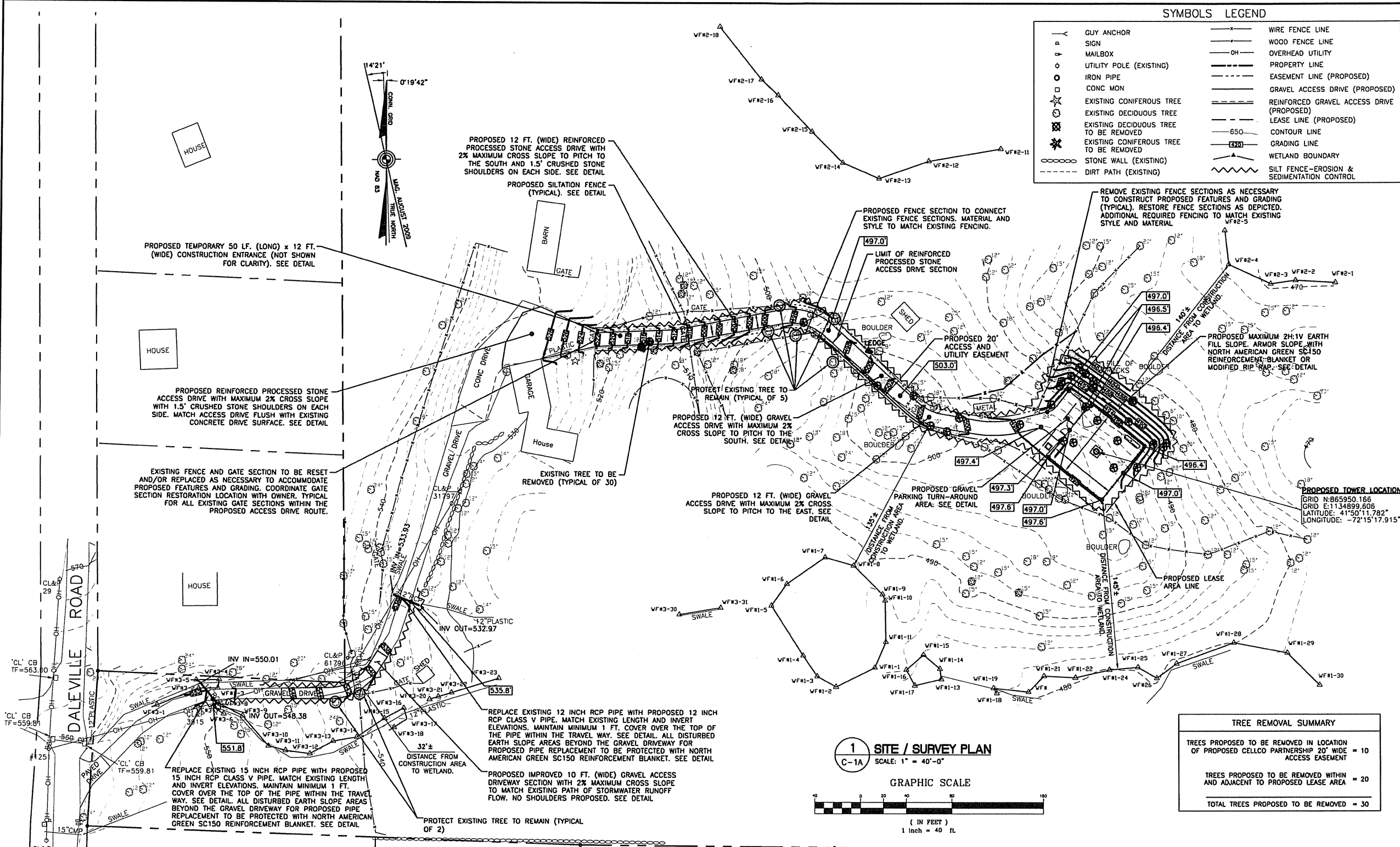
Cellco Partnership d.b.a. Verizon Wireless
WIRELESS COMMUNICATIONS FACILITY
WILLINGTON - MANSFIELD 4 CORNERS
343 DALEVILLE ROAD
WILLINGTON, CT 06279

DATE: 01/22/10
SCALE: AS NOTED
JOB NO. 09104

ABUTTERS MAP

C-1
Sheet No. 2 of 2

SYMBOLS LEGEND	
—x—	WIRE FENCE LINE
—OH—	WOOD FENCE LINE
—	OVERHEAD UTILITY
—	PROPERTY LINE
---	EASEMENT LINE (PROPOSED)
---	GRAVEL ACCESS DRIVE (PROPOSED)
---	REINFORCED GRAVEL ACCESS DRIVE (PROPOSED)
---	LEASE LINE (PROPOSED)
---	CONTOUR LINE
---	GRADING LINE
---	WETLAND BOUNDARY
---	SILT FENCE-EROSION & SEDIMENTATION CONTROL
○	GUY ANCHOR
□	SIGN
□	MAILBOX
○	UTILITY POLE (EXISTING)
○	IRON PIPE
○	CONC MON
○	EXISTING CONIFEROUS TREE TO BE REMOVED
○	EXISTING DECIDUOUS TREE TO BE REMOVED
○	EXISTING CONIFEROUS TREE TO REMAIN
○	EXISTING DECIDUOUS TREE TO REMAIN
○	STONE WALL (EXISTING)
---	DIRT PATH (EXISTING)



SURVEY NOTES

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. THE TOPOGRAPHIC SURVEY PORTION OF THIS PLAN CONFORMS TO A VERTICAL ACCURACY OF CLASS T-2 AND IS INTENDED TO BE USED TO DEPICT A PROPOSED TELECOMMUNICATION SITE.

THE PROPERTY/BOUNDARY LINES DEPICTED HEREON ARE COMPILED FROM OTHER MAPS, DEEDS AND LIMITED FIELD SURVEY. THESE LINES ARE NOT TO BE CONSTRUED AS A BOUNDARY OPINION AND ARE SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE. PROPERTY MAY BE SUBJECT TO ENCUMBRANCES, EASEMENTS, RIGHTS OF WAY AS A TITLE SEARCH REPORT MAY DISCLOSE.

VERTICAL DATUM IS BASED ON NGVD 29.

COORDINATES REFER TO NAD 83.

PARCEL OWNER OF RECORD: MURIEL KRUESCHER
 343 DALEVILLE ROAD
 WILLINGTON, CT 06279

SURVEY NOTES (CONTINUED)

PARCEL AREA = 22± ACRES.

PARCEL IS IN THE R-80 ZONING DISTRICT.

PARCEL ID: MAP 2 LOT 5 WILLINGTON ASSESSOR'S MAPPING.

PARCEL IS IN ZONE C ON THE FLOOD INSURANCE RATE MAP, WILLINGTON, CONNECTICUT, TOLLAND COUNTY, PANEL 20 OF 20, COMMUNITY PANEL NUMBER 090159 0020 A EFFECTIVE DATE JUNE 15, 1982, BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

THE INLAND WETLAND BOUNDARIES AND FLAG ID DEPICTED HEREON WERE DELINEATED AND FIELD LOCATED ON THE GROUND BY DEAN GUSTAFSON OF VHB.

REFERENCE IS MADE TO THE FOLLOWING MAP:

1) SKETCH PLAN, PREPARED FOR RICHARD P. LEBLOND & JOAN P. LEBLOND, DENNIS ROAD, WILLINGTON, CONN., SCALE 1"=100', DATED APRIL 26, 1976, BY WILLIAM W. STIMMONS SR. LAND SURVEYING

NOT ALL IMPROVEMENTS SHOWN.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

A. RAFAEL MARTINEZ LLS #18833

DATE

DESIGNED BY: CFC
 DRAWN BY: TSP
 CHECK'D BY: CFC

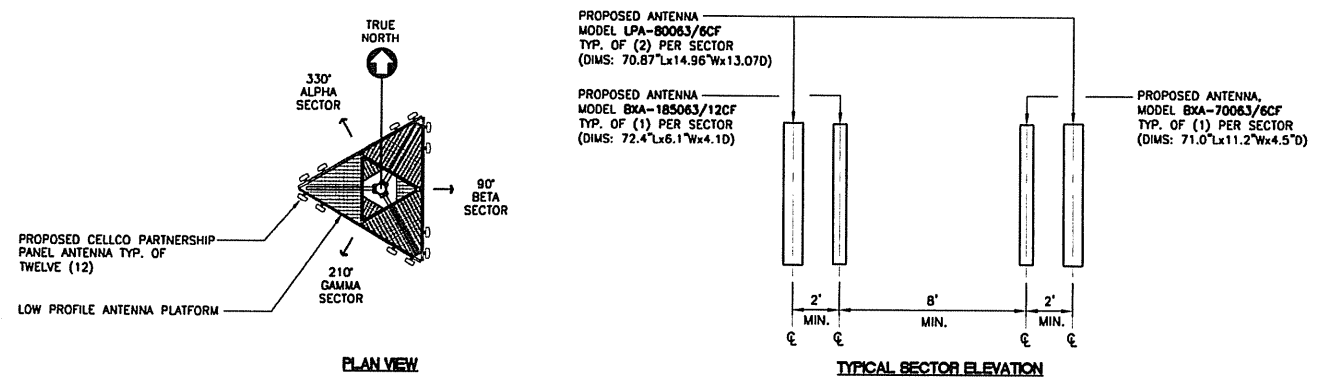
DATE: 01/22/10
 SCALE: AS NOTED
 JOB NO. 09104

SITE / SURVEY PLAN

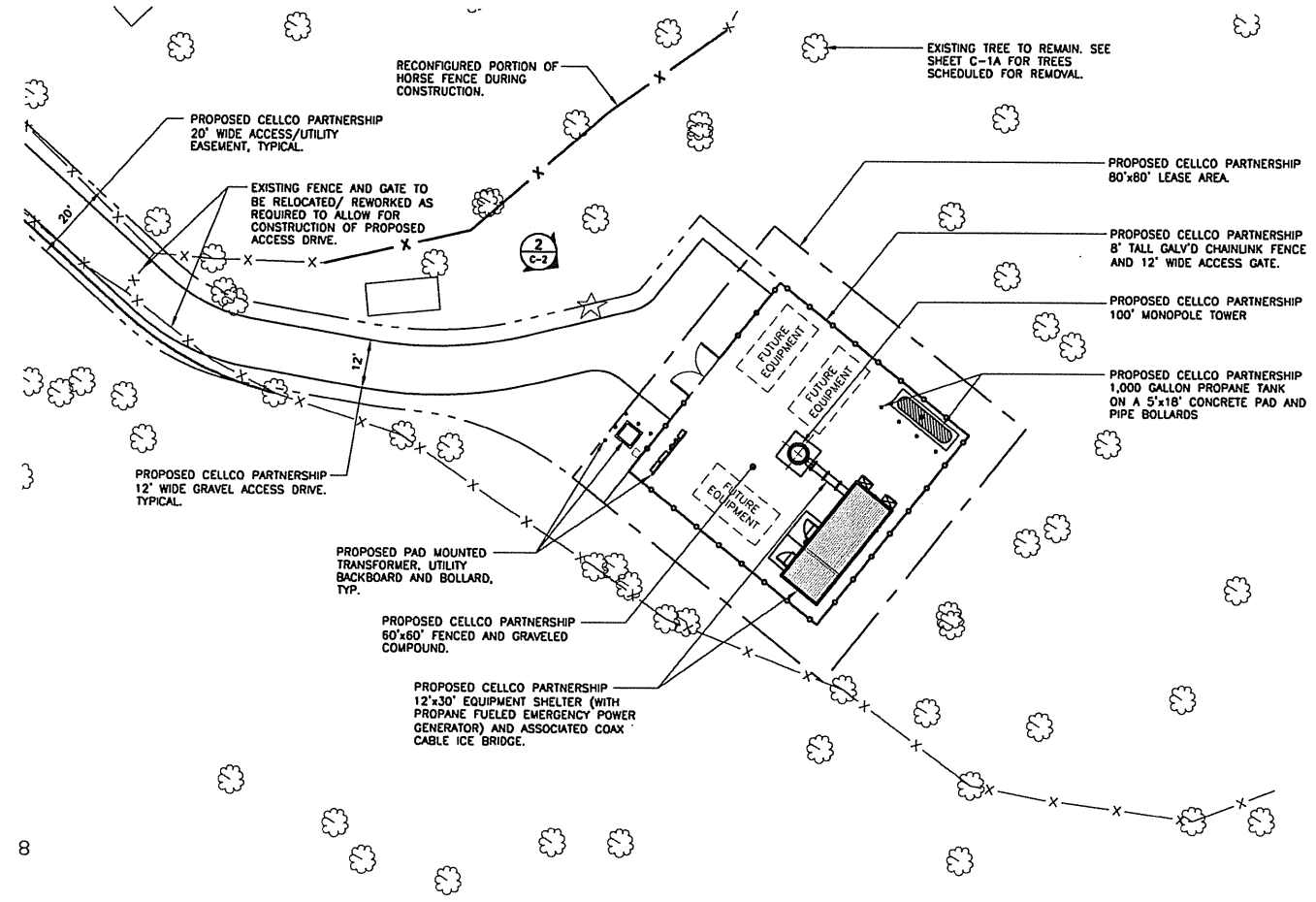
C-1A

Sheet No. 1 of 2

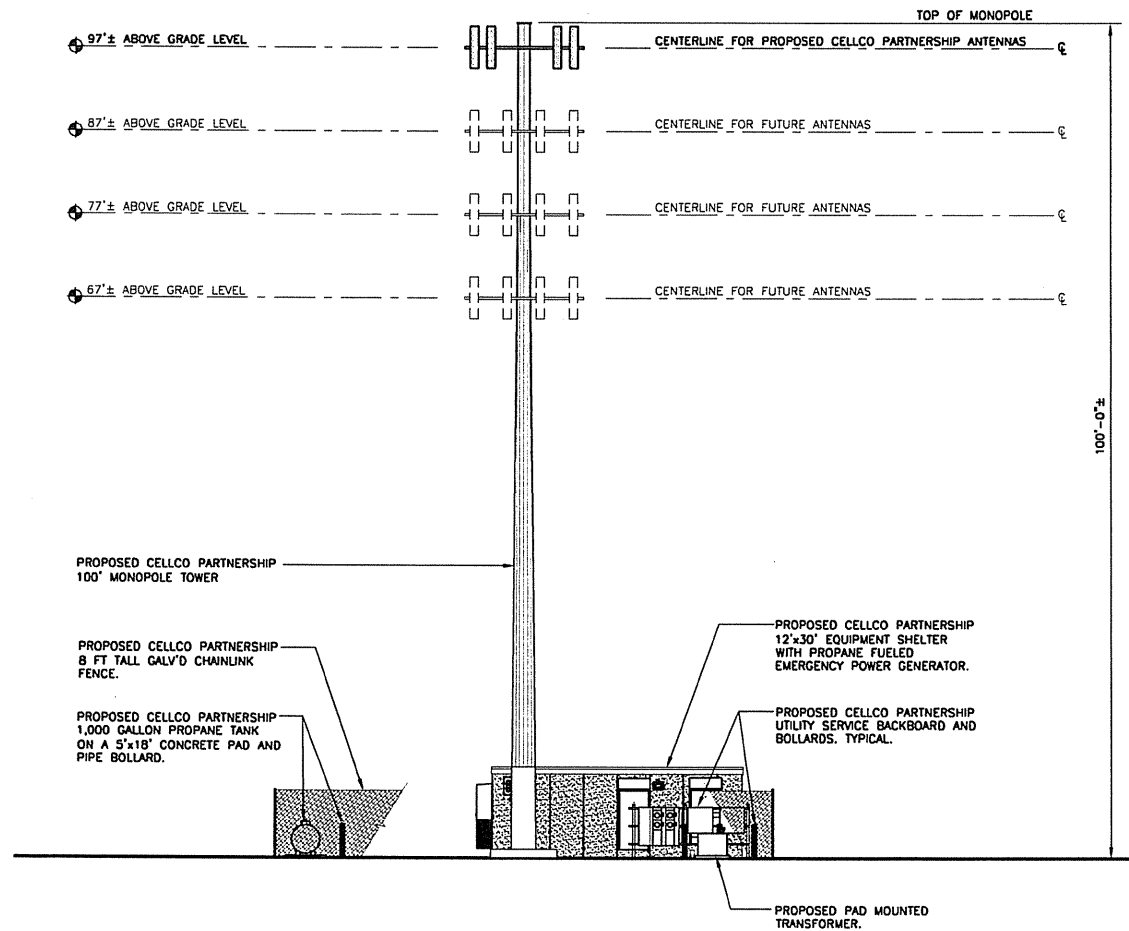
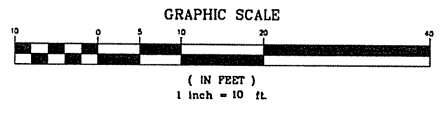
Cellco Partnership db.a Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
WILLINGTON - MANSFIELD 4 CORNERS
 343 DALEVILLE ROAD
 WILLINGTON, CT 06279



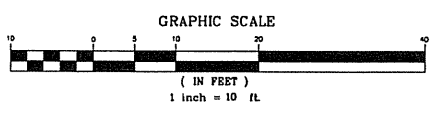
3 ANTENNA MOUNTING CONFIGURATION
C-2 NOT TO SCALE



1 COMPOUND PLAN
C-2 SCALE: 1" = 10'-0"



2 NORTHWEST ELEVATION
C-2 SCALE: 1" = 10'-0"



DESIGNED BY:	CFC
DRAWN BY:	TSP
CHK'D BY:	DWD
DATE:	01/22/10
SCALE:	AS NOTED
JOB NO.:	09104
COMPOUND PLAN AND ELEVATION	
C-2	
Sheet No. 1 of 2	

CT STRING COUNCIL	CFC	CT STRING COUNCIL
DRAWN BY	DWD	DRAWN BY
DATE	01/22/10	DATE
REVISION		REVISION

PROFESSIONAL ENGINEER

Cellco Partnership dba Verizon Wireless

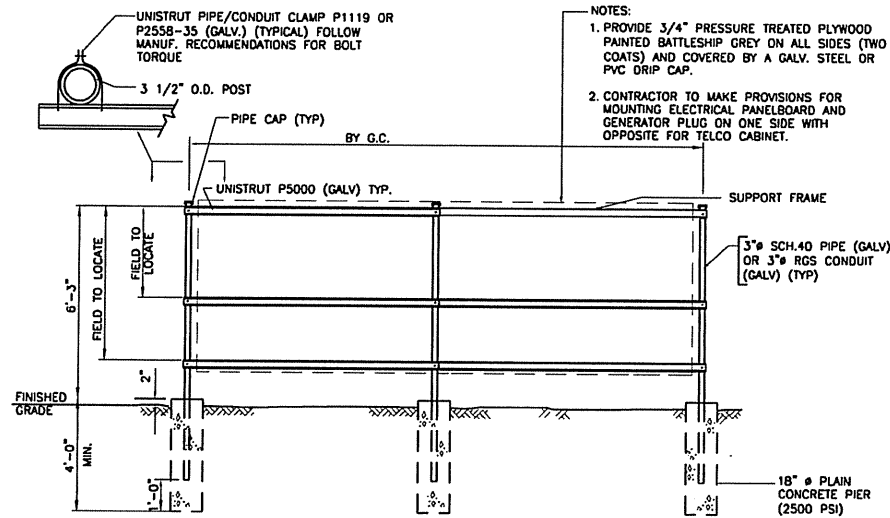
d.b.a. Verizon Wireless

348 DALEVILLE ROAD
WILLINGTON, CT 06279

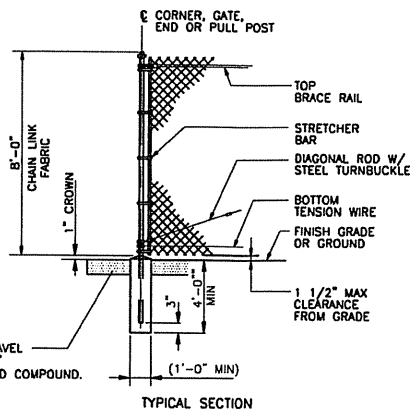
WILLINGTON - MANSFIELD 4 CORNERS

WIRELESS COMMUNICATIONS FACILITY

Cellco Partnership dba Verizon Wireless

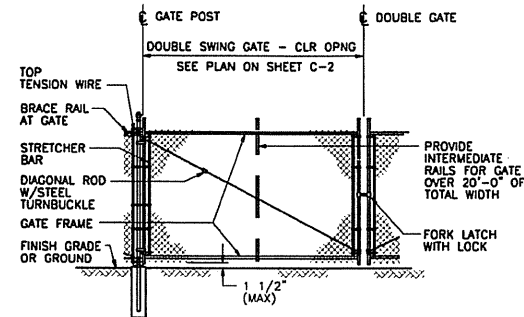


1 UTILITY SUPPORT FRAME (TYP)
C-3 NOT TO SCALE

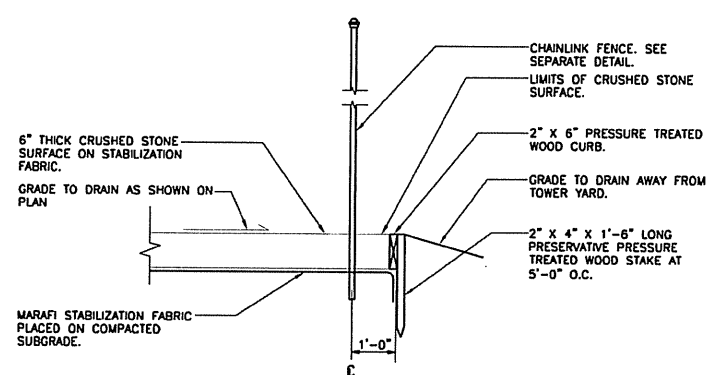


2 WOVEN WIRE FENCE DETAIL
C-3 NOT TO SCALE

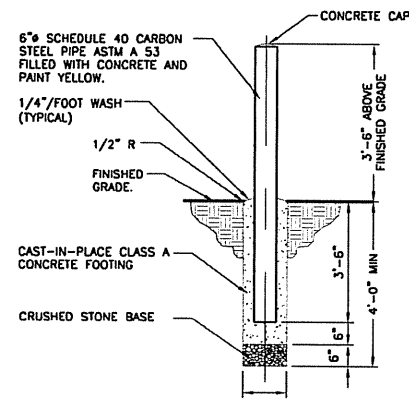
- WOVEN WIRE FENCE NOTES**
- GATE POST, CORNER, TERMINAL OR PULL POST: 2 1/2" # SCHEDULE 40 FOR GATE WIDTHS UP THRU 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
 - LINE POST: 2" # SCHEDULE 40 PIPE PER ASTM-F1083.
 - GATE FRAME: 1 1/2" # SCHEDULE 40 PIPE PER ASTM-F1083.
 - TOP RAIL & BRACE RAIL: 1 1/2" # SCHEDULE 40 PIPE PER ASTM-F1083.
 - FABRIC: 12 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
 - TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL AT POSTS AND RAILS. A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX 24" INTERVALS.
 - TENSION WIRE: 7 GA. GALVANIZED STEEL.
 - BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH W/FABRIC 14 GA., 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
 - GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, KEYED ALIKE FOR ALL SITES IN A GIVEN MTA.
 - LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED WITH IF REQUIRED.
 - HEIGHT = 8' VERTICAL.
 - ALL FENCE AND GATE SECTIONS TO RECEIVE GREEN VINYL PRIVACY SLATS.



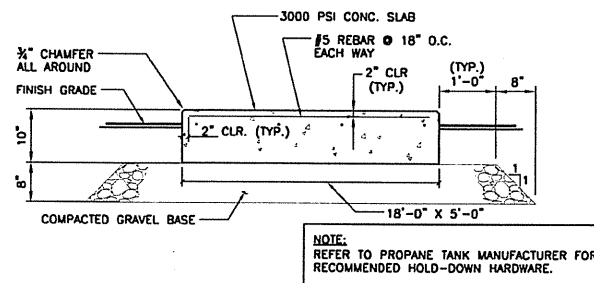
2A WOVEN WIRE SWING GATE-DOUBLE
C-3 NOT TO SCALE



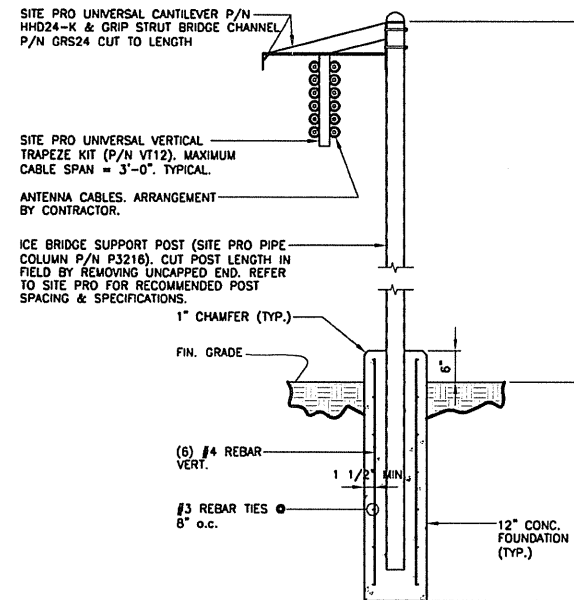
3 COMPOUND SURFACING DETAIL
C-3 NOT TO SCALE



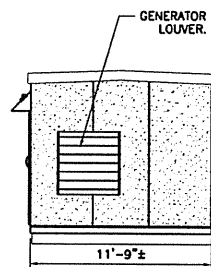
4 BOLLARD DETAIL
C-3 NOT TO SCALE



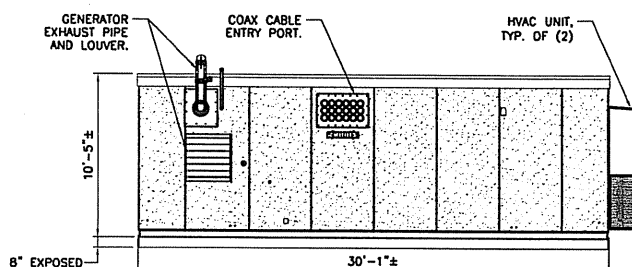
5 PROPANE TANK PAD DETAIL
C-3 NOT TO SCALE



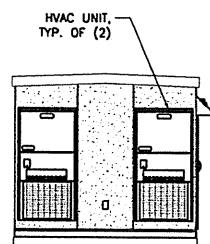
6 ICE BRIDGE DETAIL
C-3 NOT TO SCALE



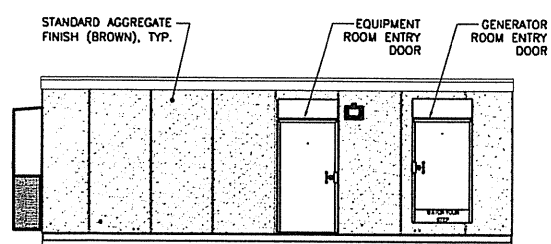
7 SOUTH SHELTER ELEVATION
C-3 NOT TO SCALE



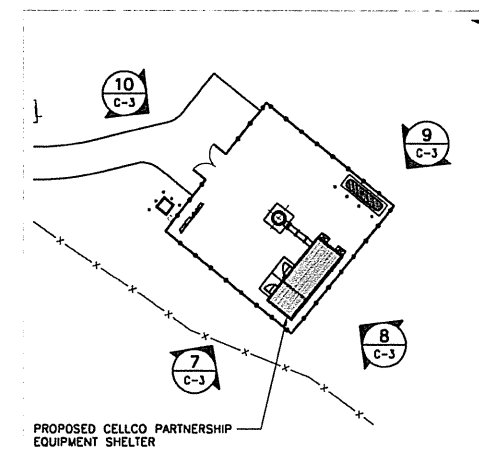
8 EAST SHELTER ELEVATION
C-3 NOT TO SCALE



9 NORTH SHELTER ELEVATION
C-3 NOT TO SCALE



10 WEST SHELTER ELEVATION
C-3 NOT TO SCALE



SHELTER ELEVATION KEY PLAN
NOT TO SCALE

DESIGNED BY: CFC
 DRAWN BY: TSP
 CHECK'D BY: CFC

NO.	DATE	REV.	DESCRIPTION
1	01/22/10	1	ISSUE FOR PERMIT
2	01/22/10	2	REVISED PER COMMENTS
3	01/22/10	3	REVISED PER COMMENTS
4	01/22/10	4	REVISED PER COMMENTS
5	01/22/10	5	REVISED PER COMMENTS
6	01/22/10	6	REVISED PER COMMENTS
7	01/22/10	7	REVISED PER COMMENTS
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9	01/22/10	9	REVISED PER COMMENTS
10	01/22/10	10	REVISED PER COMMENTS

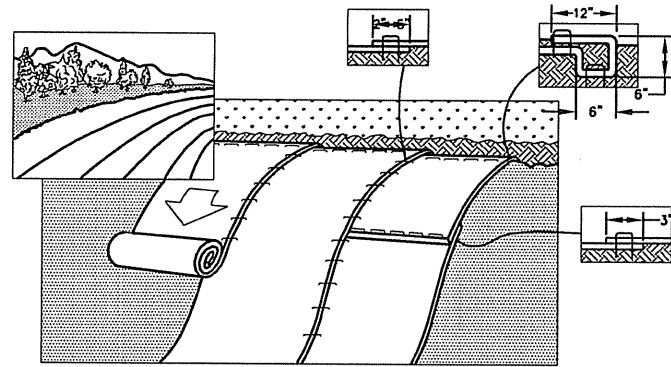
CELLCO PARTNERSHIP
 d.b.a. Verizon Wireless
 LICENSE NO. 16089
 PROFESSIONAL ENGINEER
 STATE OF CONNECTICUT

CELLCO Partnership d.b.a. Verizon Wireless
 WIRELESS COMMUNICATIONS FACILITY
WILLINGTON - MANSFIELD 4 CORNERS
 343 DALEVILLE ROAD
 WILLINGTON, CT 06279

DATE: 01/22/10
 SCALE: AS NOTED
 JOB NO. 09104

SITE DETAILS

C-3
 Sheet No. 5 of 7



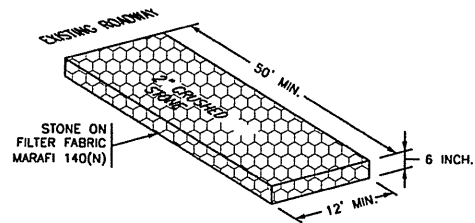
1 REINFORCEMENT BLANKET INSTALLATION ON SLOPE (TYPICAL)
C-4 NOT TO SCALE

NOTES:

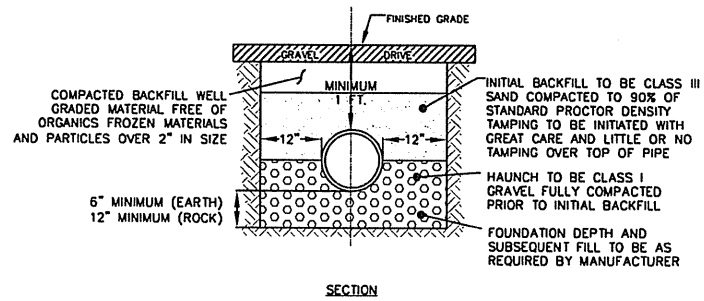
SLOPE APPLICATIONS:

- A. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- B. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLE/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- C. ROLL THE BLANKET DOWN OR HORIZONTALLY ACROSS THE SLOPE. BLANKET WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL ROLLED EROSION CONTROL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM(TM), STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- D. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY A 2"- 5" OVERLAP DEPENDING ON BLANKET TYPE.
- E. CONSECUTIVE ROLLED EROSION CONTROL BLANKET SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. * IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKET.
- F. THE EDGE OF THE BLANKET IS TO EXTEND A MINIMUM 24 INCHES BEYOND THE TOE OF THE SLOPE AND ANCHORED BY PLACING THE STAPLES/STAKES IN A 12 INCH DEEP x 6 INCH WIDE ANCHOR TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/ STAKES SPACED APPROXIMATELY 12 INCH APART IN THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING (STONE OR SOIL MAY BE USED AS BACKFILL).
- G. REFER TO MANUFACTURES STAPLE GUIDE FOR CORRECT STAPLE PATTERN. MINIMUM 4 SPIKES PER ONE SQ. FT.

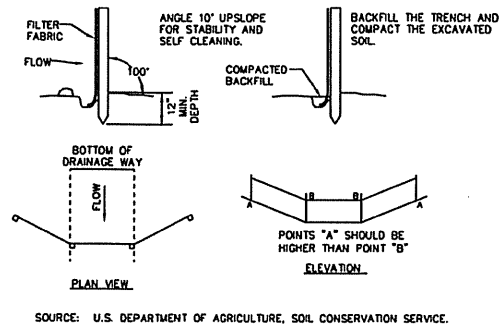
THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED, AND REMULCHED AS DIRECTED.



4 CONSTRUCTION ENTRANCE
C-4 NOT TO SCALE



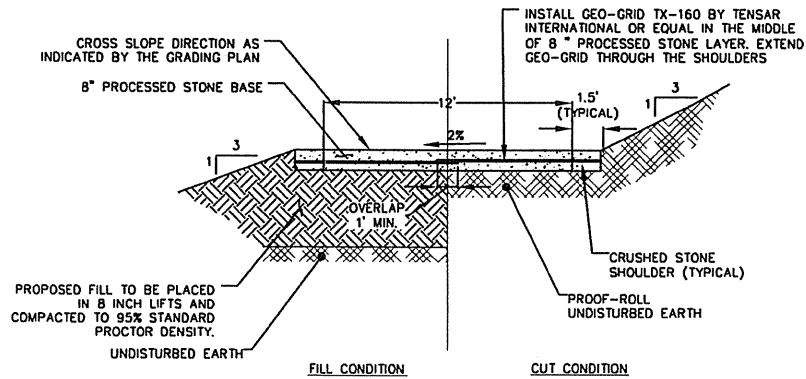
5 RCP CLASS V PIPE BEDDING
C-4 NOT TO SCALE



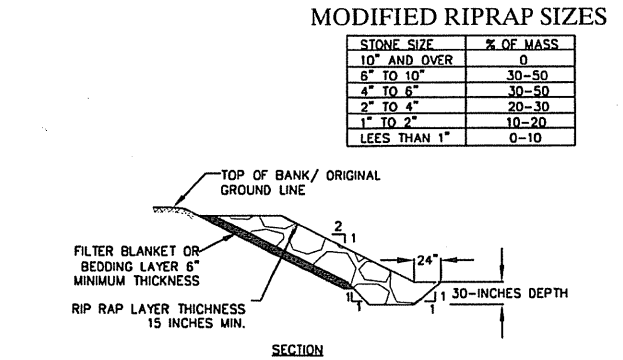
2 SILTATION FENCE DETAIL
C-4 NOT TO SCALE

SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE

- A. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS CONSTRUCTION ENTRANCE, SILTATION FENCE, SHALL BE IN PLACE PRIOR TO ANY GRADING ACTIVITY, INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES. MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR AREA IS STABILIZED.
- B. THE ENTRANCE TO THE PROJECT SITE IS TO BE PROTECTED BY STONE CONSTRUCTION ENTRANCE OF ASTM C-33, SIZE NO. 2 OR 3, OR D.O.T. 2" CRUSHED GRAVEL. THE STONE CONSTRUCTION ENTRANCE PAD IS TO BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- C. LAND DISTURBANCE WILL BE KEPT TO A MINIMUM AND RESTABILIZATIONS WILL BE SCHEDULED AS SOON AS PRACTICAL.
- D. ALL SOIL EROSION AND SEDIMENT CONTROL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL INCLUDING THE LATEST DATE FROM THE COUNCIL ON SOIL AND WATER CONSERVATION.
- E. ANY ADDITIONAL EROSION/SEDIMENTATION CONTROL DEEMED NECESSARY BY TOWN STAFF DURING CONSTRUCTION, SHALL BE INSTALLED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN STAFF.
- F. IN ALL AREAS, REMOVAL OF TREES, BUSHES AND OTHER VEGETATION AS WELL AS DISTURBANCE OF THE SOIL IS TO BE KEPT TO AN ABSOLUTE MINIMUM WHILE ALLOWING PROPER DEVELOPMENT OF THE SITE. DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.
- G. SILTATION FENCE SHALL BE PLACED AS INDICATED BEFORE A CUT SLOPE HAS BEEN CREATED. SEDIMENT DEPOSITS SHOULD BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDES OF SILTATION FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT ON. SILTATION FENCE IS TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. THE FENCE IS TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE EROSION CHECKS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- H. SWALE DISCHARGE AREA WILL BE PROTECTED WITH CRUSHED STONE SPLASH PAD.
- I. ALL FILL AREAS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
- J. THE SOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION; WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING OR SEEDING.
- K. AFTER CONSTRUCTION IS COMPLETE AND GROUND IS STABLE, REMOVE SILTS IN THE CRUSHED STONE SPLASH PADS. REMOVE OTHER EROSION AND SEDIMENT DEVICES.



6 REINFORCED PROCESSED STONE ACCESS DRIVEWAY (TYPE 2)
C-4 NOT TO SCALE



3 RIP RAP SLOPE
C-4 NOT TO SCALE

RIP RAP SLOPES

SUBGRADE PREPARATION

PREPARE THE SUBGRADE FOR RIP RAP, BEDDING, FILTER OR GEOTEXTILE TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE IN 12-INCHES LIFTS TO 95% OF STANDARD PROCTOR DENSITY. REMOVE BRUSH, TREES, STUMPS, AND OTHER OBJECTIONABLE MATERIAL.

FILTER BLANKET OR BEDDING

IMMEDIATELY AFTER SLOPE PREPARATION, INSTALL THE FILTER OR BEDDING MATERIALS. SPREAD THE FILTER OR BEDDING MATERIALS IN A UNIFORM LAYER TO THE SPECIFIED DEPTH.

STONE PLACEMENT

IMMEDIATELY AFTER PLACEMENT OF THE FILTER BLANKET, BEDDING, PLACE THE RIP RAP TO ITS FULL COURSE THICKNESS IN ONE OPERATION SO THAT IT PRODUCES A DENSE WELL GRADED MASS OF STONE WITH A MINIMUM OF VOIDS. THE DESIRED DISTRIBUTION OF STONES THROUGHOUT THE MASS MAY BE OBTAINED BY SELECTIVE LOADING AT THE QUARRY, CONTROLLED DUMPING OF SUCCESSIVE LOADS DURING THE FINAL PLACING, OR BY A COMBINATION OF THESE METHODS. DO NOT PLACE RIP RAP IN LAYERS OR USE CHUTES OR SIMILAR METHODS TO DUMP THE RIP RAP WHICH ARE LIKELY TO CAUSE SEGREGATION OF THE VARIOUS STONES.

TAKE CARE NOT TO DISLODGE THE UNDERLYING MATERIAL WHEN PLACING THE STONES. WHEN PLACING RIP RAP ON A FILTER FABRIC TAKE CARE NOT TO DAMAGE THE FABRIC. IF DAMAGE OCCURS, REMOVE AND REPLACE THE DAMAGED SHEET. FOR LARGE STONE, 12 INCHES OR GREATER, USE A 6 INCH LAYER OF FILTER OR BEDDING MATERIAL TO PREVENT DAMAGE TO THE MATERIAL FROM PUNCTURE.

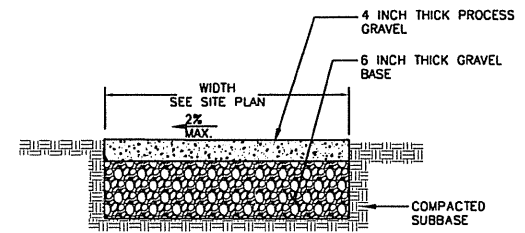
ENSURE THE FINISHED SLOPE IS FREE OF POCKETS OF SMALL STONES OR CLUSTERS OF LARGE STONES. HAND PLACING MAY BE NECESSARY TO ACHIEVE THE REQUIRED GRADES AND A GOOD DISTRIBUTION OF STONE SIZES. ENSURE THE FINAL THICKNESS OF THE RIP RAP BLANKET IS WITHIN PLUS OR MINUS 0.25 OF THE SPECIFIED THICKNESS.

MAINTENANCE

INSPECTED PERIODICALLY TO DETERMINE IF HIGH FLOWS HAVE CAUSED SCOUR BENEATH THE RIP RAP OR FILTER BLANKET MATERIALS. REMOVE TREES THAT DEVELOP IN THE PROTECTED SLOPES.

MATERIALS TO BE MAINTAINED ON SITE FOR IMMEDIATE USE

- 100 LF. SILT FENCE ON POST;
- SLEDGE HAMMER;
- 3 SHOVELS;
- 2 TONS OF RIP RAP;
- 500 SQ.FT. OF EROSION MAT / BLANKET WITH STAPLES;
- DIGITAL CAMERA;
- REPORT BOOK.



7 PROCESSED GRAVEL ACCESS DRIVEWAY AND PARKING AREA SECTION (TYPE 1)
C-4 NOT TO SCALE

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DRAWN BY: TSP
CHK'D BY: CFC

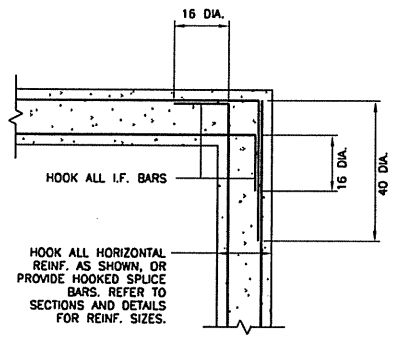
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01/22/10	CFC	DESIGN
01/22/10	TSP	DRAW
01/22/10	CFC	CHK'D

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WILLINGTON, CT 06279

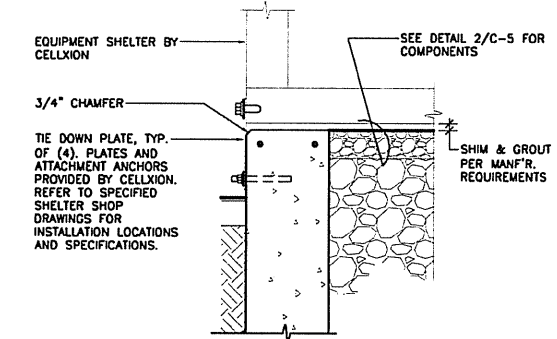
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SCALE: AS NOTED
JOB NO. 09104

SITE DETAILS AND NOTES

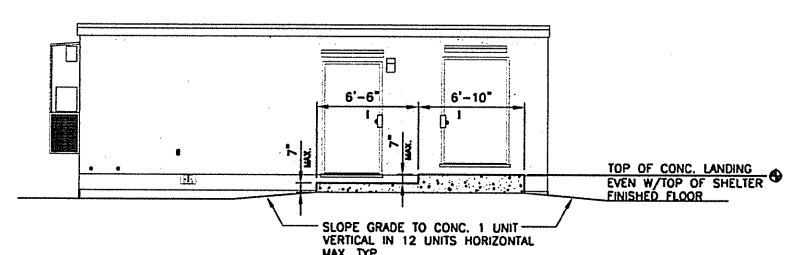
C-4
Sheet No. 8 of 11



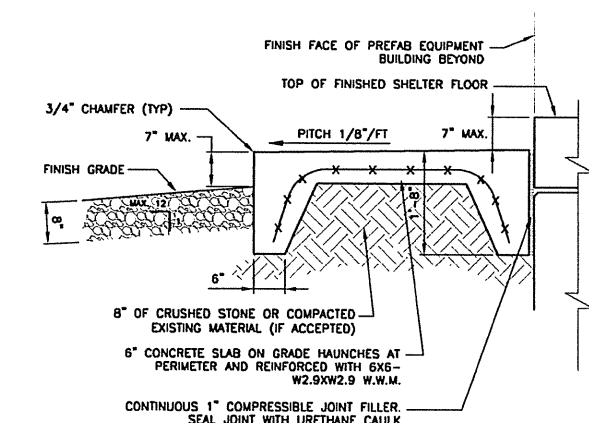
3 PLAN DETAIL
C-5 NOT TO SCALE



4 BUILDING TIE DOWN
C-5 SCALE: 1"=1'-0"

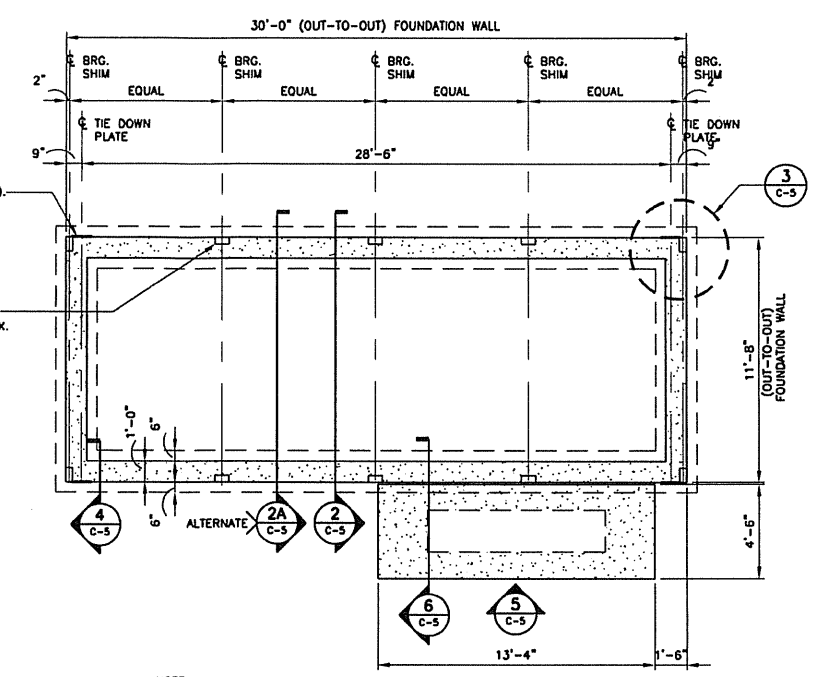


5 ENTRY STOOP DETAIL - ELEVATION
C-5 SCALE: 3/16"=1'-0"

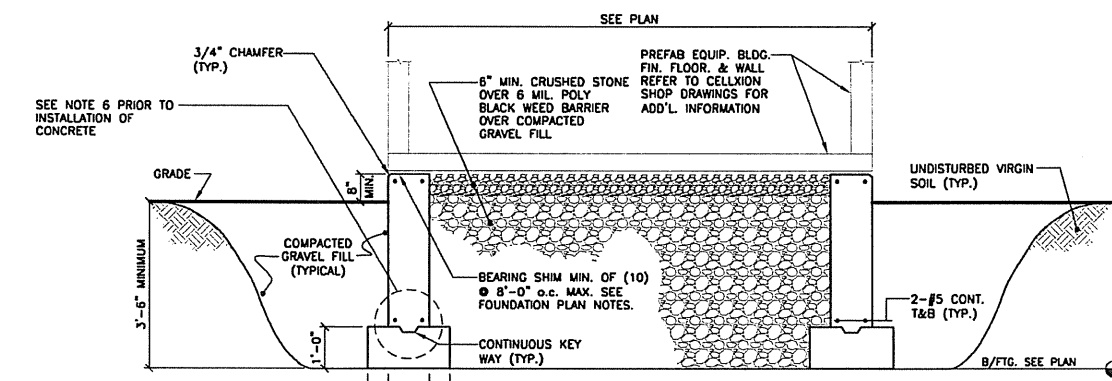


6 ENTRY STOOP DETAIL - SECTION
C-5 SCALE: 3/16"=1'-0"

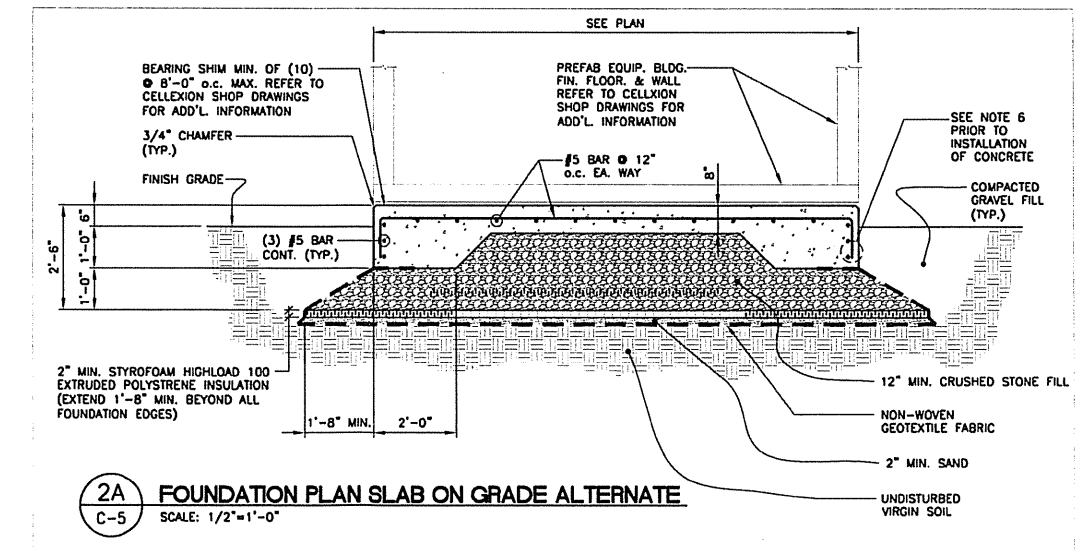
EQUIPMENT SHELTER BY CELLXION. VERIFY ALL SHELTER DIMENSIONS, EQUIPMENT DIMENSIONS, EQUIPMENT LOCATIONS AND UTILITY OPENINGS WITH BUILDING SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.



1 FOUNDATION PLAN
C-5 SCALE: 1/4"=1'-0"



2 TYPICAL SECTION
C-5 SCALE: 1/2"=1'-0"



2A FOUNDATION PLAN SLAB ON GRADE ALTERNATE
C-5 SCALE: 1/2"=1'-0"

- FOUNDATION PLAN NOTES:**
1. B/FTG. ELEVATION AT 3'-6" MINIMUM BELOW FINISHED GRADE, (TYP)
 2. BEARING SHIMS, TIE-DOWN PLATES AND ASSOCIATED INSTALLATION ANCHORS PROVIDED BY CELLXION. CONTRACTOR SHALL VERIFY ALL SHIM & TIE-DOWN QUANTITIES AND LOCATIONS WITH CELLXION PRIOR TO PERFORMING FOUNDATION WORK.
 3. SLAB/ TOP OF WALL TOLERANCE IS 1/4"±
 4. TOP 8" OF FOUNDATION SIDES MUST BE FORMED FLAT TO ACCEPT TIE-DOWN PLATES.
 5. REFER TO NOTES ON DWG. 5-2 FOR ADDITIONAL REQUIREMENTS.
 6. PER NEC REQUIREMENTS, THE REBAR IN FOUNDATION AND FOOTING SHALL BE BONDED TO GROUND RING WITH A #2 AWG SOLID CONDUCTOR USING LISTED AND APPROVED METHODS.

DESIGNED BY: CFC
DRAWN BY: TSP
CHK'D BY: CFC

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SHelter FOUNDATION PLAN, DETAILS & NOTES

C-5

Sheet No. 1 of 1

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WIRELESS COMMUNICATIONS FACILITY
WILLINGTON - MANSFIELD 4 CORNERS
343 DALEVILLE ROAD
WILLINGTON, CT 06279

Professional Engineer Seal: No. 16894, State of Connecticut, License No. 16894, dated 01/22/10.

APPLICATION GUIDE¹

- App. p. i (A) An Executive Summary on the first page of the application with the address, proposed height, and type of tower being proposed. A map showing the location of the proposed site should accompany the description;
- App. pp. 1-4 (B) A brief description of the proposed facility, including the proposed locations and heights of each of the various proposed sites of the facility, including all candidates referred to in the application;
- App. pp. 1-2 (C) A statement of the purpose for which the application is made;
- App. p. 1 (D) A statement describing the statutory authority for such application;
- App. pp. 4-5 (E) The exact legal name of each person seeking the authorization or relief and the address or principal place of business of each such person. If any applicant is a corporation, trust association, or other organized group, it shall also give the state under the laws of which it was created or organized;
- App. pp. 4-5 (F) The name, title, address and telephone number of the attorney or other person to whom correspondence or communications in regard to the application are to be addressed. Notice, orders, and other papers may be served upon the person so named, and such service shall be deemed to be service upon the applicant;
- App. pp. 7-8
Attachments 1 and 7 (G) A statement of the need for the proposed facility with as much specific information as is practicable to demonstrate the need, including a description of the proposed system and how the proposed facility would eliminate or alleviate any existing deficiency or limitation;
- App. pp. 11-12 (H) A statement of the benefits expected from the proposed facility with as much specific information as is practicable;

¹ This Application Guide is copied directly from the "Connecticut Siting Council Application Guide," Section VI, as amended February 16, 2007. References to the Regulations of Connecticut State Agencies ("RCSA") contained in the Guide have been omitted.

App. pp. 1-4, 9-12
Attachments 1 and 7

- (I) A description of the proposed facility at the named sites including:
- (1) Height of the tower and its associated antennas including a maximum “not to exceed height” for the facility, which may be higher than the height proposed by the Applicant;
 - (2) Access roads and utility services;
 - (3) Special design features;
 - (4) Type, size, and number of transmitters and receivers, as well as the signal frequency and conservative worst-case and estimated operational level approximation of electro magnetic radio frequency power density levels (facility using FCC Office of Engineering and Technology Bulletin 65, August 1997) at the base of the tower base, site compound boundary where persons are likely to be exposed to maximum power densities from the facility;
 - (5) A map showing any fixed facilities with which the proposed facility would interact;
 - (6) The coverage signal strength, and integration of the proposed facility with any adjacent fixed facility, to be accompanied by multi-colored propagation maps of red, green and yellow (exact colors may differ depending on computer modeling used, but a legend is required to explain each color used) showing interfaces with any adjacent service areas, including a map scale and north arrows; and
 - (7) For cellular systems, a forecast of when maximum capacity would be reached for the proposed facility and for facilities that would be integrated with the proposed facility.

Attachment 1

- (J) A description of the named sites, including:
- (1) The most recent U.S.G.S. topographic quadrangle map (scale 1 inch = 2,000 feet) marked to show the site of the facility and any significant changes within a one-mile radius of the site;
 - (2) A map (scale not less than 1 inch = 200 feet) of the lot or tract on which the facility is proposed to be located showing the acreage and dimensions of such site, the name and location of adjoining public roads or the nearest public road, and the names of abutting owners and the portions of their lands abutting the site;
 - (3) A site plan (scale not less than 1 inch = 40 feet) showing the proposed facility, set back radius, existing and proposed contour elevations, 100-year flood zones, waterways, wetlands, and all associated equipment and structures on the site;
 - (4) Where relevant, a terrain profile showing the proposed facility and access road with existing and proposed grades; and
 - (5) The most recent aerial photograph (scale not less than 1 inch = 1,000 feet) showing the proposed site, access roads, and all abutting properties.

Attachment 1

- (K) A statement explaining mitigation measures for the proposed facility including:
- (1) Construction techniques designed specifically to minimize adverse effects on natural areas and sensitive areas;
 - (2) Special design features made specifically to avoid or minimize adverse effects on natural areas and sensitive areas;
 - (3) Establishment of vegetation proposed near residential, recreation, and scenic areas; and
 - (4) Methods for preservation of vegetation for wildlife habitat and screening.

App. pp. 1-4 and 16
Attachment 10

- (L) A description of the existing and planned land uses of the named sites and surrounding areas;

- App. pp. 12-15
Attachments 10 and 11 (M) A description of the scenic, natural, historic, and recreational characteristics of the names sites and surrounding areas including officially designated nearby hiking trails and scenic roads;
- Attachment 10 (N) Sight line graphs to the named sites from visually impacted areas such as residential developments, recreational areas and historic sites;
- Attachment 9 (O) A list describing the type and height of all existing and proposed towers and facilities within a four mile radius within the site search area, or within any other area from which use of the proposed towers might be feasible from a location standpoint for purposes of the application;
- App. pp. 10-11
Attachment 9 (P) A description of efforts to share existing towers, or consolidate telecommunications antennas of public and private services onto the proposed facility including efforts to offer tower space, where feasible, at no charge for space for municipal antennas;
- App. p. 9
Attachment 1 (Q) A description of technological alternatives and a statement containing justification for the proposed facility;
- Attachment 9 (R) A description of rejected sites with a U.S.G.S. topographic quadrangle map (scale 1 inch = 2,000 feet) marked to show the location of rejected sites;
- App. pp. 9-10
Attachments 1 and 9 (S) A detailed description and justification for the site(s) selected, including a description of siting criteria and the narrowing process by which other possible sites were considered and eliminated including, but not limited to, environmental effects, cost differential, coverage lost or gained, potential interference with other facilities, and signal loss due to geographic features compared to the proposed site(s);
- App. p. 15 (T) A statement describing hazards to human health, if any, with such supporting data and references to regulatory standards;
- App. p. 21 (U) A statement of estimated costs for site acquisition, construction, and equipment for a facility at the various proposed sites of the facility, including all candidates referred to in the application;

- App. p. 21 (V) A schedule showing the proposed program of site acquisition, construction, completion, operation and relocation or removal of existing facilities for the named sites;
- App. p. 13 (W) A statement indicating that, weather permitting, the applicant will raise a balloon with a diameter of at least three feet, at the sites of the various proposed sites of the facility, including all candidates referred to in the application, on the day of the Council's first hearing session on the application or at a time otherwise specified by the Council. For the convenience of the public, this event shall be publicly noticed at least 30 days prior to the hearing on the application as scheduled by the Council;
- App. pp. 18-20 Attachments 1 and 11 Bulk File Exhibits (X) Such information as any department or agency of the State exercising environmental controls may, by regulation, require including:
- (1) A listing of any federal, state, regional, district, and municipal agencies, including but not limited to the Federal Aviation Administration; Federal Communications Commission; State Historic Preservation Officer; State Department of Environmental Protection; and local conservation, inland wetland, and planning and zoning commissions with which reviews were conducted concerning the facility, including a copy of any agency position or decision with respect to the facility; and
 - (2) The most recent conservation, inland wetland, zoning, and plan of development documents of the municipality, including a description of the zoning classification of the site and surrounding areas, and a narrative summary of the consistency of the project with the Town's regulations and plans.
- Attachment 1 (Project Plans) (Y) Description of proposed site clearing for access road and compound including type of vegetation scheduled for removal and quantity of trees greater than six inches diameter at breast height and involvement with wetlands;
- N/A (Z) Such information as the applicant may consider relevant.

CERTIFICATION OF SERVICE

I hereby certify that on this 5th day of February, 2010, copies of the Application and attachments were sent by certified mail, return receipt requested, to the following:

STATE OFFICIALS:

The Honorable Richard Blumenthal
Attorney General
Office of the Attorney General
55 Elm Street
Hartford, CT 06106

Peter J. Boynton, Commissioner
Department of Emergency Planning and Homeland Security
25 Sigourney Street, 6th Floor
Hartford, CT 06106-5042

Amev Marrella, Commissioner
Connecticut Department of Environmental Protection
79 Elm Street
Hartford, CT 06106

J. Robert Galvin, M.D., M.P.H., M.B.A., Commissioner
Department of Public Health and Addiction Services
410 Capitol Avenue
P.O. Box 340308, MS 13COM
Hartford, CT 06134-0308

Karl J. Wagener, Executive Director
Council on Environmental Quality
79 Elm Street
P.O. Box 5066
Hartford, CT 06106

Kevin M. DelGobbo, Chairman
Department of Public Utility Control
Ten Franklin Square
New Britain, CT 06051

Robert L. Genuario, Secretary
Office of Policy and Management
450 Capitol Avenue
Hartford, CT 06134-1441

Joan McDonald, Commissioner
Department of Economic and Community Development
505 Hudson Street
Hartford, CT 06106

Joseph F. Marie, Commissioner
Department of Transportation
P.O. Box 317546
2800 Berlin Turnpike
Newington, CT 06131-7546

David Bahlman, Division Director
Deputy State Historic Preservation Officer
Connecticut Commission on Culture & Tourism
Historic Preservation and Museum Division
One Constitution Plaza, 2nd Floor
Hartford, CT 06103

WILLINGTON TOWN OFFICIALS:

Christina B. Mailhos
First Selectwoman
Town of Willington
40 Old Farms Road
Willington, CT 06279

The Honorable Anthony Guglielmo
Senator – 35th District
100 Stafford Street
Stafford Springs, CT 06076

The Honorable Bryan Hurlburt
Representative – 53rd District
268 Hartford Turnpike
Tolland, CT 06084

Donna Hardie
Town Clerk
Town of Willington
40 Old Farms Road
Willington, CT 06279

Matt Ellis, Chairman
Planning and Zoning Commission
Town of Willington
40 Old Farms Road
Willington, CT 06279

Mark Masinda, Chairman
Zoning Board of Appeals
Town of Willington
40 Old Farms Road
Willington, CT 06279

Susan Yorgensen
Planning-Zoning/Wetlands Agent
Town of Willington
40 Old Farms Road
Willington, CT 06279

Kenneth Metzler, Chairman
Inland Wetlands and Watercourses
Town of Willington
40 Old Farms Road
Willington, CT 06279

MANSFIELD TOWN OFFICIALS:

Matthew W. Hart
Town Manager
Town of Mansfield
4 South Eagleville Road
Mansfield, CT 06268.

The Honorable Donald E. Williams, Jr.
Senator – 29th District
Legislative Office Building
Room 3300
Hartford, CT 06106

The Honorable Denise W. Merrill
Representative – 54th District
P.O. Box 804
Mansfield, CT 06268

Mary Stanton
Town Clerk
Town of Mansfield
4 South Eagleville Road
Mansfield, CT 06268

Rudy J. Favretti, Chair
Planning & Zoning Commission
Town of Mansfield
4 South Eagleville Road
Mansfield, CT 06268

Carol Pellegrine, Chair
Zoning Board of Appeals
Town of Mansfield
4 South Eagleville Road
Mansfield, CT 06268

Gregory Padick
Director of Planning
Town of Mansfield
4 South Eagleville Road
Mansfield, CT 06268

Curt Hirsch
Zoning Agent
Town of Mansfield
4 South Eagleville Road
Mansfield, CT 06268

Rudy Favretti, Chair
Inland Wetland Agency
Town of Mansfield
4 South Eagleville Road
Mansfield, CT 06268

Windham Region Council of Governments
968 Main Street
Willimantic, CT 06226

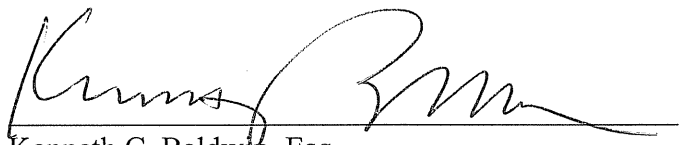
FEDERAL OFFICIALS:

The Honorable Christopher Dodd
United States Senator
448 Russell Senate Office Building
Washington, DC 20510

The Honorable Joseph Lieberman
United States Senator
706 Hart Senate Office Building
Washington, DC 20510

The Honorable Joseph Courtney
Congressman
2 Courthouse Square, 5th Floor
Norwich, CT 06360

Federal Communications Commission
445 12th Street SW
Washington, DC 20554

A handwritten signature in black ink, appearing to read "Kenneth C. Baldwin", written over a horizontal line.

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103
Telephone: (860) 275-8200
Attorneys for Cellco Partnership d/b/a Verizon Wireless

LEGAL NOTICE

Notice is hereby given, pursuant to Section 16-50**l**(b) of the Connecticut General Statutes and Regulations pertaining thereto, of an Application to be submitted to the Connecticut Siting Council (“Council”) on or about February 5, 2010, by Cellco Partnership d/b/a Verizon Wireless (“Cellco” or the “Applicant”). The Application proposes the installation of a wireless telecommunications facility in the Town of Willington, Connecticut. The facility would be located in the center of a 22 acre parcel at 343 Daleville Road on land owned by Muriel Kreuscher. At this site, Cellco proposes to construct a 100-foot tower and install a 12’ x 30’ shelter near the base of the tower to house its radio equipment and a back-up generator. Vehicular and utility access to site would extend from Daleville Road. The location and other features of the proposed facility are subject to change under provisions of Connecticut General Statutes § 16-50g et seq.

On the day of the Siting Council public hearing on this proposal, Cellco will fly a balloon at the height of the proposed tower location. Interested parties and local residents are invited to review the Application during normal business hours at any of the following offices:

Connecticut Siting Council
10 Franklin Square
New Britain, CT 06051

Cellco Partnership d/b/a Verizon Wireless
99 East River Drive
East Hartford, CT 06108

Town Clerk
Town of Willington
Town Hall
40 Old Farms Road
Willington, CT 06279

Town Clerk
Town of Mansfield
Town Hall
4 South Eagleville Road
Mansfield, CT 06268

or the offices of the undersigned. All inquiries should be addressed to the Connecticut Siting Council or to the undersigned.

CELLCO PARTNERSHIP d/b/a VERIZON
WIRELESS

Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103-3597
(860) 275-8200
Its Attorneys

KENNETH C. BALDWIN

280 Trumbull Street
Hartford, CT 06103-3597
Main (860) 275-8200
Fax (860) 275-8299
kbaldwin@rc.com
Direct (860) 275-8345

February 1, 2010

Via Certified Mail Return Receipt Requested

«Name_and_Address»

**Re: Cellco Partnership d/b/a Verizon Wireless
Proposed Telecommunications Facility
Willington, Connecticut**

Dear «Salutation»:

Cellco Partnership d/b/a Verizon Wireless ("Cellco") will be submitting an application to the Connecticut Siting Council ("Council") on or about February 5, 2010, for approval of the construction of a telecommunications facility in the Town of Willington, Connecticut.

The facility would consist of a new 100-foot self-supporting monopole tower and a 12' x 30' equipment shelter located on a 22 acre parcel at 343 Daleville Road. An on-site backup generator would also be installed inside Cellco's equipment shelter. The tower would be designed to accommodate multiple carriers. Vehicular and utility access to the site would extend from Daleville Road.

The location and other features of the proposed facility are subject to change under the provisions of Connecticut General Statutes § 16-50g et seq.

State law provides that owners of record of property which abuts a parcel on which the proposed facility may be located must receive notice of the submission of this application. This notice is directed to you either because you may be an abutting land owner or as a courtesy notice.

February 1, 2010

Page 2

If you have any questions concerning the application, please direct them to either the Connecticut Siting Council or me. My address and telephone number are listed above. The Siting Council may be reached at its New Britain, Connecticut office at (860) 827-2935.

Very truly yours,

Kenneth C. Baldwin

ADJACENT PROPERTY OWNERS

SITE NAME: WILLINGTON

OWNER NAME: MURIEL KREUSCHER

OWNER ADDRESS: 343 DALEVILLE ROAD, WILLINGTON, CONNECTICUT 06277

ASSESSOR'S REFERENCE: MAP: 02 LOT: 005

THE FOLLOWING INFORMATION WAS COLLECTED FROM THE TAX ASSESSOR'S RECORDS AND LAND RECORDS OF WILLINGTON TOWN HALL, WILLINGTON, AND MANSFIELD TOWN HALL, MANSFIELD, CONNECTICUT. THE INFORMATION IS CURRENT AS OF JANUARY 22, 2010.

THE PARCEL IS ZONED R-80 RESIDENTIAL.

WILLINGTON ABUTTERS

	<u>Map/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
1.	02/1	380 Daleville Road	ING US STUDENTS NO 7 LLC c/o Rabil Properties 200 Business Park Drive, Suite 204 Armonk, NY 10504
2.	02/6	Boston Turnpike	James L. Kelly 811 Middle Turnpike Storrs, CT 06268
3.	02/3	327 Daleville Road	Kennelly and Linda Hill 327 Daleville Road Willington, CT 06279
4.	02/2	325 Daleville Road	Thomas R. and Linda J. Cooper 325 Daleville Road Willington, CT 06279
5.	02/4	331 Daleville Road	Jefferson M. Willey P.O. Box 6335 Columbia, MD 21045
6.	07/10A	Daleville Road	Richard P. and Joan P. Leblond 275 Daleville Road Willington, CT 06279

	<u>Map/Lot</u>	<u>Property Address</u>	<u>Owner Name and Mailing Address</u>
7.	07/13	Daleville Road	Richard P. and Joan P. Leblond 275 Daleville Road Willington, CT 06279
8.	07/10B	315 Daleville Road	Rene Bruce and Harold W. Bruce III 315 Daleville Road Willington, CT 06279

MANSFIELD ABUTTERS

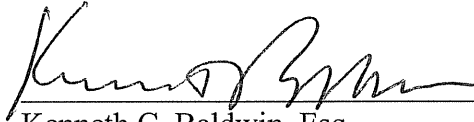
1.	3/9/1	70 Daleville Road	Nicholas and Helen Sadow 67 Daleville Road Storrs, CT 06268
2.	3/9/2	769 Middle Turnpike	Norma and Donald Warren 769 Middle Turnpike Storrs, CT 06268
3.	3/9/7-1	805 Middle Turnpike	Kaleigh S. Shumbo 805A Middle Turnpike Storrs, CT 06268
4.	3/9/8	811 Middle Turnpike	James L. Kelly 811 Middle Turnpike Storrs, CT 06251
5.	3/8/9	67 Daleville Road	Nicholas and Helen Sadow 67 Daleville Road Storrs, CT 06268
6.	3/9/7	799 Middle Turnpike	Gregory F. Cichowski and Emine K. Cichowski P.O. Box 223 Mansfield Depot, CT 06251

CERTIFICATION OF SERVICE

I hereby certify that a copy of the foregoing letter was sent by certified mail, return receipt requested, to each of the parties on the attached lists of abutting landowners.

February 1, 2010

Date



Kenneth C. Baldwin, Esq.
Robinson & Cole LLP
280 Trumbull Street
Hartford, CT 06103

Attorneys for CELLCO PARTNERSHIP d/b/a
VERIZON WIRELESS

Cellular License - KNKA404 - Cellco Partnership

Call Sign	KNKA404	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

Market

Market	CMA032 - Hartford-New Britain-Bristol, CT	Channel Block	A
Submarket	0	Phase	2

Dates

Grant	02/05/2008	Expiration	01/22/2018
Effective	02/08/2008	Cancellation	

Five Year Buildout Date

10/16/1992

Control Points

1 500 W. Dove Rd., TARRANT, Southlake, TX
P: (800)264-6620

Licensee

FRN	0003290673	Type	General Partnership
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Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Contact

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy #150 GASA5REG Alpharetta, GA 30004 ATTN Network Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
--	--

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?	No
Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or	Yes

representative thereof, or by any corporation organized under the laws of a foreign country?

If the answer to the above question is 'Yes', has the applicant received a **Yes** ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Demographics

Race

Ethnicity

Gender

ULS License

Cellular License - KNKA404 - Cellco Partnership - Frequencies

Call Sign KNKA404

Radio Service CL - Cellular

▶ [Return to Main](#)

A Block

824.04 - 834.99 paired with 869.04 - 879.99

845.01 - 846.48 paired with 890.01 - 891.48

ULS License

PCS Broadband License - KNLH251 - Cellco Partnership

Call Sign	KNLH251	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular
Market			
Market	BTA184 - Hartford, CT	Channel Block	F
Submarket	0	Associated Frequencies (MHz)	001890.00000000- 001895.00000000 001970.00000000- 001975.00000000

Dates

Grant	07/23/2007	Expiration	06/27/2017
Effective	07/23/2007	Cancellation	

Buildout Deadlines

1st	06/27/2002	2nd	
-----	------------	-----	--

Notification Dates

1st	05/17/2002	2nd	
-----	------------	-----	--

Licensee

FRN	0003290673	Type	Joint Venture
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Licensee

Cellco Partnership 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Contact

Verizon Wireless Sonya R Dutton 1120 Sanctuary Pkwy, #150 GASA5REG Alpharetta, GA 30004 ATTN Regulatory	P:(770)797-1070 F:(770)797-1036 E:Network.Regulatory@VerizonWireless.com
---	--

Ownership and Qualifications

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

Alien Ownership

Is the applicant a foreign government or the representative of any foreign government?	No
Is the applicant an alien or the representative of an alien?	No
Is the applicant a corporation organized under the laws of any foreign government?	No
Is the applicant a corporation of which more than one-fifth of	No

the capital stock is owned of record or voted by aliens or their representatives or by a foreign government or representative thereof or by any corporation organized under the laws of a foreign country?

Is the applicant directly or indirectly controlled by any other corporation of which more than one-fourth of the capital stock is owned of record or voted by aliens, their representatives, or by a foreign government or representative thereof, or by any corporation organized under the laws of a foreign country? **Yes**

If the answer to the above question is 'Yes', has the applicant received a ruling(s) under Section 310(b)(4) of the Communications Act with respect to the same radio service involved in this application?

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Tribal Land Bidding Credits

This license did not have tribal land bidding credits.

Demographics

Race

Ethnicity

Gender

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
 CELLCO PARTNERSHIP
 1120 SANCTUARY PKWY #150 - GASA5REG
 ALPHARETTA, GA 30004

Call Sign WQJQ689	File Number 0003382444
Radio Service WU - 700 MHz Upper Band (Block C)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number REA001	Channel Block C	Sub-Market Designator 0	
Market Name Northeast			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls> and select "License Search". Follow the instructions on how to search for license information.

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
 CELLCO PARTNERSHIP
 1120 SANCTUARY PKWY #150 - GASA5REG
 ALPHARETTA, GA 30004

Call Sign WQJQ696	File Number 0003382435
Radio Service WY - 700 MHz Lower Band (Blocks A, B, E)	

FCC Registration Number (FRN): 0003290673

Grant Date 11-26-2008	Effective Date 11-26-2008	Expiration Date 02-17-2019	Print Date 12-03-2008
Market Number BEA010	Channel Block A	Sub-Market Designator 0	
Market Name New York-No. New Jer.-Long Isl			
1st Build-out Date 02-17-2013	2nd Build-out Date 02-17-2019	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

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To view the geographic areas associated with the license, go to the Universal Licensing System (ULS) homepage at <http://wireless.fcc.gov/uls> and select "License Search". Follow the instructions on how to search for license information.